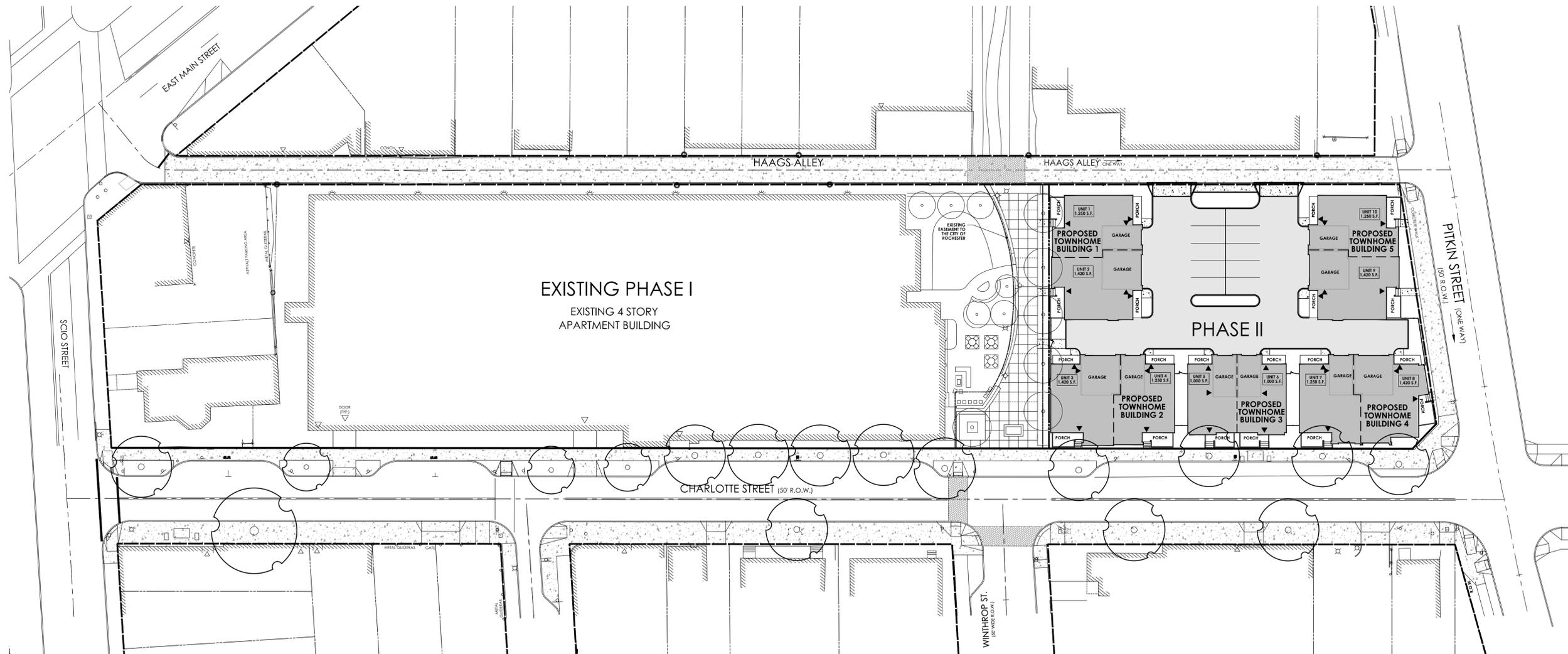
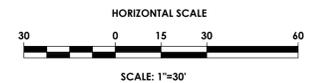


# CHARLOTTE SQUARE TOWNHOMES

## PHASE II



Client:  
SWBR Architects  
387 E. MAIN STREET  
ROCHESTER, NY 14604

**PASSERO ASSOCIATES**  
242 West Main Street Suite 100  
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(585) 325-1000  
Fax: (585) 325-1691  
Principal-in-Charge: John F. Caruso, P.E.  
Project Manager: Jess D. Sudol, P.E.  
Designed by: Carole G. Harvey



Revisions			
No.	Date	By	Description
1			

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COVER

CHARLOTTE SQUARE II

Town/City: ROCHESTER  
County: MONROE State: NEW YORK

Project No.  
20141995.0004

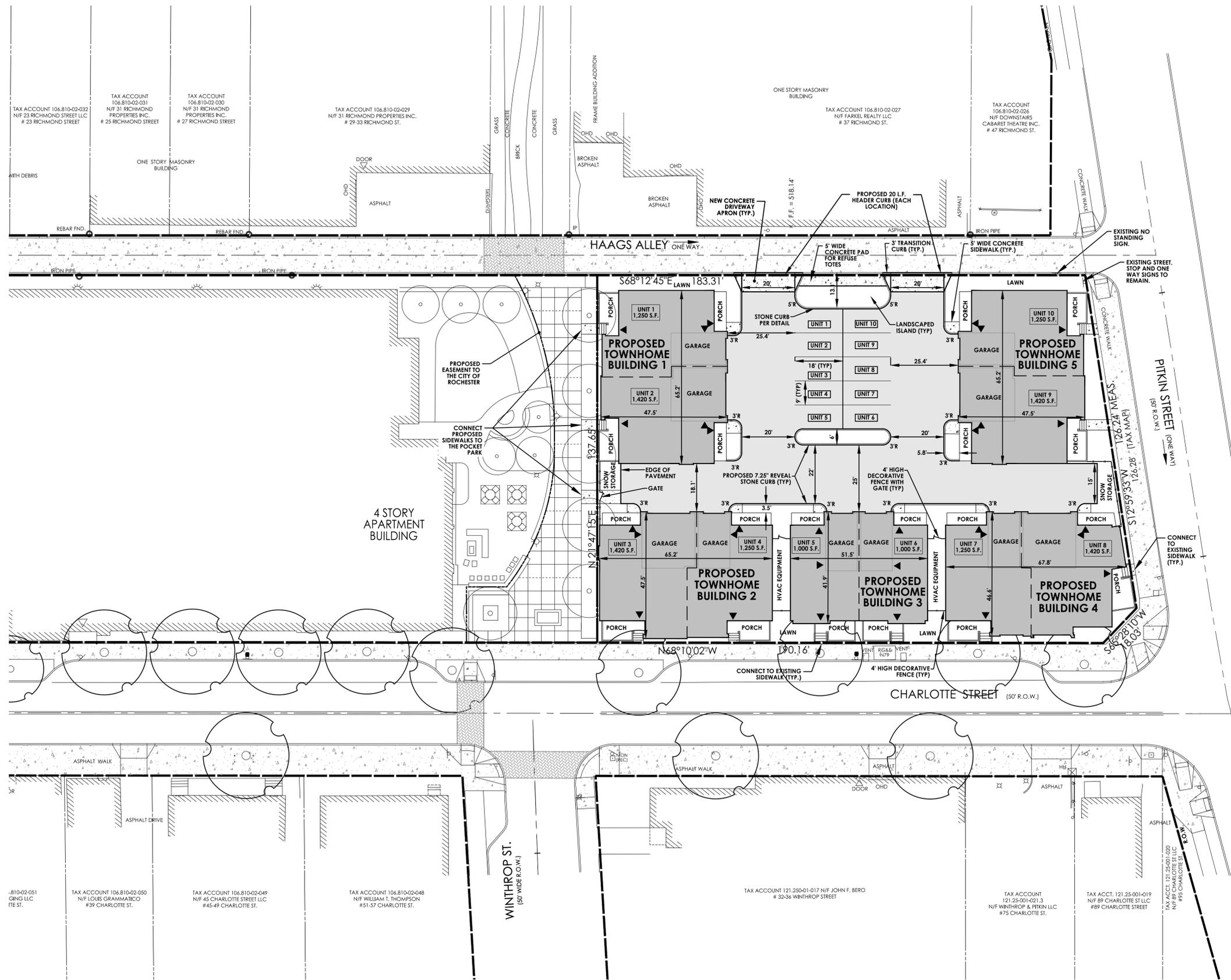
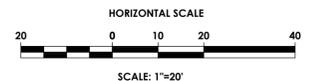
Drawing No. Sheet No.  
C 101 1

Scale: 1" = 30'

Date  
JUNE 2016

**DRAWING INDEX**

- C 101 COVER
- C 102 SITE PLAN
- C 103 UTILITY PLAN
- C 104 GRADING AND EROSION CONTROL PLAN
- C 201 DETAILS
- C 202 DETAILS



**SITE DATA**

- TAX ACCOUNT NUMBER: 106.810-02-047.1
- PARCEL ADDRESS: 80 CHARLOTTE ST.  
PROJECT AREA: 26,620 S.F. OR .611 ACRES
- EXISTING ZONING:  
CCD-E CITY CENTER DISTRICT - EAST END
- EXISTING USE: VACANT
- PROPOSED USE: TOWNHOMES
- BULK AREA REQUIREMENTS
 

REQUIRED	PROPOSED
FRONTAGE	190'
- LOT AREA REQUIREMENTS:
 

MINIMUM LOT AREA	N/A	.611 ACRES
MAXIMUM BUILDING COVERAGE	N/A	44.5%
LOT COVERAGE	N/A	67.6%
GREEN SPACE	N/A	32.4%
MINIMUM BUILDING HEIGHT	N/A	2 STORIES
FRONT SETBACK	0'	0'
MINIMUM SIDE SETBACK	0'	1.4'
MINIMUM REAR SETBACK	0'	1.4'
- THERE ARE NO WETLANDS ON THIS PARCEL ACCORDING TO THE USACOE FEDERAL WETLAND INVENTORY.
- THERE ARE NO STATE REGULATED WETLANDS ON THIS PARCEL ACCORDING TO NYSDEC WETLAND INVENTORY.
- THERE ARE NO FLOOD PLAINS ON THIS PARCEL PER FIRM MAP COMMUNITY PANEL NO. 34055C0211G DATED 08/28/2006.
- ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE CURRENT DEVELOPMENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER.

**IMPROVEMENTS IN R.O.W. INCLUDING ALL LIGHTS, PAVEMENT, CURBING & LANDSCAPING, ETC. TO BE PROVIDED BY THE CITY OF ROCHESTER**

Client:  
SWBR Architects  
387 E. MAIN STREET  
ROCHESTER, NY 14604

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Revisions

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1			

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**SITE PLAN**  
**CHARLOTTE SQUARE II**

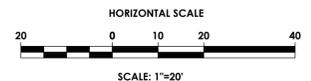
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County: MONROE State: NEW YORK  
Project No.  
**20141995.0004**  
Drawing No. C 102 Sheet No. 2  
Scale: 1" = 20'  
Date: JUNE 2016

ROCHESTER PURE WATERS DISTRICT

ROCHESTER WATER BUREAU DATE \_\_\_\_\_

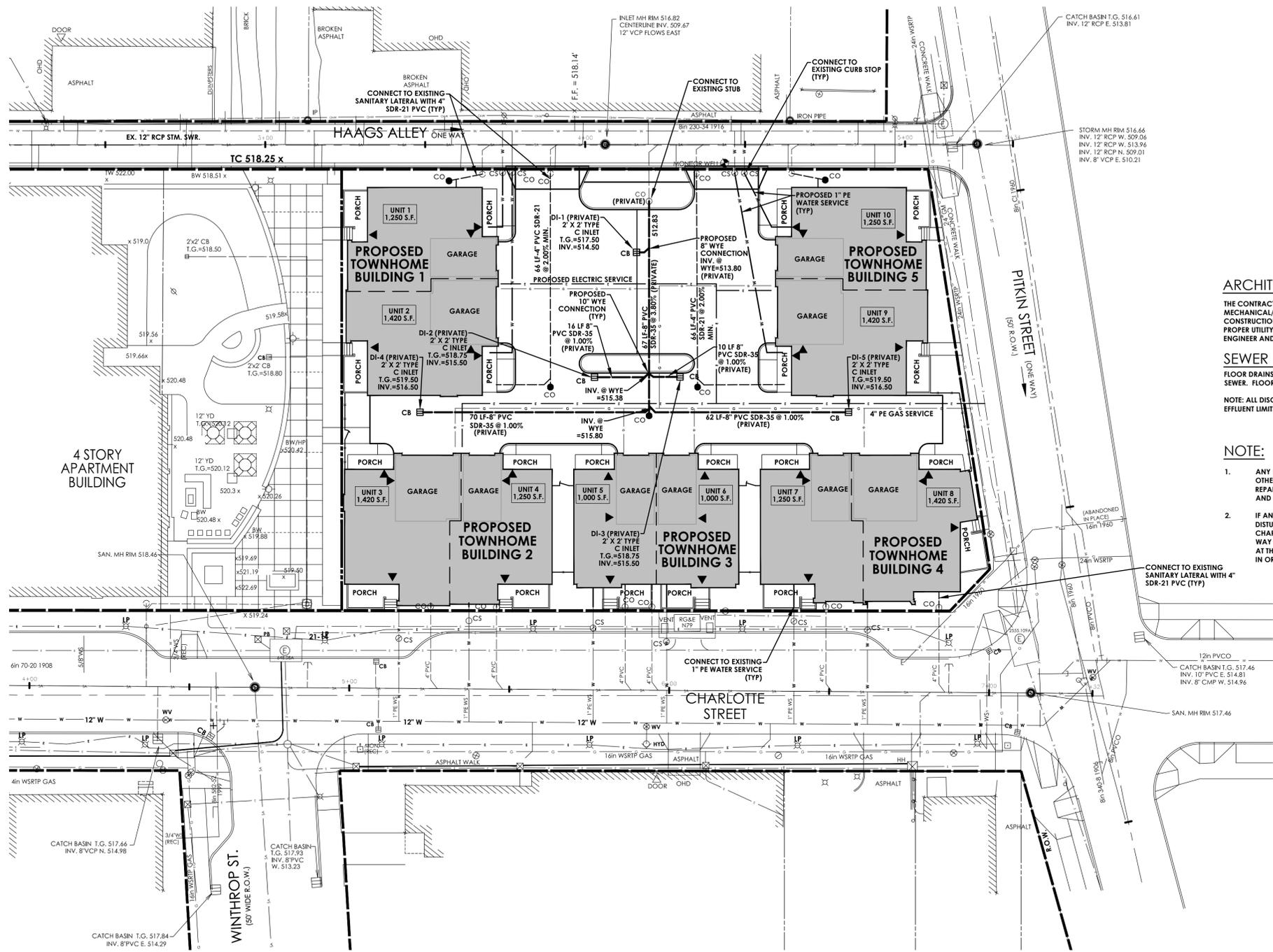
PLUMBING DEPARTMENT DATE \_\_\_\_\_

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If you excavate anywhere in New York State, except NYC or Long Island, call **Dig Safely. New York** 1-800-962-7962 i-Notice = www.DigSafelyNewYork.com

**HYDRANT FLOW DATA:**  
 HYDRANT LOCATION: CHARLOTTE ST. 2nd HYDRANT E. OF SCIO ST.  
 PSI STATIC = 45.0 psi  
 PSI RESIDUAL = 38.5 psi  
 G @ 20 PSI = 1,223 gpm  
 G @ 20 PSI = 2,531 gpm



**ARCHITECTURAL COORDINATION NOTE:**  
 THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL UTILITY CONNECTIONS WITH MECHANICAL/ARCHITECTURAL DRAWINGS FOR LOCATION, PENETRATION, AND SIZES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE WITH ALL SUBCONTRACTORS FOR PROPER UTILITY CONNECTIONS. ANY DISCREPANCIES SHALL BE IMMEDIATELY DESCRIBED TO ENGINEER AND ARCHITECT.

**SEWER USE LAW:**  
 FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS.  
 NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND OR MONROE COUNTY SEWER USE LAW.

- NOTE:**
- ANY FEATURES OF THE EXISTING STREET INFRASTRUCTURE THAT ARE DAMAGED OR OTHERWISE NEGATIVELY IMPACTED BY ANY PORTION OF THE WORK ARE TO BE REPAIRED OR REPLACED. THIS INCLUDES, BUT IS NOT LIMITED TO SIDEWALK, CURB AND UNDERDRAIN PIPE.
  - IF ANY OF THE RUN WATER SERVICES ON HAAGS ALLEY OR CHARLOTTE STREET ARE DISTURBED OR ENCOUNTERED DURING THE CONSTRUCTION PROCESS FOR CHARLOTTE SQUARE, WATER MAY RUN OR LEAK OUT OF THE SERVICE. THE ONLY WAY TO STOP THE WATER FROM LEAKING WOULD BE TO SHUT THE RUN SERVICE OFF AT THE CORPORATION STOP. THE CONTRACTOR NEEDS TO EXERCISE EXTREME CARE IN ORDER TO AVOID DISTURBING ANY OF THE RUN WATER SERVICES.

**LEGEND**

	EXISTING BUILDING
	EXISTING CURB
	PROPOSED WATER SERVICE
	PROPOSED SANITARY LATERAL
	PROPOSED STORM LATERAL
	EXISTING STORM SEWER, CB & MH
	EXISTING SANITARY SEWER AND MANHOLE
	EXISTING UTILITY POLE & LIGHT POLE
	EXISTING GAS VALVE
	EXISTING GAS MAIN & VALVE
	EXIST. WATER MAIN & HYDRANT
	EXISTING OH ELECTRIC LINE & POLE
	EXISTING UG TELEPHONE LINE

**CITY OF ROCHESTER WATER BUREAU**  
 APPROVED ONLY FOR WATER FACILITY WORK SHOWN WITHIN THE PUBLIC RIGHT-OF-WAY, UP TO AND INCLUDING THE CURB VALVE, AND INCLUDING THE WATER METER VAULT NEAR THE RIGHT-OF-WAY, IF APPLICABLE. THE OWNER, DEVELOPER OR THEIR PLUMBER IS RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS FROM THE CITY BEFORE BEGINNING ANY WORK.  
 IF A BACKFLOW PREVENTION DEVICE IS REQUIRED, THE WATER BUREAU WILL NOT ISSUE A WATER METER UNTIL THE PLANS FOR THE BACKFLOW PREVENTION DEVICE HAVE BEEN APPROVED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.  
 BACKFLOW DEVICE REQUIRED     BACKFLOW DEVICE NOT REQUIRED

ROCHESTER PURE WATERS DISTRICT

ROCHESTER WATER BUREAU  
 PLUMBING DEPARTMENT



Client:  
 SWBR Architects  
 387 E. MAIN STREET  
 ROCHESTER, NY 14604

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 242 West Main Street Suite 100  
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 Designed by: Carole G. Harvey



**Revisions**

No.	Date	By	Description
1			

**UTILITY PLAN**

**CHARLOTTE SQUARE II**

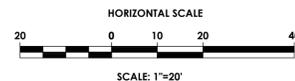
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 County: MONROE State: NEW YORK

Project No. **20141995.0004**

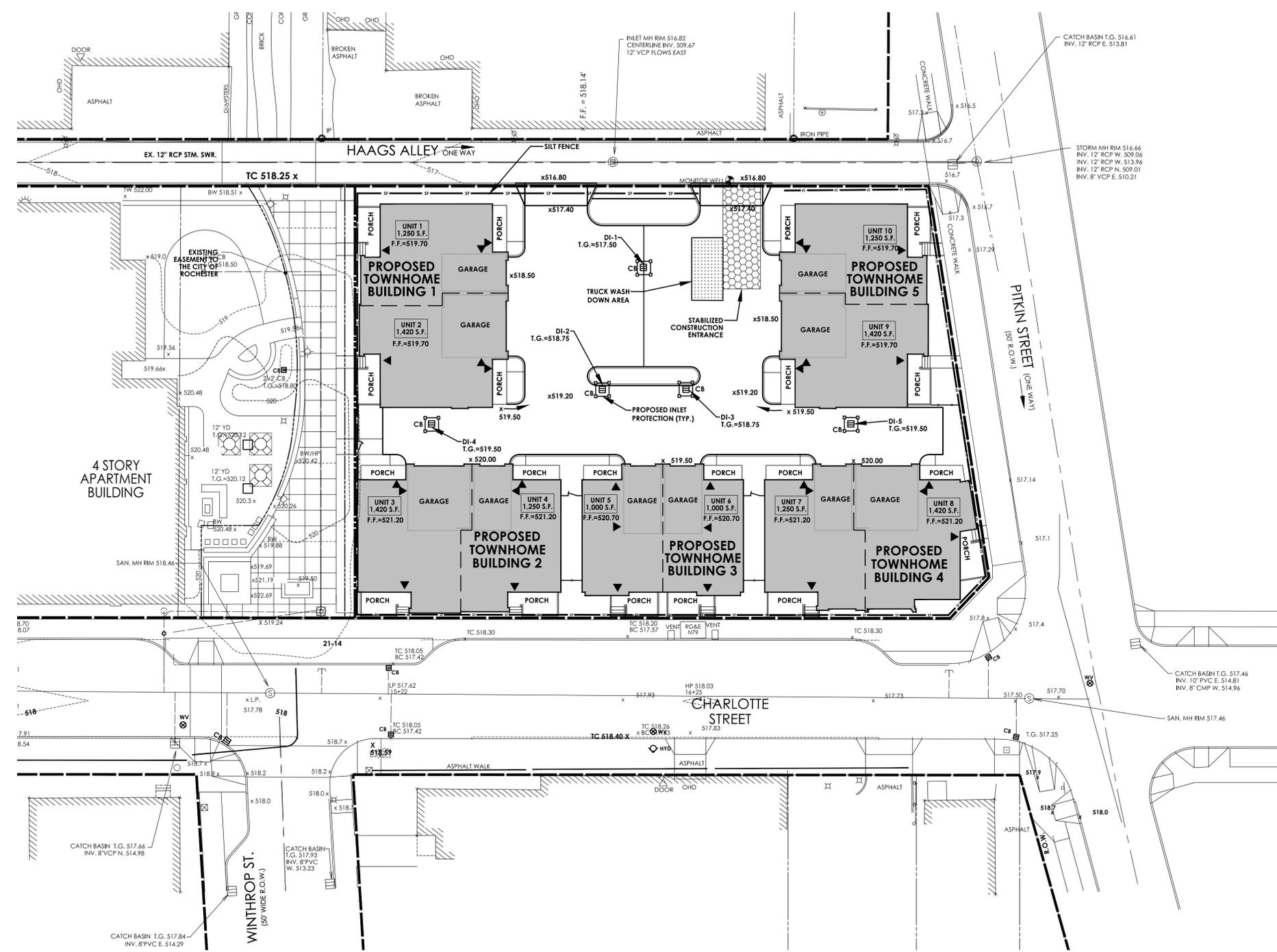
Drawing No. **C 103** Sheet No. **3**

Scale: **1" = 20'**

Date: **JUNE 2016**



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**SEEDING NOTE**

TO PROVIDE THE FOLLOWING SEED MIXTURES DURING CONSTRUCTION:

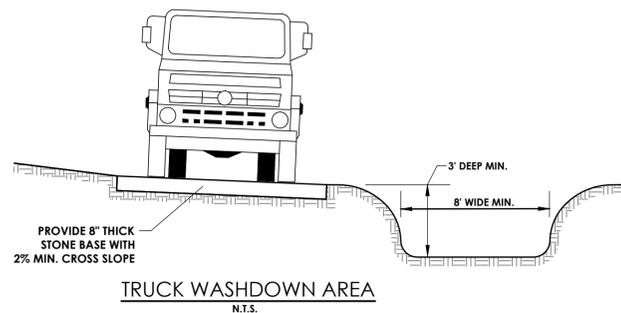
**TEMPORARY SEEDING:**  
RYEGRASS (ANNUAL OR PERENNIAL) @ 30LBS. PER ACRE OR 0.7 LBS. PER 1000 SQUARE FEET.

**PERMANENT SEEDING:**  
65% KENTUCKY BLUEGRASS BLEND @ 85LBS. PER ACRES OR 2.0-2.6 LBS. PER 1000 SQUARE FEET  
20% PERENNIAL RYEGRASS @ 26-35 LBS. PER ACRE OR 0.6-0.8 LBS. PER 1000 SQUARE FEET  
15% FINE FESCUE @ 19-26 LBS. PER ACRE OR 0.4-0.6 LBS. PER 1000 SQUARE FEET

FOR ALL SEEDING & STABILIZATION MEASURES IT IS THE RESPONSIBILITY OF THE OWNER & DEVELOPER TO ENSURE THAT FINAL STABILIZATION OCCURS AS REQUIRED BY THE NYSDEC. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 7 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 7 DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED WITH PERMANENT SEED AND MULCH. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE SEDIMENT BASIN(S).

**CONSTRUCTION SEQUENCE FOR GRADING AND EROSION CONTROL:**

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND TRUCK WASH DOWN AREA
2. GRADE IMPROVEMENTS AREAS WITHIN THE PROJECT SITE. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 7 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 7 DAYS OF THE LAST DISTURBANCE.
3. CONSTRUCT SEDIMENTATION BARRIERS AS SHOWN ON THIS PLAN.
4. REPLACE TOPSOIL AND FINE GRADE.
5. HYDRO-SEED ALL DISTURBED AREAS WITHIN 10 DAYS AFTER FINAL GRADING. CONTRACTOR IS RESPONSIBLE TO RESEED IF GRADING IS UNSATISFACTORY.
6. UPON APPROVAL OF THE CITY, REMOVE ALL TEMPORARY SILTATION CONTROLS.
7. SLOPES SHALL NOT EXCEED 1' VERTICAL TO 3' HORIZONTAL MAX. MAINTAIN 1:4 WHERE POSSIBLE.
8. MINIMUM OF 4" OF TOPSOIL IS TO BE PLACED ON ALL GRASS AREAS.
9. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BASED UPON ACTUAL FIELD CONDITIONS ABOVE. CONTRACTOR SHALL PROVIDE FOR THIS COST IN HIS CONTRACT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SILTATION AND EROSION CONTROL MEASURES FROM INSTALLATION THROUGH MAINTENANCE AND REMOVAL AFTER REVEGETATION HAS BEEN ESTABLISHED.
11. ALL EROSION AND SEDIMENT CONTROL METHODS WILL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.



Client:  
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Principal-in-Charge: John F. Caruso, P.E.  
Project Manager: Jess D. Sudol, P.E.  
Designed by: Carole G. Harvey



Revisions

No.	Date	By	Description
1			

**GRADING AND EROSION CONTROL**

**CHARLOTTE SQUARE II**

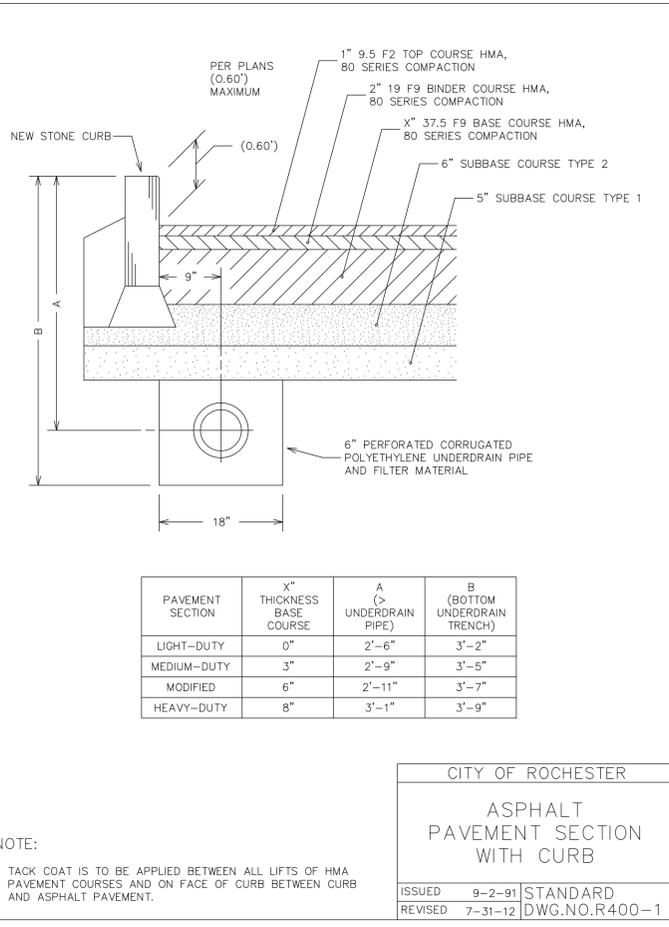
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County: MONROE State: NEW YORK

Project No. **20141995.0004**

Drawing No. **C 104** Sheet No. **4**

Scale: **1" = 20'**

Date: **JUNE 2016**



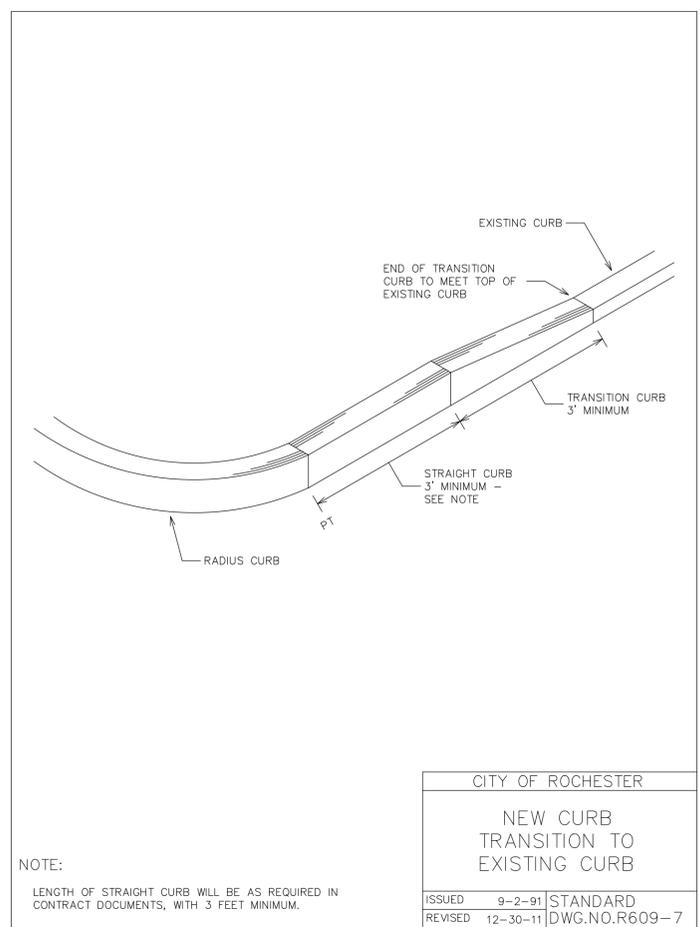
PAVEMENT SECTION	X\"/>		
LIGHT-DUTY	0"	2'-6"	3'-2"
MEDIUM-DUTY	3"	2'-9"	3'-5"
MODIFIED	6"	2'-11"	3'-7"
HEAVY-DUTY	8"	3'-1"	3'-9"

CITY OF ROCHESTER

ASPHALT PAVEMENT SECTION WITH CURB

ISSUED 9-2-91 STANDARD  
REVISED 7-31-12 DWG.NO.R400-1

NOTE:  
TACK COAT IS TO BE APPLIED BETWEEN ALL LIFTS OF HMA PAVEMENT COURSES AND ON FACE OF CURB BETWEEN CURB AND ASPHALT PAVEMENT.



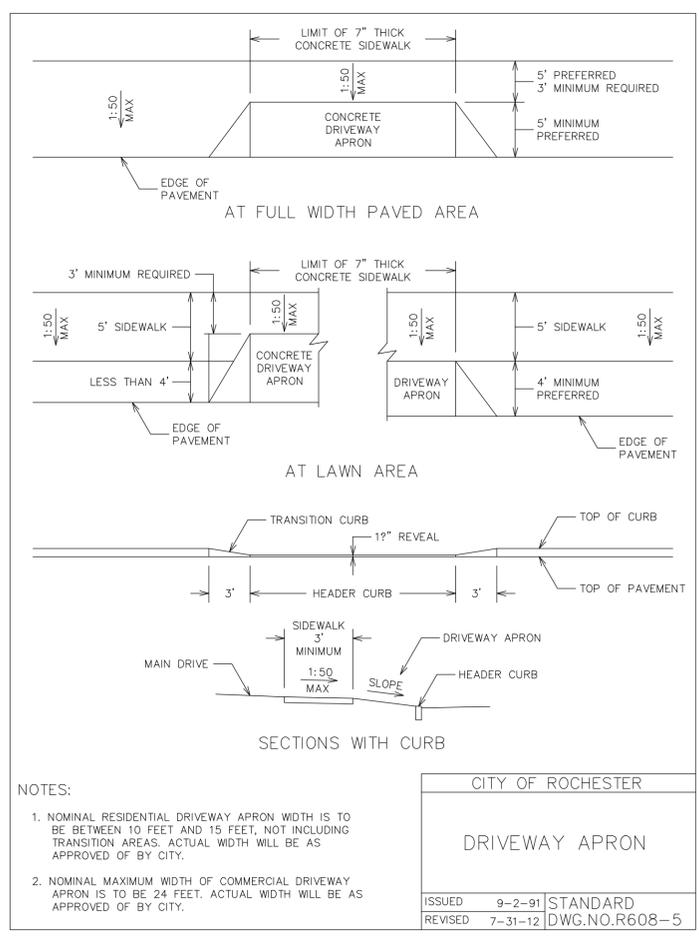
CITY OF ROCHESTER

NEW CURB TRANSITION TO EXISTING CURB

ISSUED 9-2-91 STANDARD  
REVISED 12-30-11 DWG.NO.R609-7

NOTE:  
LENGTH OF STRAIGHT CURB WILL BE AS REQUIRED IN CONTRACT DOCUMENTS, WITH 3 FEET MINIMUM.

Client:  
SWBR Architects  
387 E. MAIN STREET  
ROCHESTER, NY 14604

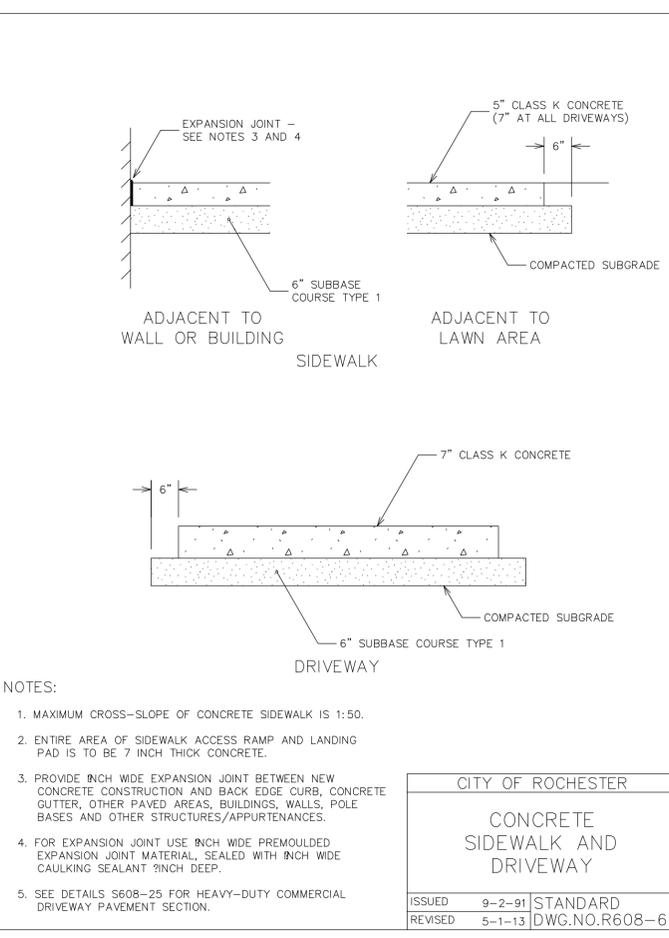


CITY OF ROCHESTER

DRIVEWAY APRON

ISSUED 9-2-91 STANDARD  
REVISED 7-31-12 DWG.NO.R608-5

NOTES:  
1. NOMINAL RESIDENTIAL DRIVEWAY APRON WIDTH IS TO BE BETWEEN 10 FEET AND 15 FEET, NOT INCLUDING TRANSITION AREAS. ACTUAL WIDTH WILL BE AS APPROVED OF BY CITY.  
2. NOMINAL MAXIMUM WIDTH OF COMMERCIAL DRIVEWAY APRON IS TO BE 24 FEET. ACTUAL WIDTH WILL BE AS APPROVED OF BY CITY.

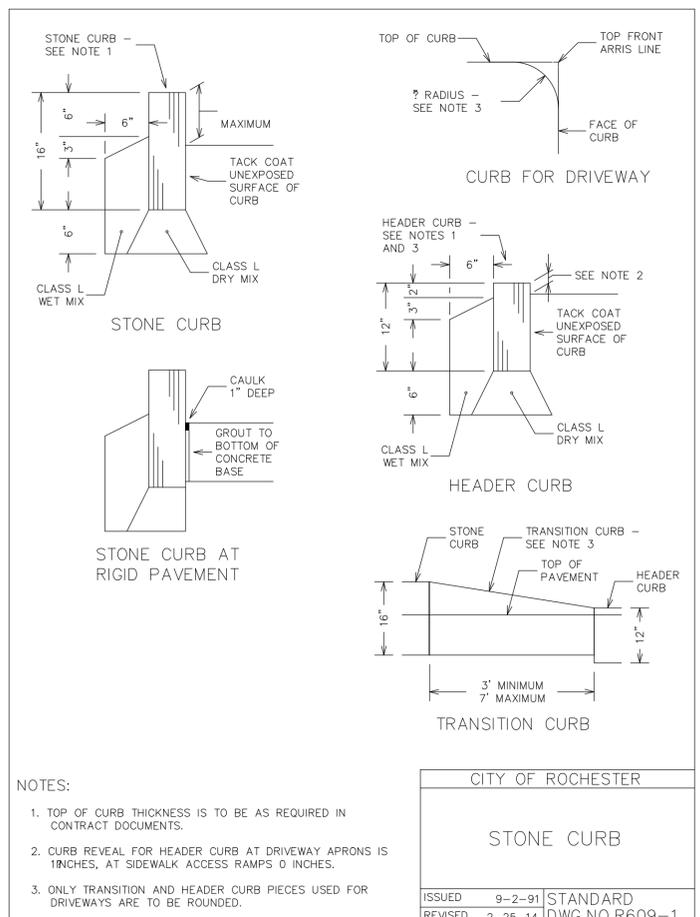


CITY OF ROCHESTER

CONCRETE SIDEWALK AND DRIVEWAY

ISSUED 9-2-91 STANDARD  
REVISED 5-1-13 DWG.NO.R608-6

NOTES:  
1. MAXIMUM CROSS-SLOPE OF CONCRETE SIDEWALK IS 1:50.  
2. ENTIRE AREA OF SIDEWALK ACCESS RAMP AND LANDING PAD IS TO BE 7 INCH THICK CONCRETE.  
3. PROVIDE 1/2 INCH WIDE EXPANSION JOINT BETWEEN NEW CONCRETE CONSTRUCTION AND BACK EDGE CURB, CONCRETE GUTTER, OTHER PAVED AREAS, BUILDINGS, WALLS, POLE BASES AND OTHER STRUCTURES/APPURTENANCES.  
4. FOR EXPANSION JOINT USE 1/2 INCH WIDE PREMOULDED EXPANSION JOINT MATERIAL, SEALED WITH 1/2 INCH WIDE CAULKING SEALANT 1/2 INCH DEEP.  
5. SEE DETAILS S608-25 FOR HEAVY-DUTY COMMERCIAL DRIVEWAY PAVEMENT SECTION.



CITY OF ROCHESTER

STONE CURB

ISSUED 9-2-91 STANDARD  
REVISED 2-25-14 DWG.NO.R609-1

NOTES:  
1. TOP OF CURB THICKNESS IS TO BE AS REQUIRED IN CONTRACT DOCUMENTS.  
2. CURB REVEAL FOR HEADER CURB AT DRIVEWAY APRONS IS 1 INCHES, AT SIDEWALK ACCESS RAMPS 0 INCHES.  
3. ONLY TRANSITION AND HEADER CURB PIECES USED FOR DRIVEWAYS ARE TO BE ROUNDED.

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242 West Main Street Suite 100  
Rochester, New York 14614  
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Project Manager: Jess D. Sudol, P.E.  
Designed by: Carole G. Harvey

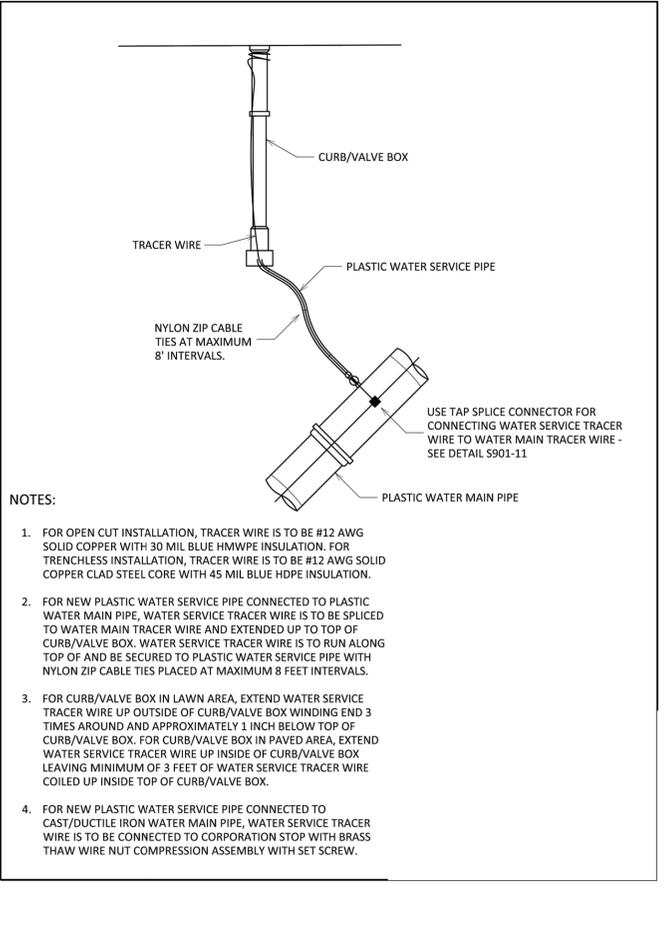
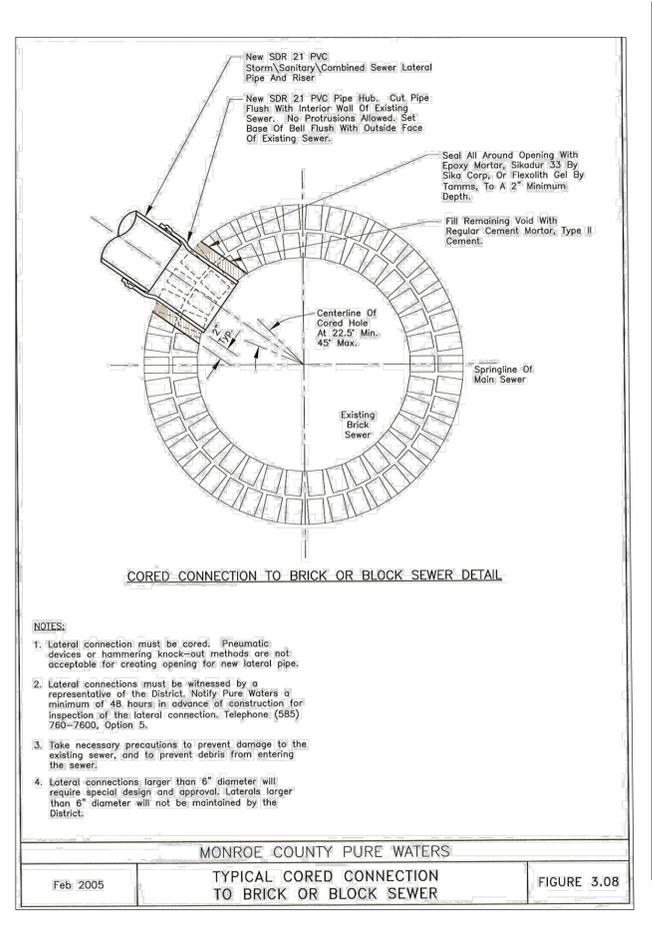
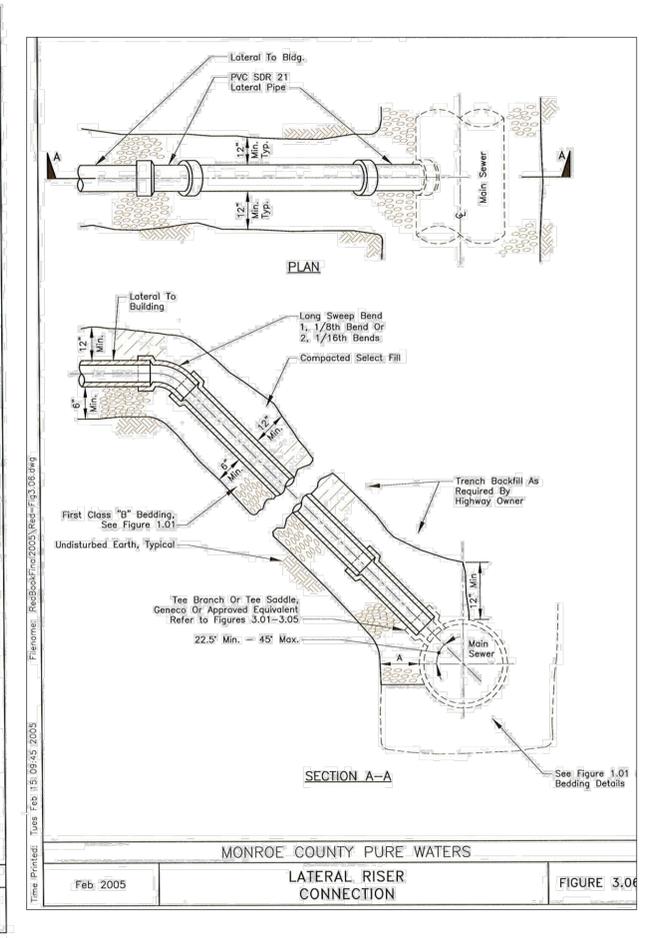
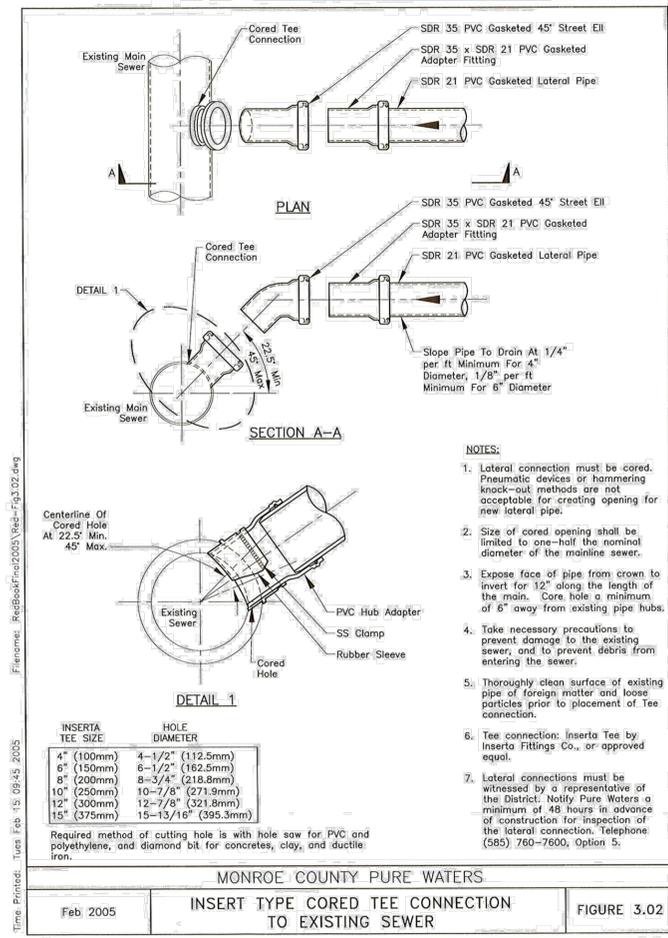
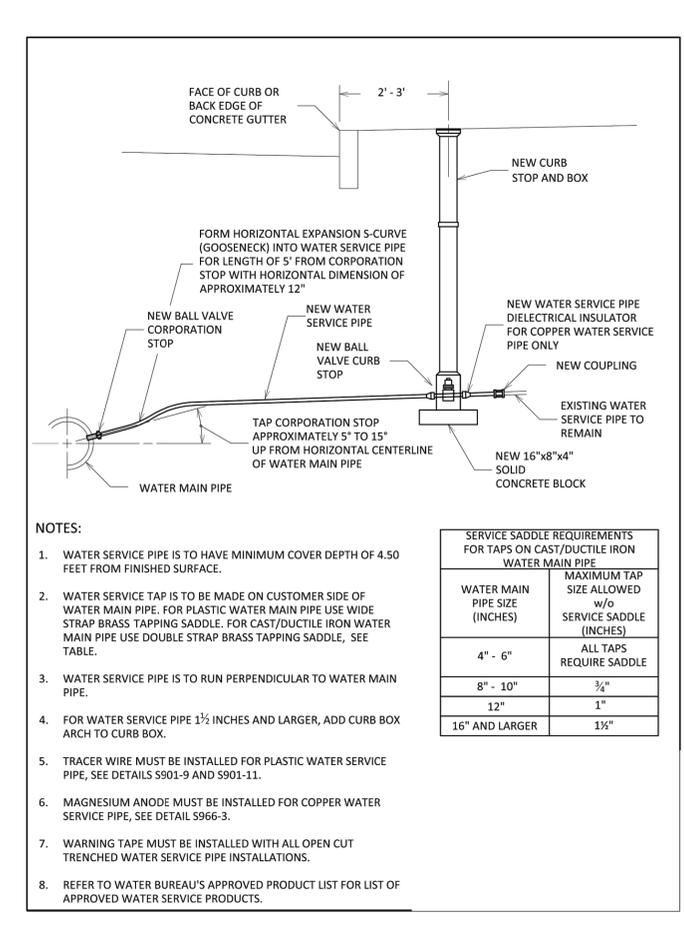
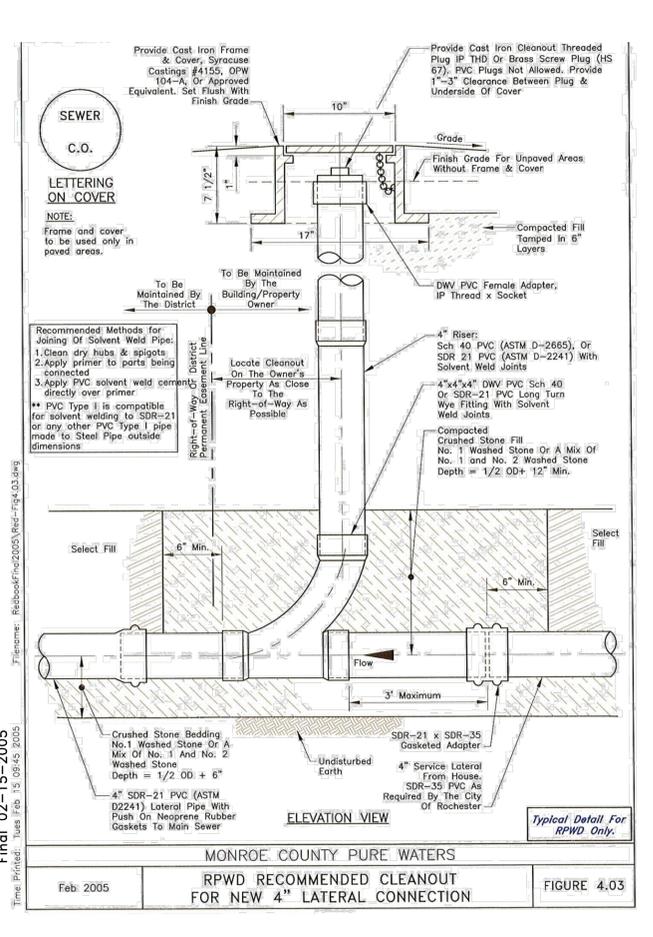
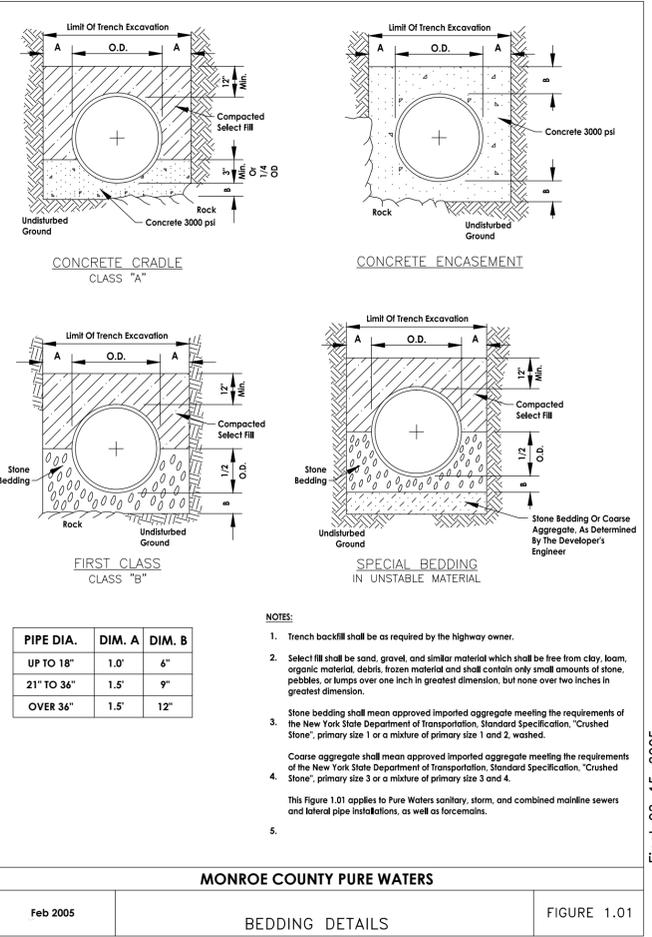


Revisions

No.	Date	By	Description
1			

DETAILS  
CHARLOTTE SQUARE II

Town/City: ROCHESTER  
County: MONROE State: NEW YORK  
Project No.: 20141995.0004  
Drawing No.: C 201 Sheet No.: 5  
Scale: N.T.S.  
Date: JUNE 2016



**PA**  
PASSERO ASSOCIATES  
engineering architecture

Client:  
**SWBR Architects**  
387 E. MAIN STREET  
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Project Manager: **Jess D. Sudol, P.E.**  
Designed by: **Carole G. Harvey**

**STATE OF NEW YORK**  
Professional Engineer  
No. 10663

**Revisions**

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**DETAILS**

**CHARLOTTE SQUARE II**

Town/City: **ROCHESTER**  
County: **MONROE** State: **NEW YORK**

Project No.: **20141995.0004**

Drawing No.: **C 202** Sheet No.: **6**

Scale: **N.T.S.**

Date: **JUNE 2016**

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387 E Main Street  
Rochester, NY 14604  
Phone: 585 232 8300

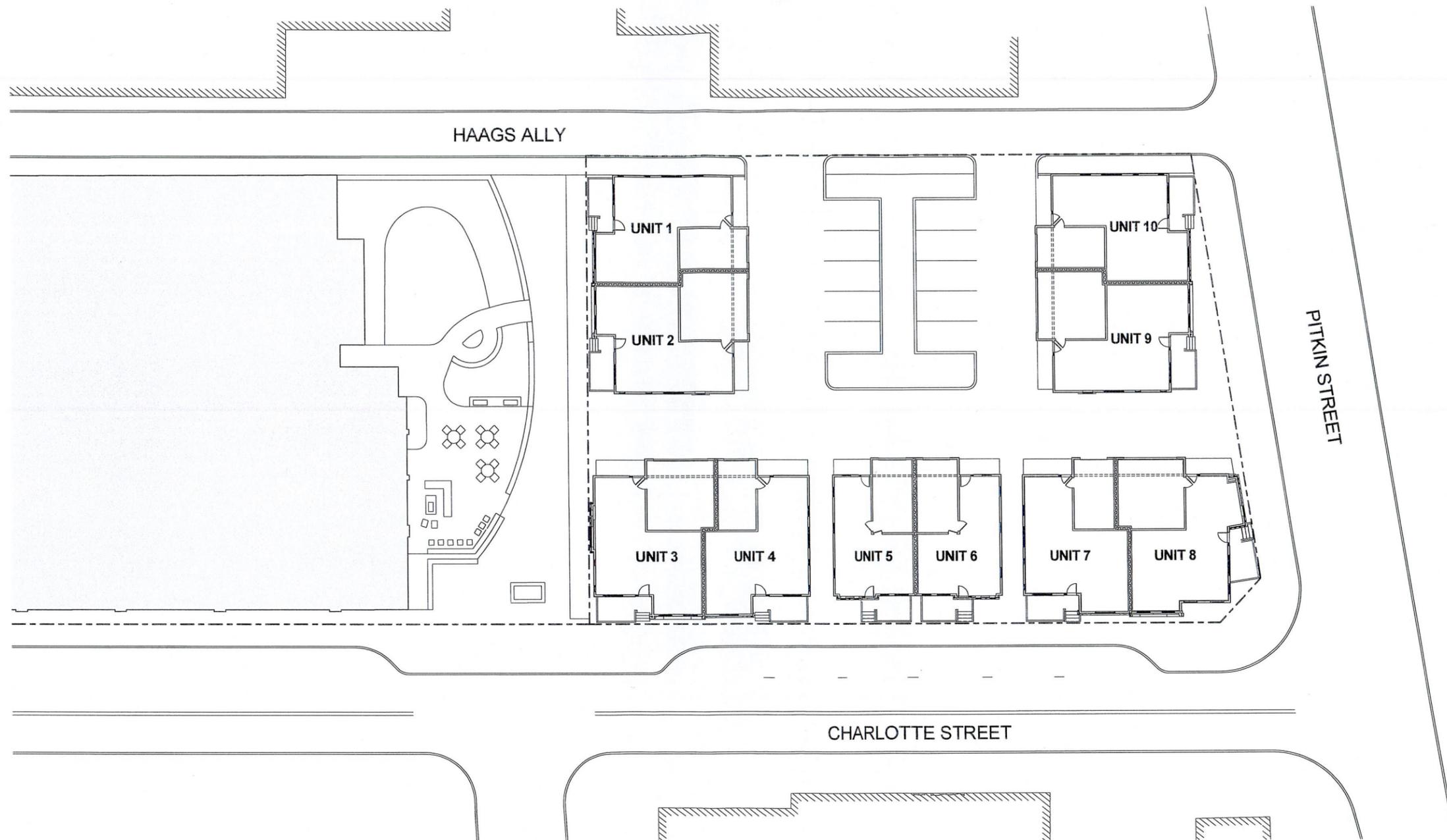


180 S Clinton Ave  
Rochester, NY 14604  
Phone: 585 262 6210

## CHARLOTTE SQUARE TOWNHOMES

SWBR PROJECT NUMBER: 14781 © 7/12/2016

## TITLE SHEET



387 E Main Street  
 Rochester, NY 14604  
 Phone: 585 232 8300



180 S Clinton Ave  
 Rochester, NY 14604  
 Phone: 585 262 6210

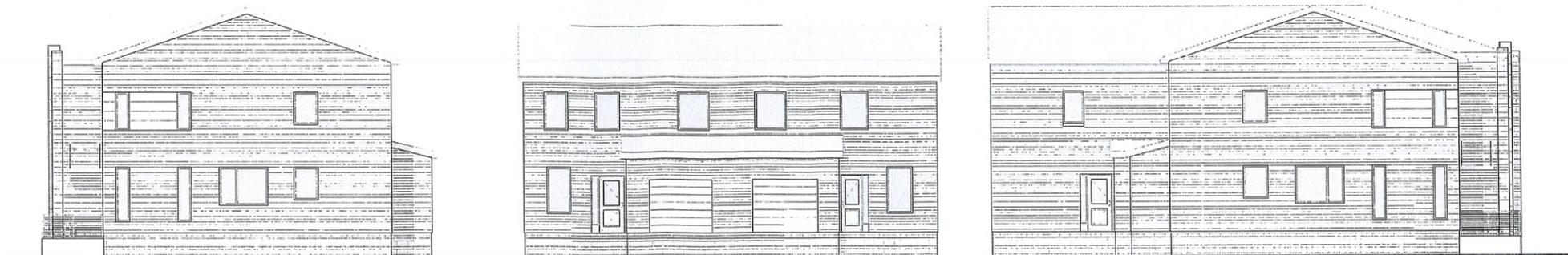
# CHARLOTTE SQUARE TOWNHOMES

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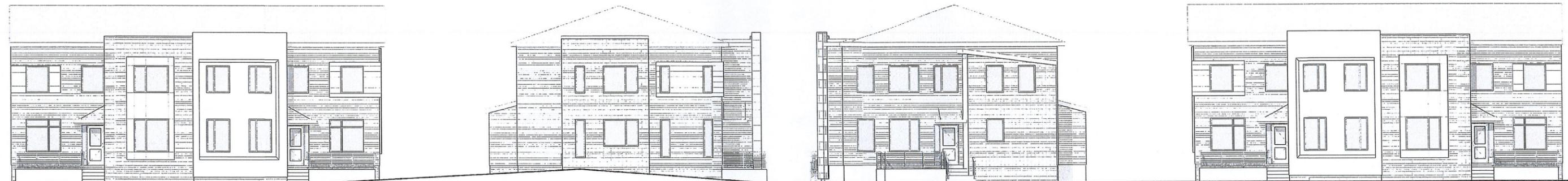
# OVERALL SITE PLAN

1/16" = 1'-0"





NORTH ELEVATION



WEST ELEVATION

EAST ELEVATION



SOUTH ELEVATION



SW  
BR

SWBR ARCHITECTS

387 E Main Street  
Rochester, NY 14604  
Phone: 585 232 8300



HOME  
LEASING

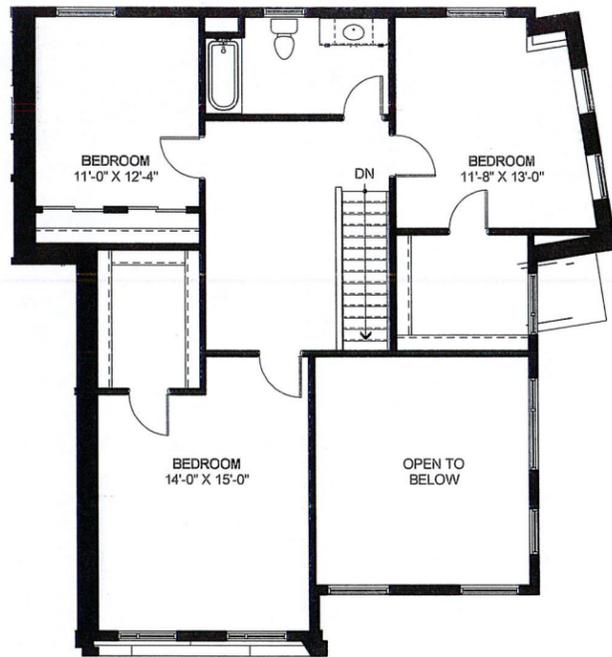
180 S Clinton Ave  
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## CHARLOTTE SQUARE TOWNHOMES

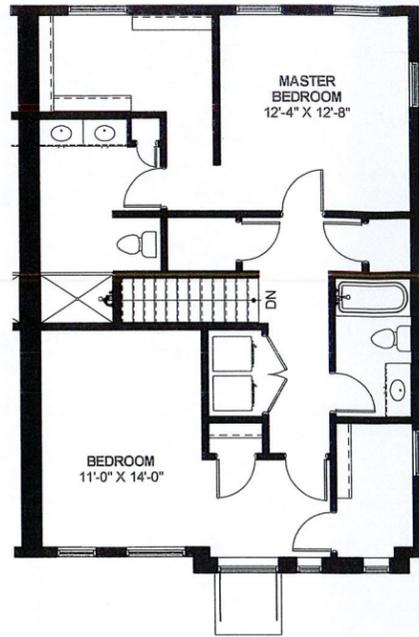
SWBR PROJECT NUMBER: 14781 © 06/20/16

## EXTERIOR ELEVATIONS

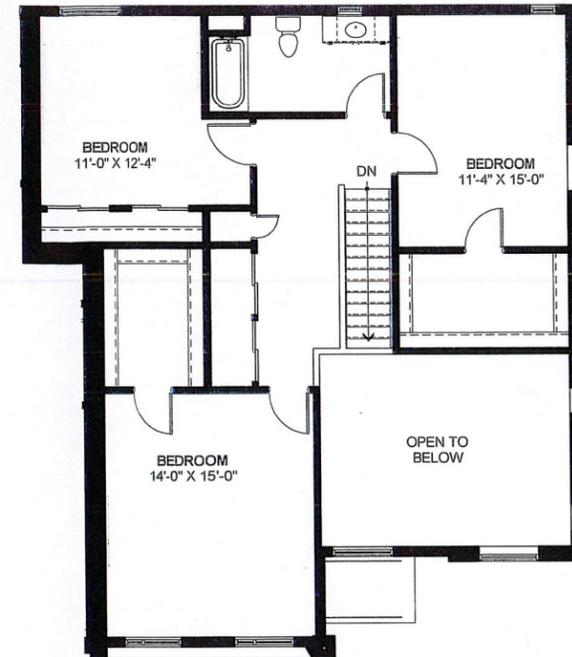
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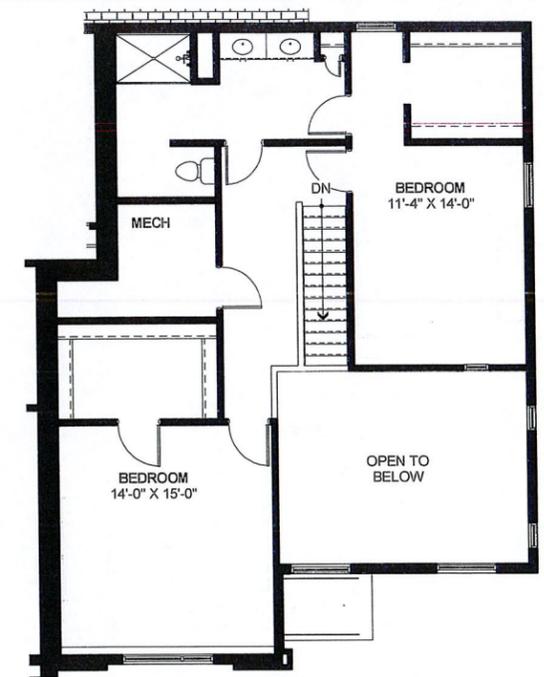
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2035 TOTAL SF



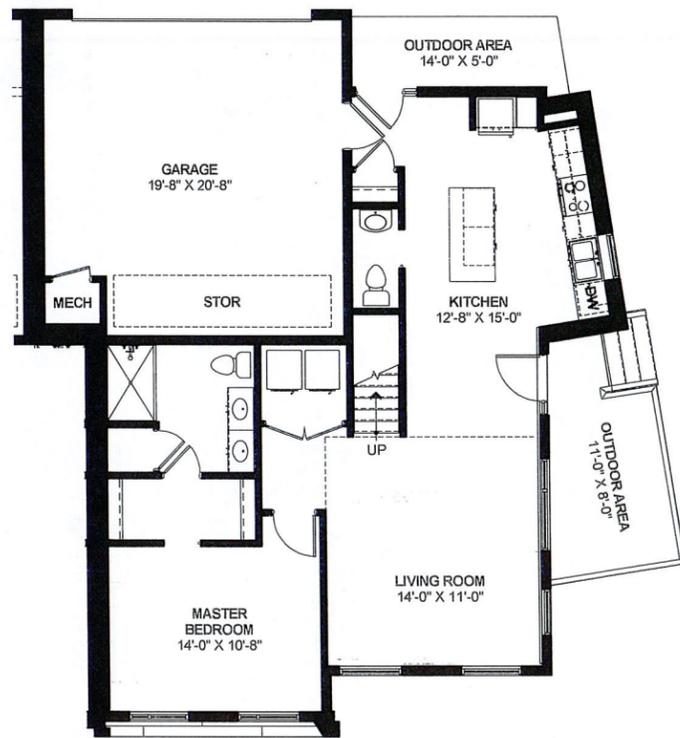
TYPICAL SECOND FLOOR UNIT LAYOUT - UNITS 5, 6  
1630 TOTAL SF



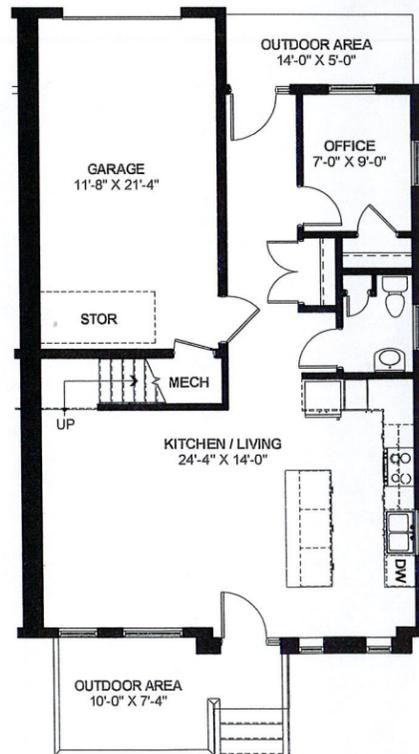
TYPICAL SECOND FLOOR UNIT LAYOUT - UNITS 2, 3, 9  
2035 TOTAL SF



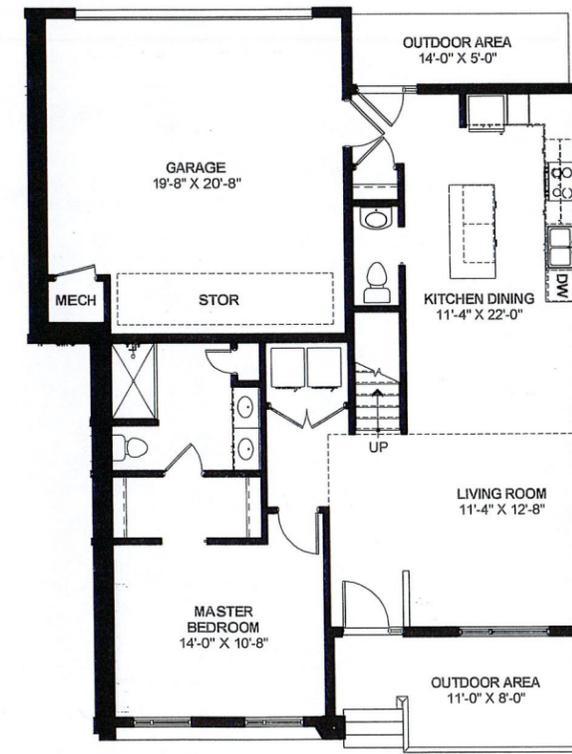
TYPICAL SECOND FLOOR UNIT LAYOUT - UNITS 1, 4, 7, 10  
1910 TOTAL SF



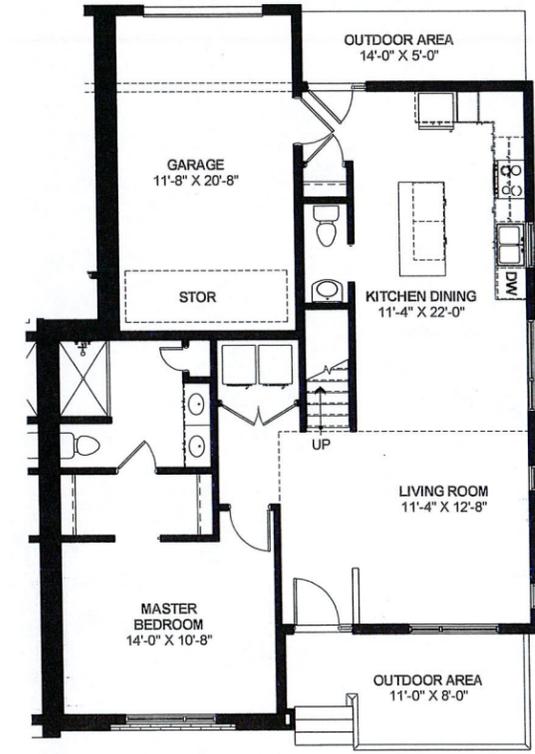
TYPICAL FIRST FLOOR UNIT LAYOUT - UNIT 8  
2035 TOTAL SF



TYPICAL FIRST FLOOR UNIT LAYOUT - UNITS 5, 6  
1630 TOTAL SF



TYPICAL FIRST FLOOR UNIT LAYOUT - UNITS 2, 3, 9  
2035 TOTAL SF



TYPICAL FIRST FLOOR UNIT LAYOUT - UNITS 1, 4, 7, 10  
1910 TOTAL SF



387 E Main Street  
Rochester, NY 14604  
Phone: 585 232 8300



180 S Clinton Ave  
Rochester, NY 14604  
Phone: 585 262 6210

# CHARLOTTE SQUARE TOWNHOMES

SWBR PROJECT NUMBER: 14781 © 07/13/2016

# UNIT LAYOUTS

3/16" = 1'-0"



NORTH ELEVATION



WEST ELEVATION

EAST ELEVATION



SOUTH ELEVATION



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# CHARLOTTE SQUARE TOWNHOMES

SWBR PROJECT NUMBER: 14781 © 06/20/16

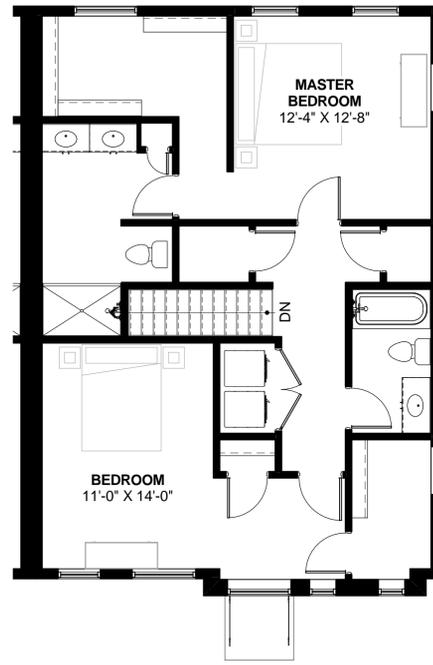
# EXTERIOR ELEVATIONS

1/8" = 1'-0"



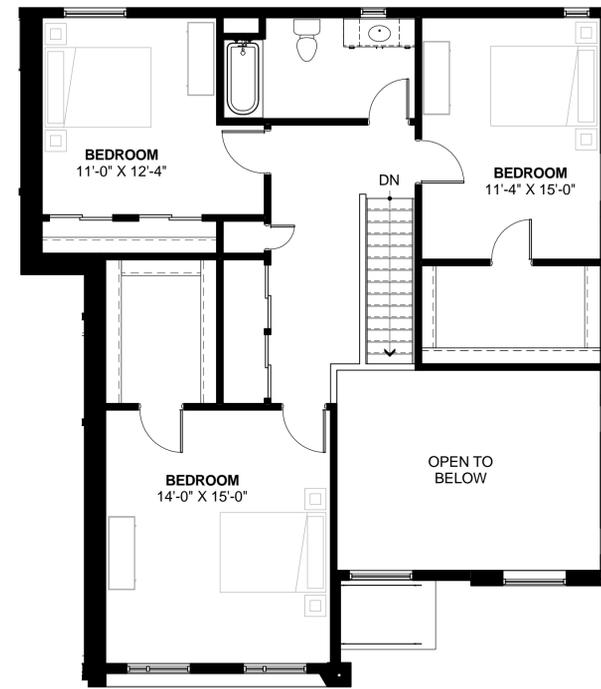
TYPICAL SECOND FLOOR UNIT LAYOUT - UNIT 8

2035 TOTAL SF



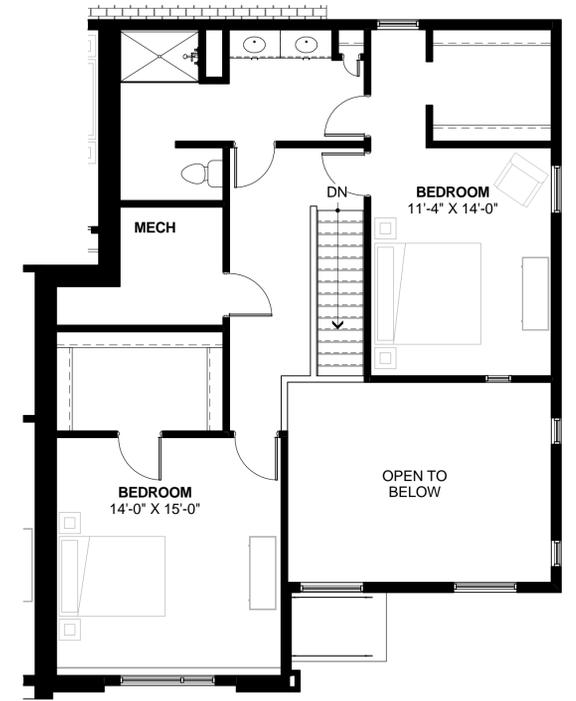
TYPICAL SECOND FLOOR UNIT LAYOUT - UNITS 5, 6

1630 TOTAL SF



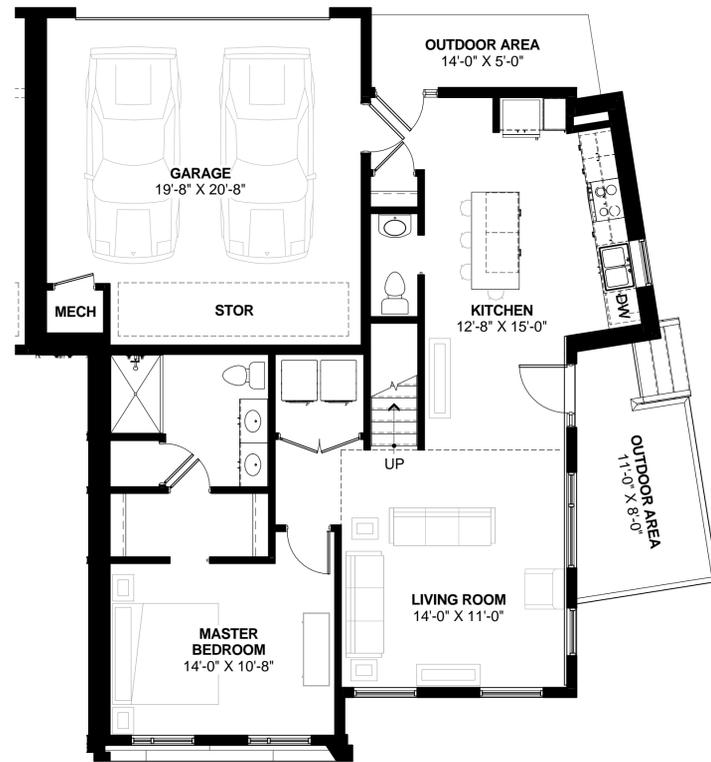
TYPICAL SECOND FLOOR UNIT LAYOUT - UNITS 2, 3, 9

2035 TOTAL SF



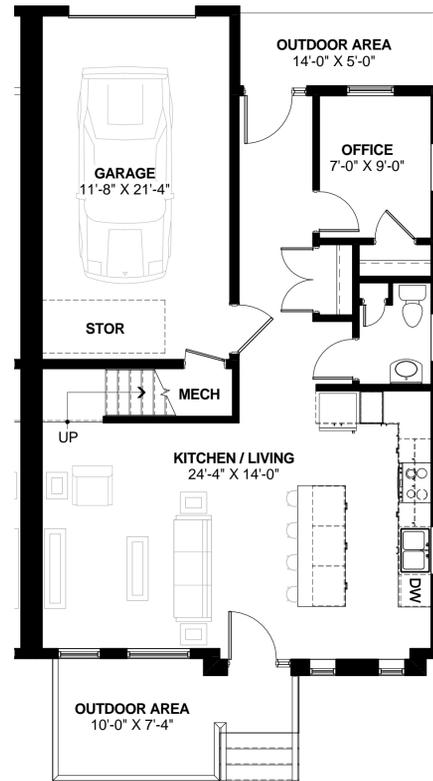
TYPICAL SECOND FLOOR UNIT LAYOUT - UNITS 1, 4, 7, 10

1910 TOTAL SF



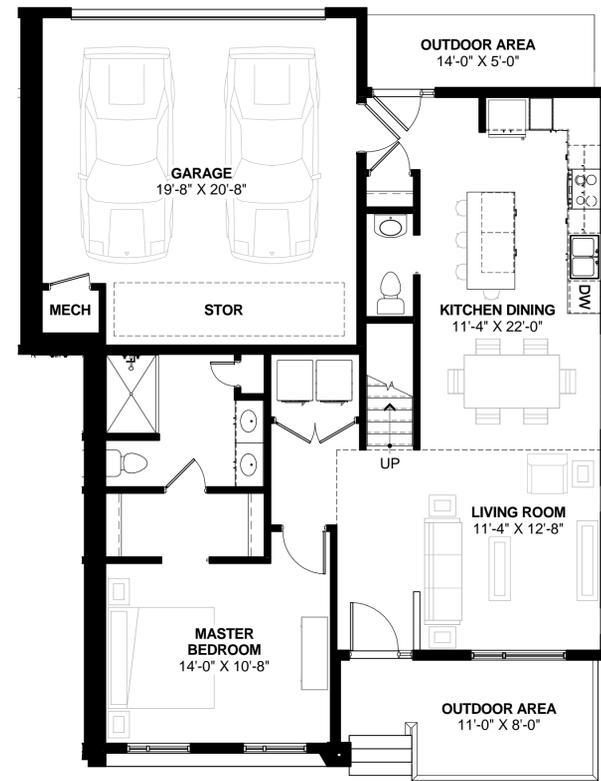
TYPICAL FIRST FLOOR UNIT LAYOUT - UNIT 8

2035 TOTAL SF



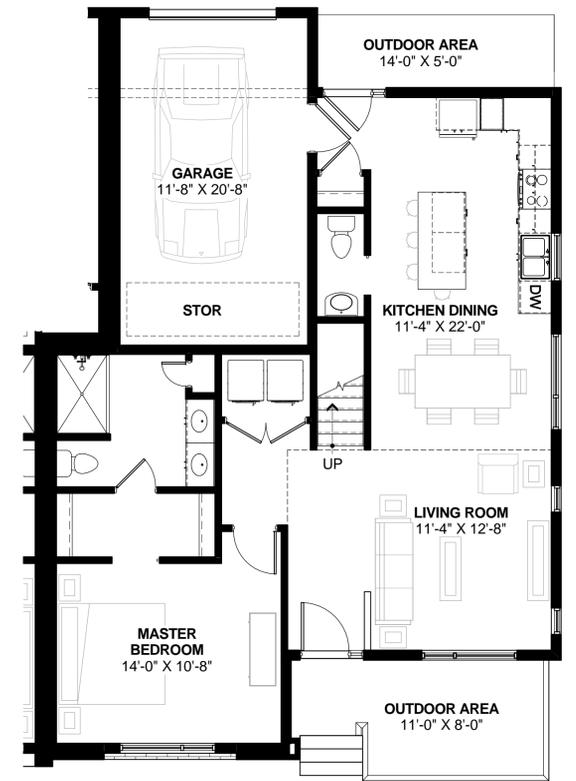
TYPICAL FIRST FLOOR UNIT LAYOUT - UNITS 5, 6

1630 TOTAL SF



TYPICAL FIRST FLOOR UNIT LAYOUT - UNITS 2, 3, 9

2035 TOTAL SF



TYPICAL FIRST FLOOR UNIT LAYOUT - UNITS 1, 4, 7, 10

1910 TOTAL SF



# CHARLOTTE SQUARE TOWNHOMES

# UNIT LAYOUTS

SWBR PROJECT NUMBER: 14781 © 07/13/2016

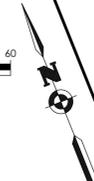
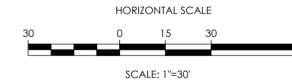
3/16" = 1'-0"

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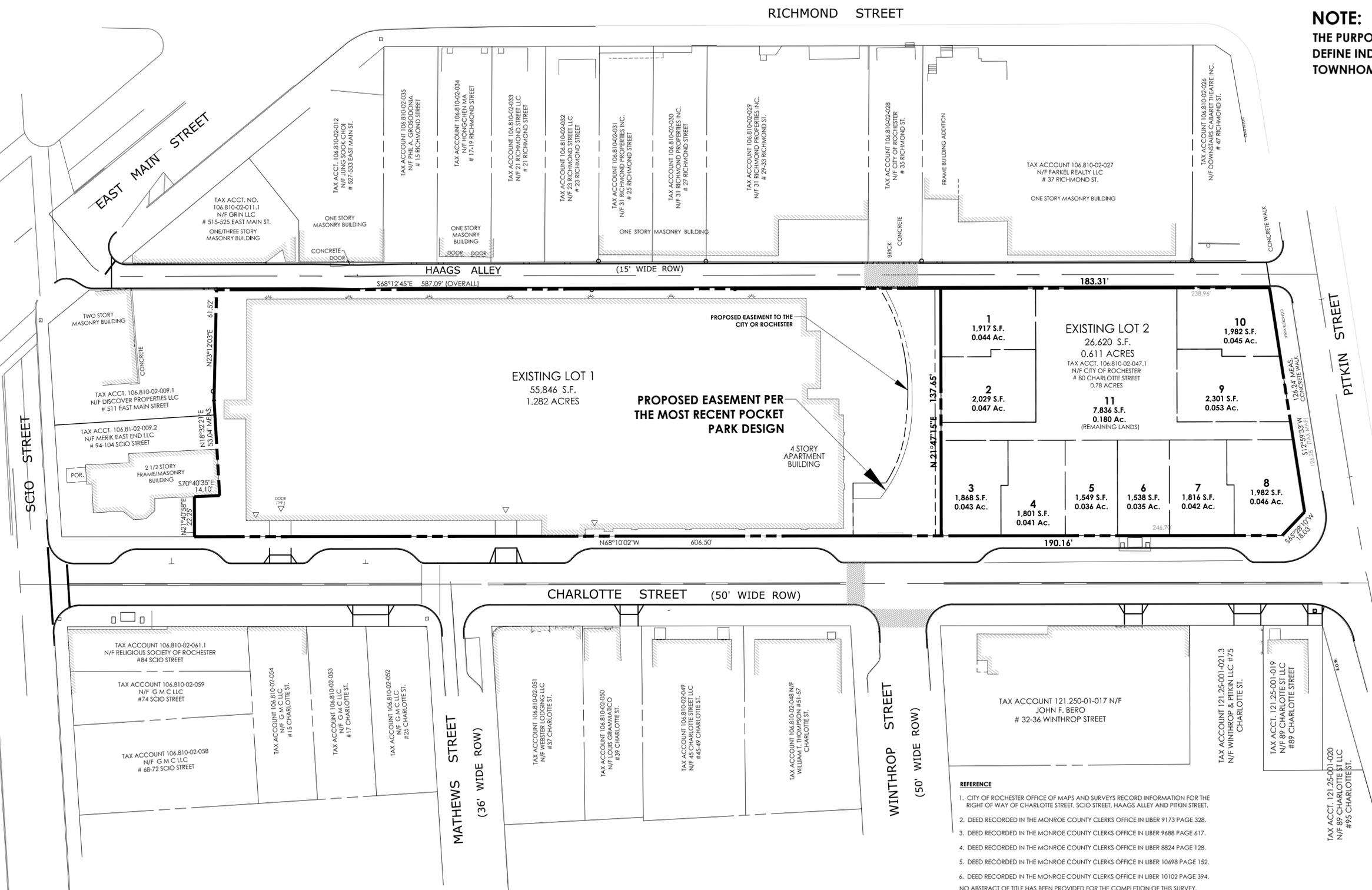
**LEGEND**

-  EXISTING BOUNDARY LINE
-  PROPOSED PROPERTY LINE
-  PROPOSED EASEMENT LINE



**NOTE:**  
 THE PURPOSE OF THIS MAP IS TO  
 DEFINE INDIVIDUAL LOTS FOR  
 TOWNHOMES

ONLY COMES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL INKED OR EMBOSSED SEAL AND INKED SIGNATURE SHALL BE CONSIDERED A TRUE AND VALID COPY.  
 CERTIFICATION INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE AGENCIES LISTED HEREON. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.



**PROPOSED EASEMENT PER  
 THE MOST RECENT POCKET  
 PARK DESIGN**

- REFERENCE**
- CITY OF ROCHESTER OFFICE OF MAPS AND SURVEYS RECORD INFORMATION FOR THE RIGHT OF WAY OF CHARLOTTE STREET, SCIO STREET, HAAGS ALLEY AND PITKIN STREET.
  - DEED RECORDED IN THE MONROE COUNTY CLERKS OFFICE IN LIBER 9173 PAGE 328.
  - DEED RECORDED IN THE MONROE COUNTY CLERKS OFFICE IN LIBER 9688 PAGE 617.
  - DEED RECORDED IN THE MONROE COUNTY CLERKS OFFICE IN LIBER 8824 PAGE 128.
  - DEED RECORDED IN THE MONROE COUNTY CLERKS OFFICE IN LIBER 10698 PAGE 152.
  - DEED RECORDED IN THE MONROE COUNTY CLERKS OFFICE IN LIBER 10102 PAGE 394.
- NO ABSTRACT OF TITLE HAS BEEN PROVIDED FOR THE COMPLETION OF THIS SURVEY.
- SURVEY NOTES**
- GEODETIC COORDINATES SHOWN HEREON ARE BASED ON A FIELD TRAVERSE FROM USC & GS MONUMENTS "SWAN" AND "ALEXANDER", THROUGH CITY OF ROCHESTER RIGHT OF WAY MONUMENTS, USING INFORMATION PROVIDED BY THE CITY OF ROCHESTER OFFICE OF MAPS AND SURVEYS.
- SWAN                      ALEXANDER  
 N=1,152,346.4150      N=1,152,661.6437  
 E=1,410,578.7083      E=1,411,592.3201
- HORIZONTAL DATUM NAD 83
- ELEVATIONS SHOWN ARE BASED ON A VERTICAL TRAVERSE TIED TO USC & GS MONUMENT, "SWAN", ELEVATION 528.73 (CITY DATUM).

**Revisions**

No.	Date	By	Description

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS IN VIOLATION OF STATE EDUCATION LAW ARTICLE 145 SECTION 7809 AND ARTICLE 147 SECTION 7507. THESE PLANS ARE COPYRIGHT PROTECTED ©

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 Drafted by      C. Hanney

**SWBR Architects**  
 387 East Main Street  
 Rochester, New York 14604  
 585-784-3944

**SUBDIVISION OF  
 TOWNHOME LOTS**  
**CHARLOTTE  
 SQUARE PHASE II**

City of Rochester, Monroe County, State of N.Y.  
 Project No.  
**20141995.0004**  
 Drawing No.      Sheet No.  
**V 100      1 of 1**  
 Scale:  
**1" = 30'**  
 Date  
**JULY 2016**