

April 12, 2018
Revised October 9, 2018

City of Rochester
Bureau of Building and Zoning
City Hall, 30 Church Street, Room 125B
Rochester, NY 14614

Attn: Tom Kicior, Site Plan Review and Special Permits

**Re: Pueblo Nuevo
Site Plan Review and Special Permits**

2555

Dear Tom:

On behalf of the project applicant, Ibero-American Development Corporation, we submit the enclosed plans and application materials for the City's consideration of site plan review process and special permits. We have enclosed the following application materials for each action:

Site Plan Review and Special Permit Materials

- Site Plan Application (Site Plan Application review fees paid 10/6/17)
- Three (3) complete sets of Site Plan and Special Permit Site Plans
- Three (3) complete sets of O'Brien St. Community Open Space Plans (Lot G3)
- Parcel List for Special Permits
- Building Floor Plans – single and three-family units
- Building Elevations- single and three-family units
- Engineering Narrative
- ALTA Surveys
- CD with Digital Copy of all materials

The proposed project is an in-fill residential development, including ±41 vacant properties for 104 residential units. The parcels will be developed with a combination of five single-family homes (5 units), 13 two-family buildings (26 units), 13 three family building (39 units), and 34 multi-family residential units (in 2 buildings) including the existing building at 938 Clifford Avenue which will be an adaptive re-use for 18 one-bedroom units.

All of the properties (except 938 Clifford) were re-zoned by the City of Rochester on December 20, 2017 to R-2, to allow the two-family and multi-family residential. The three family units, multi-family buildings, and community open space require a special permit from the Planning Commission. Attached is a list of the sites that require the special permits.

The proposed site development is in basic conformance with the City of Rochester Zoning Ordinance with the exception of the following sections of the Code which will require a waiver by the Planning Commission for the three family dwelling units:

1. Chapter 120, Section 20B(1)(c)(1) – 3,000 square feet of lot area is required per residential unit (9,000 square feet total required for 3 unit buildings) where a minimum of ± 2,462 square feet of lot area per unit is proposed (7,386 square feet total lot area). The property was re-zoned to R-2 to allow for multi-family development and the proposal is consistent with multi-family in the

area. The project is also an infill site and is redevelopment of existing vacant lots. The number of units required is based on economic and funding requirements to make the re-development for Pueblo Nuevo possible.

2. Chapter 120, Section 20B(1)(c)(3) – Fifty percent maximum lot coverage is allowed where a maximum of 52% lot coverage is proposed. The property was re-zoned to R-2 to allow for multi-family development, and the proposal is consistent with multi-family in the area. The project is also an infill site and is a redevelopment of existing vacant parcels. The City code requires three (3) parking spaces and a means to turn vehicles around for the proposed three family units, which increases the lot coverage on the sites.

The majority of the properties are owned by the City of Rochester, and the project has applied for funding from the City and New York State.

The two-family units are located up and down with the lower unit being accessible. The three-family units include two one-bedroom units on the first floor that are accessible, and a three bedroom unit on the second floor. The unit bedroom mix is as follows:

Single-Family: (5) 1-Story, 2-bedroom units (±1,090 sf each)

Two-Family: (12) 2-story, 2-bedroom units (±1,134 sf each)
(1) 2-story, 1-bedroom & 3-bedroom unit – (20 Hoeltzer rehab)

Three-Family: (13) 2-story, (2) 1-bedroom units (±790 sf each)
(1) 3-bedroom units (±1,560 sf each)

Multi-Family: Existing Building: 938 Clifford Avenue
(18) 1-bedroom units (±640 sf each)

New Building: 47-59 Sullivan Street
(14) 1-bedroom units (±701 sf each)
(2) 2-bedroom units (±840 sf each)

Both multi-family buildings will have elevators and be accessible.

Totals: (59) 1-bedroom units
(31) 2-bedroom units
(14) 3-bedroom units
(104) Total Units

The properties are located along Sullivan Street, Clifford Avenue, Hoeltzer Street, Kappel Place, and North Clinton within the City of Rochester. We have attached a Parcel Detail report that outlines the property addresses and tax account numbers for your reference.

New sanitary sewer laterals and water services will be extended to serve each proposed building. Existing curb cuts have been re-used where feasible and we are requesting the necessary permits for the utility, highway, and sidewalk work within the City streets.

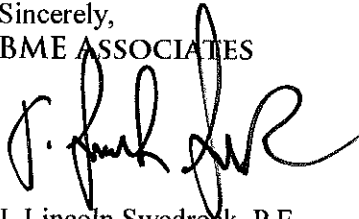
The following permits/approvals are anticipated for the site development as proposed:

- Minor Site Plan Review – City Planning Commission – Three Family Units and Multi-Family on O'Brien Street
- Site Plan Review – City Plan Review (Manager & Zoning) – One and Two Family Units
- Area Variances – City Zoning Board of Appeals – One and Two Family Units as required

- Special Permit – City Planning Commission – Three Family and Multi-Family Units
- Sale of City Properties – City Council
- City DES – Access Permits, Highway/Sidewalk Work
- City Water Bureau – Water Service
- City Plumbing – Water and Sanitary Sewer Service
- MCPW/RPWD – Sanitary Sewer
- City Building Permits

If you require any additional information concerning the application, please contact our office.

Sincerely,
BME ASSOCIATES



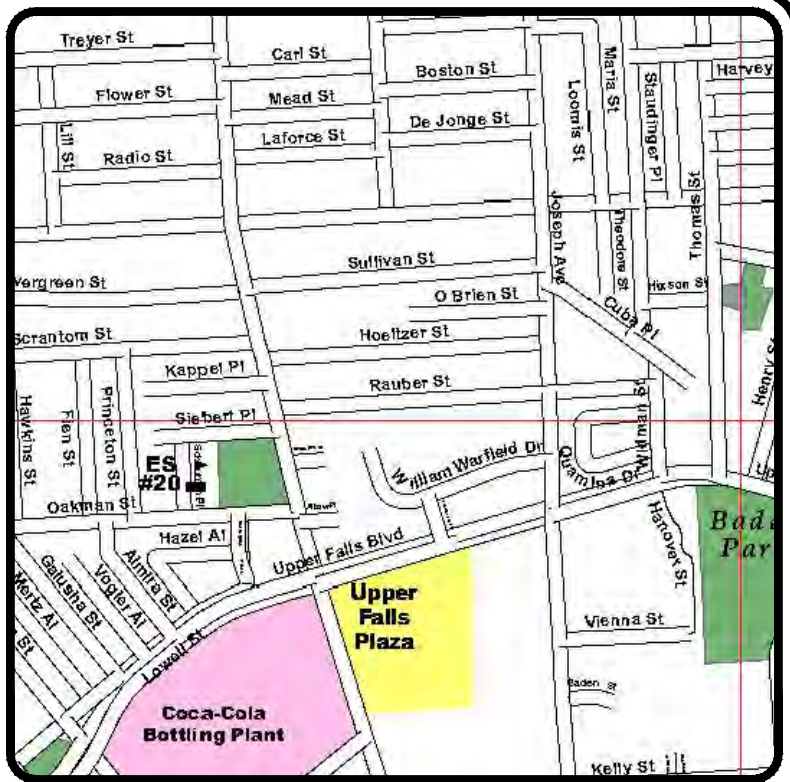
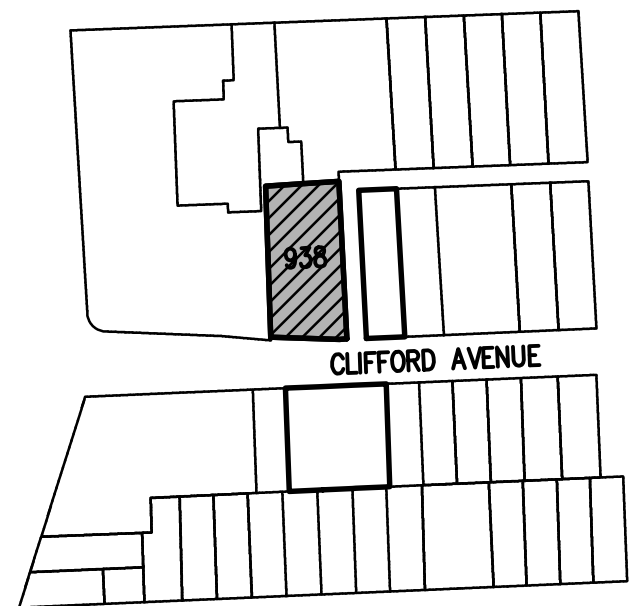
J. Lincoln Swedrock, P.E.

JLS

Encl.

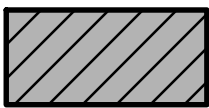
- c: Eugenio Marlin; Ibero-American Development Corporation
Stephanie Benson; Edgemere Development (with CD)
Susan Frykolm; Edgemere Development
Charlie Oster; Edgemere Development
Mark Pandolf; PLAN Architecture Studio, P.C.

P:\2555 Drawings\Final\SPECIAL PERMIT SETS (D-K, R-T, U)\2555S Cover Sheet.dwg



LOCATION MAP
NOT TO SCALE

KEY



SITES THAT REQUIRE
SPECIAL PERMITS & SITE
PLAN REVIEW/APPROVAL



REMAINING SITES

SITE PLAN REVIEW AND
SPECIAL PERMIT SET: SITES D-K, R-T, & U
FINAL PLOT PLANS

PUEBLO NUEVO HOUSING

DWG. No.	TITLE
2555-01F	COVER SHEET
2555-02F	PLAN INDEX (SHEET 1 OF 2)
2555-03F	PLAN INDEX (SHEET 2 OF 2)
2555-07F	SITE D PLOT PLAN (10 & 12 SULLIVAN ST.)
2555-08F	SITE E PLOT PLAN (29 SULLIVAN ST.)
2555-09F	SITE F PLOT PLAN (37 SULLIVAN ST.)
2555-10F	SITE G PLOT PLAN (12 HOELTZER ST.)
2555-11F	SITE H PLOT PLAN (24 HOELTZER ST.)
2555-12F	SITE I PLOT PLAN (36 HOELTZER ST.)
2555-13F	SITE J PLOT PLAN (44-46 HOELTZER ST.)
2555-14F	SITE K PLOT PLAN (60-64 HOELTZER ST.)
2555-21F	SITE R PLOT PLAN (19 & 21 KAPPEL PLACE)
2555-22F	SITE S PLOT PLAN (5 & 9 KAPPEL PLACE, 781 N. CLINTON AVE)
2555-23F	SITE T PLOT PLAN (765 & 769-771 N. CLINTON AVE)
2555-25F	SITE U PLOT PLAN (938 CLIFFORD)
2555-27F	DETAIL SHEET (SHEET 1 OF 3)
2555-28F	DETAIL SHEET (SHEET 2 OF 3)
2555-29F	DETAIL SHEET (SHEET 3 OF 3)

THIS PLAN SET WILL REQUIRE SPECIAL
PERMITS AND SITE PLAN REVIEW/APPROVAL
FROM THE CITY PLANING COMMISSION.

SEE BME DRAWINGS #2555A-01 TO 12
FOR APARTMENT PARCEL PLANS

PUEBLO NUEVO HOUSING

CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE

PREPARED FOR:

IBERO-AMERICAN DEVELOPMENT

954 CLIFFORD AVE
ROCHESTER, NY 14621

CITY OF ROCHESTER WATER BUREAU		
APPROVED ONLY FOR WATER FACILITY WORK SHOWN WITHIN THE PUBLIC RIGHT-OF-WAY, UP TO AND INCLUDING THE CURB VALVE, AND INCLUDING THE WATER METER VAULT NEAR THE RIGHT-OF-WAY, IF APPLICABLE. THE OWNER, DEVELOPER OR THEIR PLUMBER IS RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS FROM THE CITY BEFORE BEGINNING ANY WORK.		
IF A BACKFLOW PREVENTION DEVICE IS REQUIRED, THE WATER BUREAU WILL NOT ISSUE A WATER SERVICE PERMIT UNTIL THE PLANS FOR THE BACKFLOW PREVENTION DEVICE HAVE BEEN APPROVED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.		
<input type="checkbox"/> BACKFLOW DEVICE REQUIRED	<input type="checkbox"/> BACKFLOW DEVICE NOT REQUIRED	
SIGNATURE	TITLE	DATE

SCALE: 1"=200'

DRAWING NUMBER: 2555-01F
DATED: MARCH 1, 2018
LAST REVISED: AUGUST 2018

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

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FAIRPORT, NEW YORK 14450
WWW.BMEPC.COM

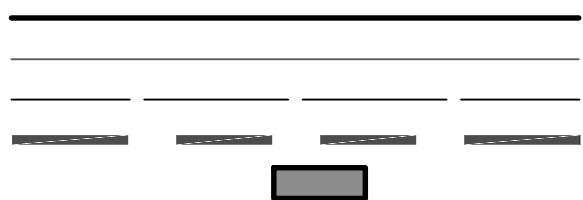
PHONE 585-377-7360
FAX 585-377-7309

P:\2555 Drawings (Final)\SPECIAL PERMIT SITES (D-K, R-1, U)\2555 PLOT INDEX PLANS.dwg

PUEBLO NUEVO PARCEL DETAIL REPORT

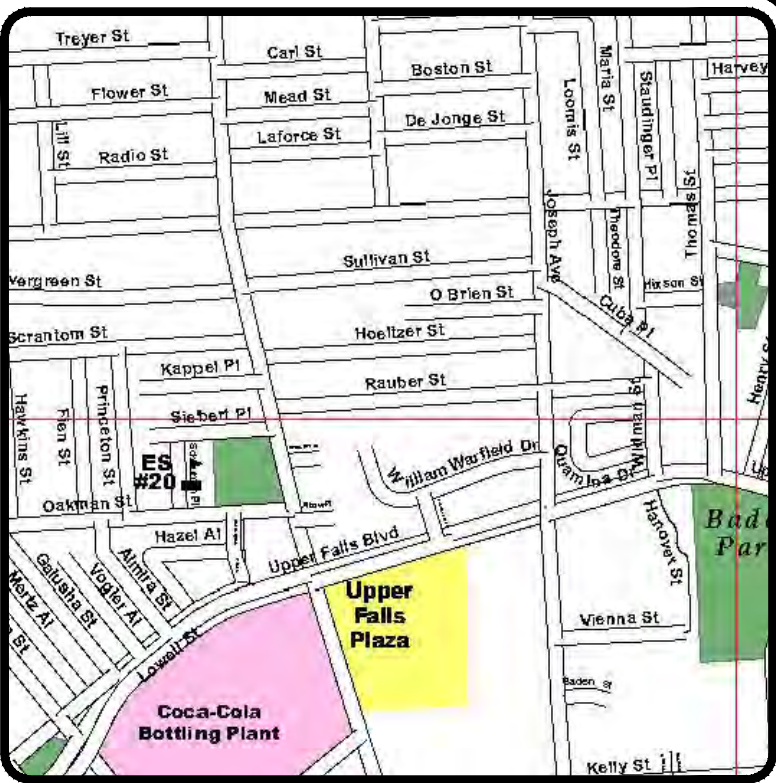
SITE	OWNER	TAX ACCOUNT NO.	STREET ADDRESS	ZONED:
D	CITY OF ROCHESTER	106.30-2-32	10 SULLIVAN STREET	R-2
D	CITY OF ROCHESTER	106.31-4-63.003	12 SULLIVAN STREET	R-2
E	CITY OF ROCHESTER	106.39-1-13.002	29 SULLIVAN STREET	R-2
F	CITY OF ROCHESTER	106.39-1-18.002	37 SULLIVAN STREET	R-2
G	CITY OF ROCHESTER	106.39-1-72.001	12 HOELTZER STREET	R-2
H	CITY OF ROCHESTER	106.39-1-66.001	24 HOELTZER STREET	R-2
I	CITY OF ROCHESTER	106.39-1-60.001	36 HOELTZER STREET	R-2
J	CITY OF ROCHESTER	106.39-1-56.001	44-46 HOELTZER STREET	R-2
K	CITY OF ROCHESTER	106.39-1-47.002	60-64 HOELTZER STREET	R-2

LEGEND



PUEBLO NUEVO PARCEL
TAX PARCEL LINE
SETBACK LINE
PROJECT LIMITS/PHASE LINE
PUEBLO NUEVO HOUSING PARCELS

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BME Associates



LOCATION MAP
NOT TO SCALE

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

REVISIONS	DATE	BY
7		
6		
5		
4		
3		
2		
1	8/14/18	RRG

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PUEBLO NUEVO HOUSING
FINAL
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
IBERO AMERICAN DEVELOPMENT
CORPORATION
ROCHESTER, NY 14621

PLAN INDEX
(SPECIAL PERMITS AND SITE PLAN REVIEW)

PROJECT LOCATION CLIENT DRAWING TITLE

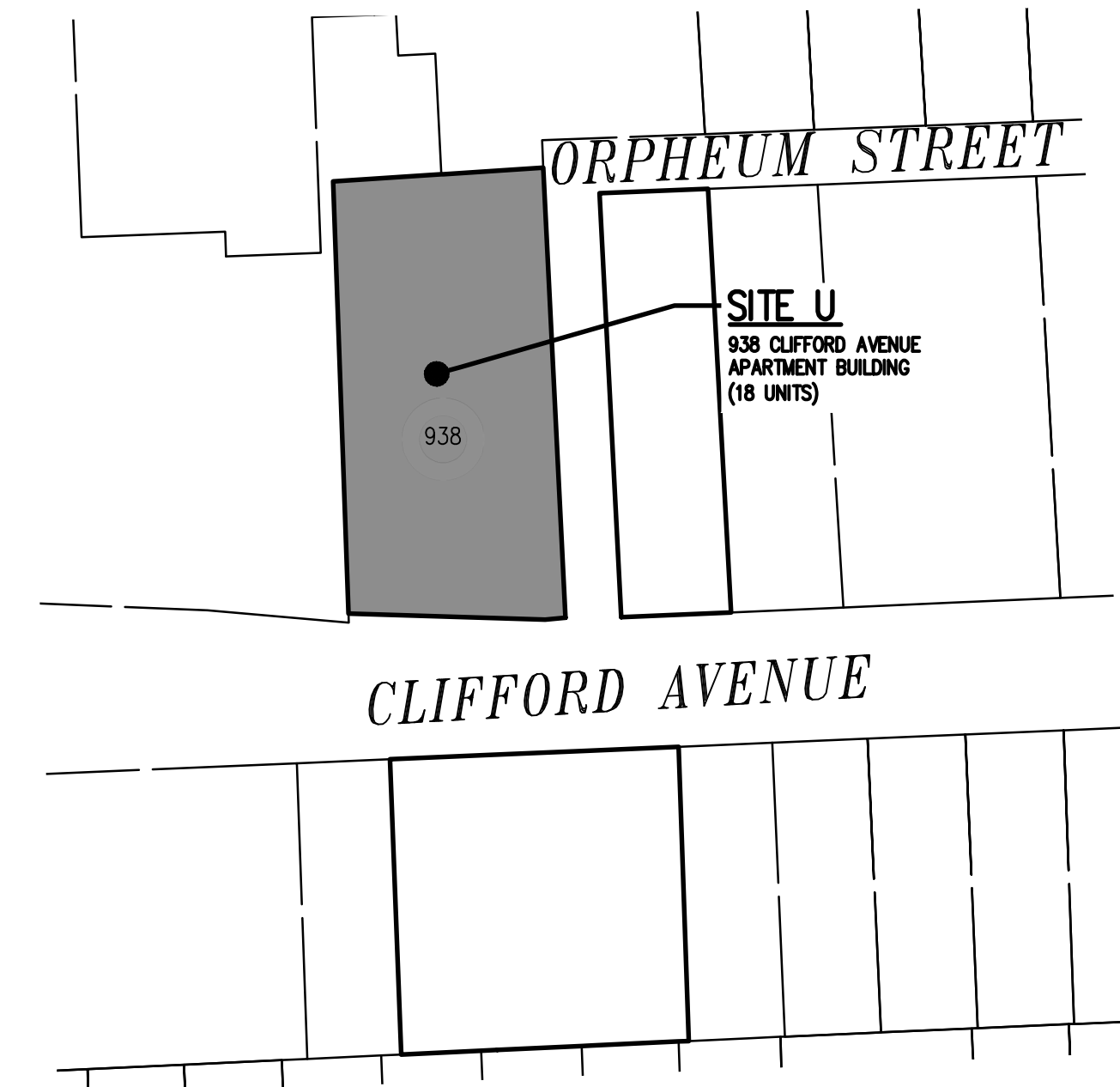
PROJECT MANAGER
JL SWEDROCK
PROJECT ENGINEER
FA SHELLEY
DRAWN BY
RR GLITCH

SCALE DATE ISSUED
1" = 60' MARCH 2018

PROJECT NO.
2555

DRAWING NO.
02F
(1 OF 2)

SITE	OWNER	TAX ACCOUNT NO.	STREET ADDRESS	ZONED:
R	CITY OF ROCHESTER	106.38-2-31	19 KAPPEL PLACE	R-2
	CITY OF ROCHESTER	106.38-2-30	21 KAPPEL PLACE	R-2
S	CITY OF ROCHESTER	106.38-2-39.002	5 KAPPEL PLACE	R-2
	CITY OF ROCHESTER	106.38-2-36	9 KAPPEL PLACE	R-2
	CITY OF ROCHESTER	106.38-2-40	781 NORTH CLINTON AVENUE	R-2
T	CITY OF ROCHESTER	106.38-2-43	765 NORTH CLINTON AVENUE	R-2
U	IBERO AMERICAN DEVELOPMENT	106.33-2-46.009	398 CLIFFORD AVENUE	R-1



PUEBLO NUEVO PARCEL
TAX PARCEL LINE
SETBACK LINE
PROJECT LIMITS/PHASE LINE
PUEBLO NUEVO HOUSING PARCELS

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10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
PHONE 585-377-7260
FAX 585-377-7309
WWW.BMEPCOM



PROJECT	LOCATION	CLIENT	DRAWING TITLE
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2555
DRAWING NO.
03F
(2 OF 2)

P:\2555 Drawings\Final\Special Permit Sites (D-R, R-T, U)\2555 Design Base.dwg

MCPW – ROCHESTER PURE WATERS DISTRICT SEWER NOTES:

1. THIS PLAN REQUIRES APPROVAL AND ISSUANCE OF A PLUMBING PERMIT FROM THE CITY OF ROCHESTER PLUMBING DEPARTMENT.
2. PRIOR TO CONSTRUCTION, A SEWER CONNECTION PERMIT MUST BE OBTAINED FROM THE MONROE COUNTY PURE WATERS (MCPW) PERMIT OFFICE AT 145 PAUL ROAD, BUILDING 11, ROCHESTER, NY 14624, PHONE # 753-7600 (OPT. 5).
3. SEWER CONNECTION PERMIT(S) CAN ONLY BE ISSUED TO A PLUMBER LICENSED IN THE CITY OF ROCHESTER AND WHO IS FULLY INSURED AND BONDED IN THE ROCHESTER PURE WATERS DISTRICT (RPWD). PAYMENT (CHECK OR MONEY ORDER TO "RPWD") OF ALL APPLICABLE PERMIT FEES MUST BE PAID PRIOR TO PERMIT ISSUANCE.
4. THE RPWD SHALL BE NOTIFIED FORTY-EIGHT HOURS IN ADVANCE OF A CONNECTION OR TAP. [753-7600 (OPT. 5)]. THE CONTRACTOR SHALL MAKE ALL REQUIRED TAPS TO THE RPWD SEWERS. ALL TAPS AND CONNECTIONS TO DISTRICT UTILITIES MUST BE WITNESSED BY A DISTRICT INSPECTOR.
5. SANITARY/STORM/COMBINATION SEWER LATERAL(S) AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE ROCHESTER PURE WATERS DISTRICT. ALL NEW CONNECTIONS SHALL BE INSPECTED BY A REPRESENTATIVE OF THE DISTRICT.
6. CLEANOUTS SHALL BE INSTALLED ON ALL 4" AND 6" DIAMETER SEWER LATERALS AT THE RIGHT-OF-WAY (ROW) LINE, OR THE SEWER EASEMENT LINE WHERE APPLICABLE. (THE SEWER EASEMENT, RIGHT-OF-WAY AND/OR PROPERTY LINE MUST BE STAKED OUT PRIOR TO INSTALLATION OF LOT LINE CLEANOUTS TO ENSURE PROPER LOCATION OF THE CLEANOUTS. [REFER TO CLEANOUT DETAIL FOR PROPER INSTALLATION]).
7. IF AN EXISTING LATERAL IS TO BE UTILIZED, THE PLUMBER/CONTRACTOR MUST ENSURE THAT THE LATERAL IS IN GOOD CONDITION AND IS FREE OF DEBRIS (DIRT, MUD, STONE, ROOTS, ETC.) VIA A VIDEO TAPED INSPECTION PERFORMED BY THE PLUMBER/CONTRACTOR OR HIS/HER/THEIR AGENT. PRIOR TO CONNECTION, THE VIDEO TAPED INSPECTION OF THE EXISTING LATERAL MUST BE PRESENTED TO THE DISTRICT FOR REVIEW AND APPROVAL TO UTILIZE AN EXISTING LATERAL. IT IS THE RESPONSIBILITY OF THE BUILDER OR THEIR AGENT TO CLEAN AND/OR REPLACE THE PIPE/LATERAL AS NEEDED.
8. ANY NEW PORTION OF A SEWER LATERAL INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY AND SEWER EASEMENT MUST BE SDR-21 PVC.
9. ANY EXISTING LATERALS NOT UTILIZED MUST BE ABANDONED TO MONROE COUNTY PURE WATERS (MCPW) STANDARDS AT THE PROPERTY LINE OR, WHERE APPLICABLE, THE SEWER EASEMENT LINE.
10. FLOOR DRAINS IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR MONROE COUNTY SEWER USE LAW.
11. ANY PORTION OF A SEWER/LATERAL WITH LESS THAN FOUR-FEET (4') OF COVER WILL REQUIRE CONCRETE ENCASEMENT. SEWERS/LATERALS WITH LESS THAN THREE-FEET (3') OF COVER ARE NOT ALLOWED.
12. THE REQUIREMENTS OF THE HIGHWAY/PROPERTY OWNER SHALL BE ADHERED TO FOR ITEMS ABOVE THE PIPE BEDDING, INCLUDING, BUT NOT LIMITED TO, MAINTENANCE AND PROTECTION OF TRAFFIC, BACKFILL MATERIAL AND SURFACE RESTORATION.
13. ALL EXISTING AND/OR PROPOSED EASEMENTS AND/OR RIGHT-OF-WAYS (ROW) ARE TO BE STAKED OUT IN THE FIELD BY AN ENGINEER/SURVEYOR PRIOR TO THE START OF ANY SITE CONSTRUCTION/EXCAVATION AND MAINTAINED DURING COURSE OF THE PROJECT TO ENSURE THE PURE WATERS LOT LINE CLEAN OUTS ON THE BUILDING LATERALS ARE PROPERLY PLACED AND THAT NO PERMANENT AND/OR NONPERMANENT STRUCTURES ARE INSTALLED WITHIN EASEMENTS AND/OR ROW. IT IS THE OWNER'S OR THEIR AGENT'S RESPONSIBILITY TO STAKE OUT ALL EASEMENTS. THIS WILL NOT BE THE RESPONSIBILITY OF THE RPWD.

RWB WATER MAIN AND SERVICE NOTES

1. WATER MAINS AND APPURTENANCES TO BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE ROCHESTER WATER BUREAU. ALL PIPE PRODUCTS, FITTINGS AND ACCESSORIES SHALL CONFORM TO THE LATEST ROCHESTER WATER BUREAU (RWB) APPROVED PRODUCTS LIST WHICH CAN BE FOUND ON THE CITY WEB SITE: [HTTP://WWW.CITYOFROCHESTER.GOV/WATERDOCUMENTS/](http://www.cityofrochester.gov/waterdocuments/).
2. ALL NEW WATER MAINS AND SERVICES SHALL BE INSTALLED WITH A MINIMUM COVER DEPTH FROM PROPOSED FINISHED GRADE OF 4.5 FEET FOR DOMESTIC MAINS AND 5.0 FEET FOR HOLLY MAINS.
3. THE ROCHESTER WATER BUREAU REQUIRES THAT A HYDRANT USE PERMIT BE OBTAINED BY THE CONTRACTOR PRIOR TO USING ANY HYDRANT AS A SOURCE OF WATER SUPPLY. THE PERMIT REQUIRES THE USE OF A WATER METER AND A BACKFLOW PREVENTER. THE WATER BUREAU WILL SUPPLY A WATER METER AND BACKFLOW PREVENTER WITH THE PERMIT. THE PERMIT FEE INCLUDES A REFUNDABLE DEPOSIT FOR THE USE OF THE WATER METER AND BACKFLOW PREVENTER.
4. FOR EXISTING VALVES AND CURB STOPS THAT ARE LOCATED ON WATER MAIN AND WATER SERVICES WHICH ARE TO BE RETAINED, THE EXISTING VALVE AND CURB BOXES SHALL BE ADJUSTED TO GRADE OR REPLACED AS SHOWN ON THE PLANS OR DIRECTED BY THE PROJECT MANAGER.
5. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING NEAR WATER MAINS WHICH ARE TO BE RETAINED. NO VIBRATORY EQUIPMENT IS TO BE USED OVER OR ADJACENT TO EXISTING WATER MAINS.
6. APPROPRIATE MEASURES SHALL BE TAKEN TO PREVENT DIRT, DEBRIS, SURFACE AND GROUND WATER FROM CONTAMINATING THE WATER MAIN AND WATER SERVICE. THE WATER LEVEL IN THE EXCAVATION AT OPEN PIPE ENDS SHALL NEVER BE LESS THAN 12 INCHES BELOW THE INVERT OF THE WATER MAIN. WHENEVER AN OPEN PIPE END IS LEFT UNATTENDED, IT SHALL BE COVERED IN A WATER TIGHT MANNER.
7. STAINLESS STEEL INSERTS ARE REQUIRED ON ALL POLYETHYLENE (PE) SERVICE FITTINGS.
8. TRACER WIRE IS REQUIRED ON ALL BURIED NON-METALLIC WATER MAINS AND WATER SERVICES.
9. A PRECONSTRUCTION MEETING IS REQUIRED WITH THE ROCHESTER WATER BUREAU AFTER THE ISSUING OF A PERMIT, BUT BEFORE CONSTRUCTION OF THE WATER MAIN OR SERVICE BEGIN. CONTACT THE ROCHESTER WATER BUREAU AT (585) 428-7500 AND REQUEST TO SPEAK TO WATER ENGINEERING TO SCHEDULE THE MEETING.

LEGEND

	BOUNDARY LINE
	PROPOSED LOT LINE
	CENTERLINE
	SETBACK LINE
	ADJOINER LINE
	EDGE OF PAVEMENT LINE
	EXISTING EASEMENT LINE
	EX. WATERMAIN, HYDRANT AND VALVE
	PROP. WATERMAIN, HYDRANT AND VALVE
	EXISTING STORM SEWER, AND MANHOLE
	PROPOSED STORM SEWER, MANHOLE AND INLET
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER AND MANHOLE
	EXISTING TREELINE
	PROPOSED TREE LINE
	EXISTING CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED FINISHED GRADE
	PROPERTY MARKER FOUND
	CONCRETE HIGHWAY MONUMENT FOUND
	EXISTING HYDRANT AND VALVE
	EXISTING CATCH BASIN
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING UTILITY POLE

SURVEY REFERENCES:

1. A PLAN ENTITLED "MAP OF A SUBDIVISION OF LOT 12 AND PORTION OF L13 OF THE LEE TRACT IN THE CITY OF ROCHESTER 1873," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 3 OF MAPS, PAGE 58.
2. CITY OF ROCHESTER DISTRICT 14, MAP 17 & 18.
3. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.
4. A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT No. COR-217-21053, EFFECTIVE DATE MARCH 2, 2017.
5. A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT No. COR-217-21053-(A), EFFECTIVE DATE JULY 7, 2017.
6. FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY No. 360431, MAP No. 36055C02110, EFFECTIVE DATE AUGUST 28, 2008.

SURVEY NOTES:

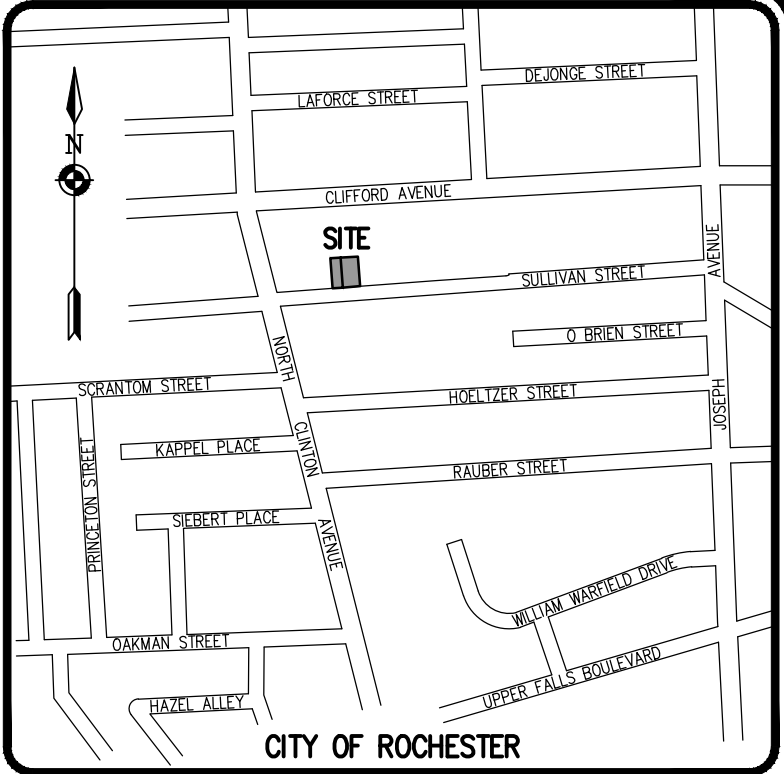
1. CURRENT ZONING CLASSIFICATION: R-2
2. PARCELS LIE WITHIN ZONE X PER REFERENCE 6.
3. NO WETLAND DELINEATION MARKERS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
4. PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE WOOD FENCE NEAR THE NORTHWESTERLY BOUNDARY CORNER OF T.A. No. 106.30-2-32 AS SHOWN HEREON.
5. BOUNDARY CORNERS WERE NOT SET IN THE PROCESS OF CONDUCTING THE FIELDWORK. EXTERIOR BOUNDARY CORNERS OF "SITE D" WILL BE SET WITH CAPPED 5/8" REBAR PRIOR TO ISSUANCE OF FINAL SURVEY MAPS.
6. THE BEARING BASE SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD '83), WESTERN ZONE.

SITE NOTES:

1. EXISTING ZONING: R-2 (PROJECT AREA WAS REZONED ON 12/20/17 BY THE COUNCIL OF THE CITY OF ROCHESTER)
2. TOTAL LOT AREA IS ± 9,087 S.F. (±0.21 ACRES)
10 SULLIVAN STREET (LOT 1) = 3,372 SF
12 SULLIVAN STREET (LOT 2) = 5,715 SF
3. LOT DIMENSIONS ARE AS FOLLOWS:

	REQUIRED (MULTIFAMILY)	PROPOSED
MIN. LOT AREA	3,000 SF/UNIT	3,029 SF/UNIT (9,087 SF TOTAL)
MIN. LOT FRONTAGE	N/A	92'
SETBACKS:		
FRONT YARD	AVG. BLDG. DEPTH OR 20'	AVG. BLDG. DEPTH
SIDE YARD	5' MIN	≥5'
REAR YARD	15' TOTAL	15' TOTAL
	20' OR EXISTING	>20'
MAX. BLDG. HEIGHT	2.5 STORIES/35'	2 STORIES/ ±29'
MAX. BLDG. COVERAGE	35%	22%
MAX. LOT COVERAGE	50%	44%
PARKING	(2) 1 BEDROOM UNITS - 2 SPACES (1) 3 BEDROOM UNITS - 1.5 SPACES 3 SPACES REQUIRED	3 SPACES
4. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
5. THE EXISTING PARCELS NEED TO BE ADMINISTRATIVELY RE-SUBDIVIDED INTO ONE LOT BY THE CITY OF ROCHESTER.

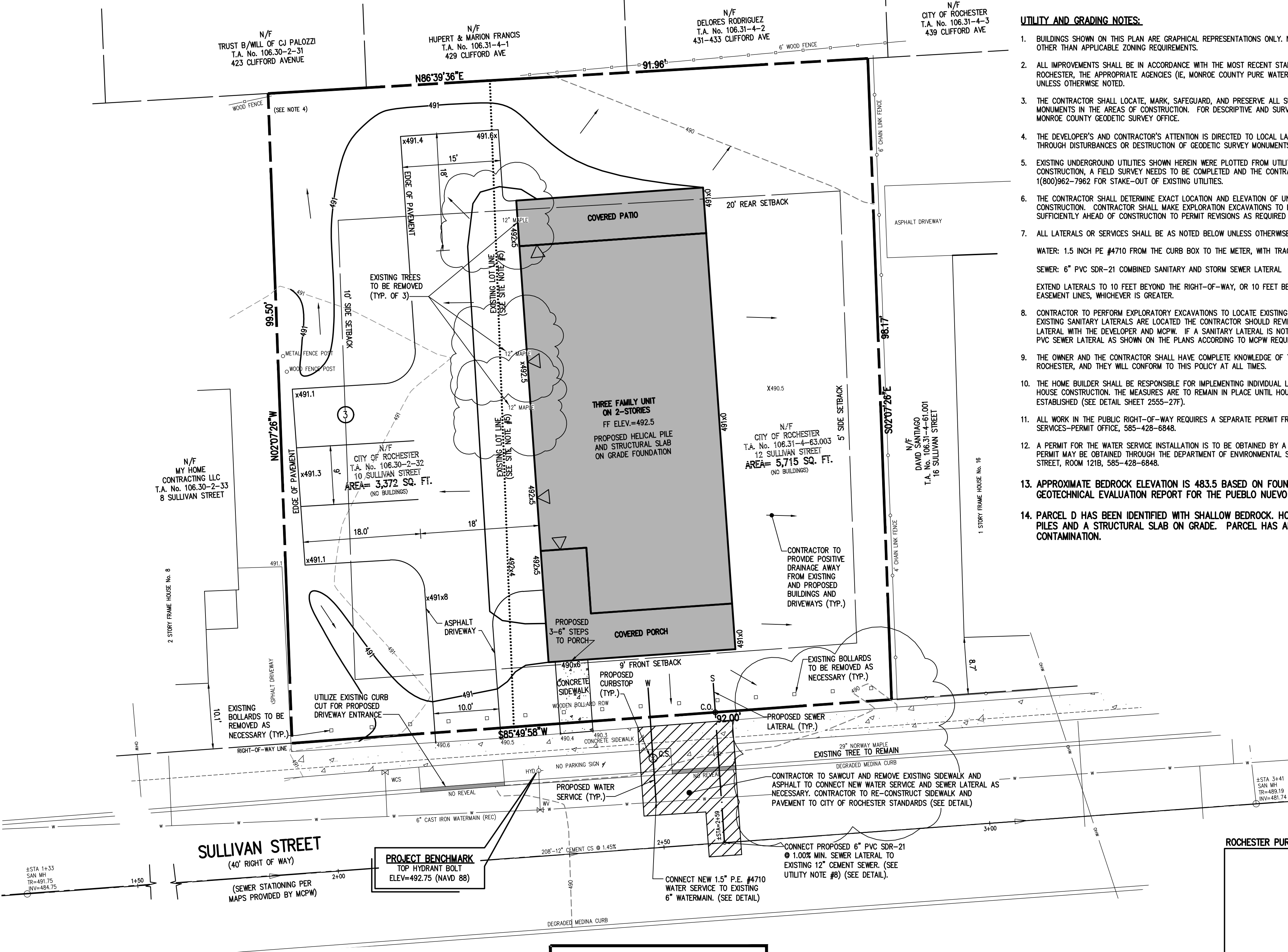
*THIS PROJECT WILL REQUIRE A SPECIAL PERMIT AND SITE PLAN REVIEW/APPROVAL FROM THE CITY PLANNING COMMISSION.



LOCATION MAP
NOT TO SCALE

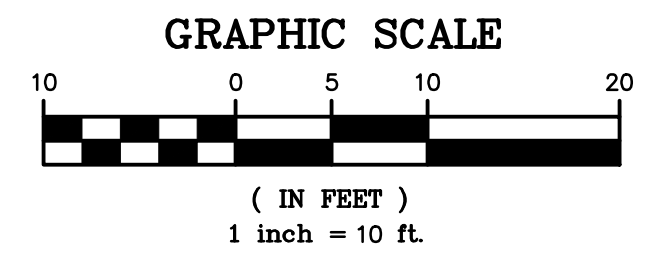
UTILITY AND GRADING NOTES:

1. BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY. NO RESTRICTION IS INTENDED AS TO SIZE OR LOCATION OTHER THAN APPLICABLE ZONING REQUIREMENTS.
2. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER, THE APPROPRIATE AGENCIES (IE, MONROE COUNTY PURE WATERS, AND THE MONROE COUNTY HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
4. THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
5. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, A FIELD SURVEY NEEDS TO BE COMPLETED AND THE CONTRACTOR SHALL CALL THE UFPO HOTLINE AT 1(800)962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
6. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
7. ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS.
WATER: 1.5 INCH PE #4710 FROM THE CURB BOX TO THE METER, WITH TRACER WIRE.
SEWER: 6" PVC SDR-21 COMBINED SANITARY AND STORM SEWER LATERAL
EXTEND LATERALS TO 10 FEET BEYOND THE RIGHT-OF-WAY, OR 10 FEET BEYOND THE EASEMENT LINES, WHICHEVER IS GREATER.
8. CONTRACTOR TO PERFORM EXPLORATORY EXCAVATIONS TO LOCATE EXISTING SANITARY SEWER LATERALS AS NECESSARY. IF EXISTING SANITARY LATERALS ARE LOCATED THE CONTRACTOR SHOULD REVIEW THE CONDITION OF THE EXISTING SANITARY SEWER LATERAL WITH THE DEVELOPER AND MCPW. IF A SANITARY LATERAL IS NOT FOUND, THE CONTRACTOR SHOULD INSTALL A NEW 6" PVC SEWER LATERAL AS SHOWN ON THE PLANS ACCORDING TO MCPW REQUIREMENTS.
9. THE OWNER AND THE CONTRACTOR SHALL HAVE COMPLETE KNOWLEDGE OF THE CURRENT BLASTING POLICY FOR THE CITY OF ROCHESTER, AND THEY WILL CONFORM TO THIS POLICY AT ALL TIMES.
10. THE HOME BUILDER SHALL BE RESPONSIBLE FOR IMPLEMENTING INDIVIDUAL LOT EROSION CONTROL MEASURES FOR INDIVIDUAL HOUSE CONSTRUCTION. THE MEASURES ARE TO REMAIN IN PLACE UNTIL HOUSE CONSTRUCTION IS COMPLETE AND THE LAWN IS ESTABLISHED (SEE DETAIL SHEET 2555-27F).
11. ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, 585-428-6848.
12. A PERMIT FOR THE WATER SERVICE INSTALLATION IS TO BE OBTAINED BY A PLUMBER, LICENSED BY THE CITY OF ROCHESTER. A PERMIT MAY BE OBTAINED THROUGH THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, CITY HALL, 30 CHURCH STREET, ROOM 1218, 585-428-6848.
13. APPROXIMATE BEDROCK ELEVATION IS 483.5 BASED ON FOUNDATION DESIGN, P.C.'S DECEMBER 2017 GEOTECHNICAL EVALUATION REPORT FOR THE PUEBLO NUEVO HOUSING.
14. PARCEL D HAS BEEN IDENTIFIED WITH SHALLOW BEDROCK. HOUSE TO BE CONSTRUCTED WITH HELICAL PILES AND A STRUCTURAL SLAB ON GRADE. PARCEL HAS ALSO BEEN IDENTIFIED WITH POTENTIAL SOIL CONTAMINATION.



SEE BME DRAWING NUMBER
2555-27F, 28F AND 29F
FOR STANDARD DETAILS

NOT APPROVED
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.



ROCHESTER PURE WATERS DISTRICT:

T.A. NUMBERS 106.30-2-32 & 106.31-4-63.003

PUEBLO NUEVO HOUSING
FINAL
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
IBERO AMERICA DEVELOPMENT
30 CLIFFORD AVE
ROCHESTER, NY 14621

PROJECT LOCATION CLIENT

PROJECT MANAGER
JL SWEDROCK
PROJECT ENGINEER
FA SHELLEY
DRAWN BY
RR GLITCH
SCALE
1"=10'
DATE ISSUED
MARCH 2018
PROJECT NO.
2555
DRAWING NO.
07F

DRAWING TITLE
PLOT PLAN - SITE D
10 SULLIVAN ST. & 12 SULLIVAN ST.

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIFT BRIDGE LANE EAST
ROCHESTER, NY 14610
WWW.BME-CCON.COM

PHONE 585-577-7280
FAX 585-577-7309



Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

MCPW - ROCHESTER PURE WATERS DISTRICT SEWER NOTES:

- THIS PLAN REQUIRES APPROVAL AND ISSUANCE OF A PLUMBING PERMIT FROM THE CITY OF ROCHESTER PLUMBING DEPARTMENT.
- PRIOR TO CONSTRUCTION, A SEWER CONNECTION PERMIT MUST BE OBTAINED FROM THE MONROE COUNTY PURE WATERS (MCPW) PERMIT OFFICE AT 145 PAUL ROAD, BUILDING 11, ROCHESTER, NY 14624, PHONE # 753-7600 (OPT. 5).
- SEWER CONNECTION PERMIT(S) CAN ONLY BE ISSUED TO A PLUMBER LICENSED IN THE CITY OF ROCHESTER AND WHO IS FULLY INSURED AND BONDED IN THE ROCHESTER PURE WATERS DISTRICT (RPWD). PAYMENT (CHECK OR MONEY ORDER TO RPWD) OF ALL APPLICABLE PERMIT FEES MUST BE PAID PRIOR TO PERMIT ISSUANCE.
- THE RPWD SHALL BE NOTIFIED FORTY-EIGHT HOURS IN ADVANCE OF A CONNECTION OR TAP. [753-7600 (OPT. 5)]. THE CONTRACTOR SHALL MAKE ALL REQUIRED TAPS TO THE RPWD SEWERS. ALL TAPS AND CONNECTIONS TO DISTRICT UTILITIES MUST BE WITNESSED BY A DISTRICT INSPECTOR.
- SANITARY/STORM/COMBINATION SEWER LATERAL(S) AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE ROCHESTER PURE WATERS DISTRICT. ALL NEW CONNECTIONS SHALL BE INSPECTED BY A REPRESENTATIVE OF THE DISTRICT.
- CLEANOUTS SHALL BE INSTALLED ON ALL 4" AND 6" DIAMETER SEWER LATERALS AT THE RIGHT-OF-WAY (ROW) LINE, OR THE SEWER EASEMENT LINE WHERE APPLICABLE. (THE SEWER EASEMENT, RIGHT-OF-WAY AND/OR PROPERTY LINE MUST BE STAKED OUT PRIOR TO INSTALLATION OF LOT LINE CLEANOUTS TO ENSURE PROPER LOCATION OF THE CLEANOUTS. [REFER TO CLEANOUT DETAIL FOR PROPER INSTALLATION]).
- IF AN EXISTING LATERAL IS TO BE UTILIZED, THE PLUMBER/CONTRACTOR MUST ENSURE THAT THE LATERAL IS IN GOOD CONDITION AND IS FREE OF DEBRIS (DIRT, MUD, STONE, ROOTS, ETC.) VIA A VIDEO TAPED INSPECTION PERFORMED BY THE PLUMBER/CONTRACTOR OR HIS/HER/their AGENT. PRIOR TO CONNECTION, THE VIDEO TAPED INSPECTION OF THE EXISTING LATERAL MUST BE PRESENTED TO THE DISTRICT FOR REVIEW AND APPROVAL TO UTILIZE AN EXISTING LATERAL. IT IS THE RESPONSIBILITY OF THE BUILDER OR THEIR AGENT TO CLEAN AND/OR REPLACE THE PIPE/LATERAL AS NEEDED.
- IF ANY NEW PORTION OF A SEWER LATERAL INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY AND SEWER EASEMENT MUST BE SDR-21 PVC.
- ANY EXISTING LATERALS NOT UTILIZED MUST BE ABANDONED TO MONROE COUNTY PURE WATERS (MCPW) STANDARDS AT THE PROPERTY LINE OR, WHERE APPLICABLE, THE SEWER EASEMENT LINE.
- FLOOR DRAINS IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR MONROE COUNTY SEWER USE LAW.
- ANY PORTION OF A SEWER/LATERAL WITH LESS THAN FOUR-FOOT (4') OF COVER WILL REQUIRE CONCRETE ENCASEMENT. SEWERS/LATERALS WITH LESS THAN THREE-FOOT (3') OF COVER ARE NOT ALLOWED.
- THE REQUIREMENTS OF THE HIGHWAY/PROPERTY OWNER SHALL BE ADHERED TO FOR ITEMS ABOVE THE PIPE BEDDING, INCLUDING, BUT NOT LIMITED TO, MAINTENANCE AND PROTECTION OF TRAFFIC, BACKFILL MATERIAL AND SURFACE RESTORATION.
- ALL EXISTING AND/OR PROPOSED EASEMENTS AND/OR RIGHT-OF-WAYS (ROW) ARE TO BE STAKED OUT IN THE FIELD BY AN ENGINEER/SURVEYOR PRIOR TO THE START OF ANY SITE CONSTRUCTION/EXCAVATION AND MAINTAINED DURING COURSE OF THE PROJECT TO ENSURE THE PURE WATERS LOT LINE CLEAN OUTS ON THE BUILDING LATERAL ARE PROPERLY PLACED AND THAT NO PERMANENT AND/OR NONPERMANENT STRUCTURES ARE INSTALLED WITHIN EASEMENTS AND/OR ROW. IT IS THE OWNER'S OR THEIR AGENT'S RESPONSIBILITY TO STAKE OUT ALL EASEMENTS. THIS WILL NOT BE THE RESPONSIBILITY OF THE RPWD.

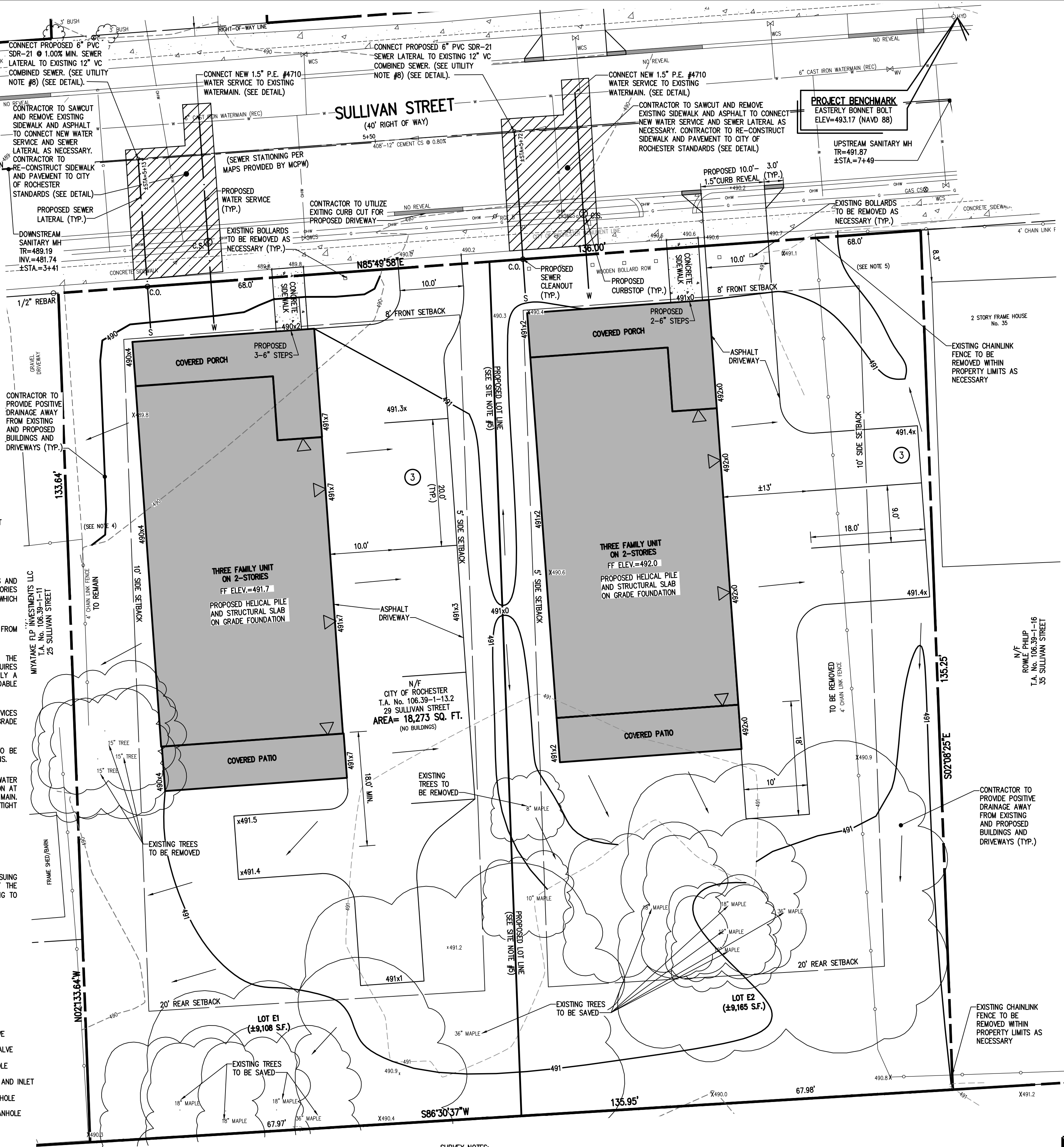
RWB WATER MAIN AND SERVICE NOTES

- WATER MAINS AND APPURTENANCES TO BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE ROCHESTER WATER BUREAU. ALL PIPE PRODUCTS, FITTINGS AND ACCESSORIES SHALL CONFORM TO THE LATEST ROCHESTER WATER BUREAU (RWB) APPROVED PRODUCTS LIST WHICH CAN BE FOUND ON THE CITY WEB SITE: [HTTP://WWW.CITYOFROCHESTER.GOV/WATERDOCUMENTS/](http://WWW.CITYOFROCHESTER.GOV/WATERDOCUMENTS/).
- ALL NEW WATER MAINS AND SERVICES SHALL BE INSTALLED WITH A MINIMUM COVER DEPTH FROM PROPOSED FINISHED GRADE OF 4.5 FEET FOR DOMESTIC MAINS AND 5.0 FEET FOR HOLLY MAINS.
- THE ROCHESTER WATER BUREAU REQUIRES THAT A HYDRANT USE PERMIT BE OBTAINED BY THE CONTRACTOR PRIOR TO USING ANY HYDRANT AS A SOURCE OF WATER SUPPLY. THE PERMIT REQUIRES THE USE OF A WATER METER AND A BACKFLOW PREVENTER. THE WATER BUREAU WILL SUPPLY A WATER METER AND BACKFLOW PREVENTER WITH THE PERMIT. THE PERMIT FEE INCLUDES A REFUNDABLE DEPOSIT FOR THE USE OF THE WATER METER AND BACKFLOW PREVENTER.
- FOR EXISTING VALVES AND CURB STOPS THAT ARE LOCATED ON WATER MAIN AND WATER SERVICES WHICH ARE TO BE RETAINED, THE EXISTING VALVE AND CURB BOXES SHALL BE ADJUSTED TO GRADE OR REPLACED AS SHOWN ON THE PLANS OR DIRECTED BY THE PROJECT MANAGER.
- THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING NEAR WATER MAINS WHICH ARE TO BE RETAINED. NO VIBRATORY EQUIPMENT IS TO BE USED OVER OR ADJACENT TO EXISTING WATER MAINS.
- APPROPRIATE MEASURES SHALL BE TAKEN TO PREVENT DIRT, DEBRIS, SURFACE AND GROUND WATER FROM CONTAMINATING THE WATER MAIN AND WATER SERVICE. THE WATER LEVEL IN THE EXCAVATION AT OPEN PIPE ENDS SHALL NEVER BE LESS THAN 12 INCHES BELOW THE INVERT OF THE WATER MAIN. WHENEVER AN OPEN PIPE END IS LEFT UNATTENDED, IT SHALL BE COVERED IN A WATER TIGHT MANNER.
- STAINLESS STEEL INSERTS ARE REQUIRED ON ALL POLYETHYLENE (PE) SERVICE FITTINGS.
- TRACER WIRE IS REQUIRED ON ALL BURIED NON-METALLIC WATER MAINS AND WATER SERVICES.
- A PRECONSTRUCTION MEETING IS REQUIRED WITH THE ROCHESTER WATER BUREAU AFTER THE ISSUING OF A PERMIT, BUT BEFORE CONSTRUCTION OF THE WATER MAIN OR SERVICE BEGINS. CONTACT THE ROCHESTER WATER BUREAU AT (585) 428-7500 AND REQUEST TO SPEAK TO WATER ENGINEERING TO SCHEDULE THE MEETING.

LEGEND

	BOUNDARY LINE
	PROPOSED LOT LINE
	CENTERLINE
	SETBACK LINE
	ADJUNCTION LINE
	EDGE OF PAVEMENT LINE
	EXISTING EASEMENT LINE
	EX. WATERMAIN, HYDRANT AND VALVE
	PROP. WATERMAIN, HYDRANT AND VALVE
	EXISTING STORM SEWER, AND MANHOLE
	PROPOSED STORM SEWER, MANHOLE AND INLET
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER AND MANHOLE
	EXISTING TREELINE
	PROPOSED TREE LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED FINISHED GRADE
	PROPERTY MARKER FOUND
	CONCRETE HIGHWAY MONUMENT FOUND
	EXISTING HYDRANT AND VALVE
	EXISTING CATCH BASIN
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING UTILITY POLE

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BME Associates



SURVEY REFERENCES:

- A PLAN ENTITLED "MAP OF A SUBDIVISION OF LOT 12 AND PORTION OF L13 OF THE LEE TRACT IN THE CITY OF ROCHESTER 1873," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 3 OF MAPS, PAGE 58.
- A PLAN ENTITLED "P FAUDLERS SUBDIVISION- PART OF LOT 13," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 5 OF MAPS, PAGE 48.
- CITY OF ROCHESTER DISTRICT 14, MAP 17 & 18.
- AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.
- A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT NO. COR-217-21053, EFFECTIVE DATE MARCH 2, 2017.
- A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT NO. COR-217-21053-(A), EFFECTIVE DATE JULY 7, 2017.
- FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY NO. 360431, MAP NO. 36055C0211G, EFFECTIVE DATE AUGUST 28, 2008.

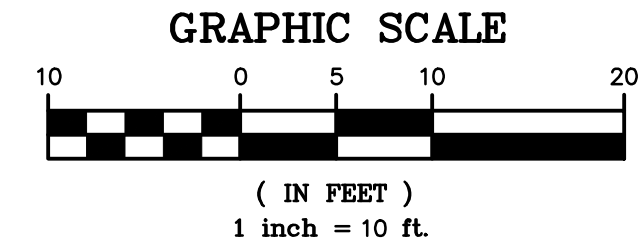
SURVEY NOTES:

- CURRENT ZONING CLASSIFICATION: R-2
- PARCELS LIE WITHIN ZONE X PER REFERENCE 7.
- NO WETLAND DELINEATION MARKERS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE 4" CHAIN LINK FENCE & GRAVEL DRIVEWAY ALONG THE WESTERLY BOUNDARY LINE AS SHOWN HEREON.
- PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE CHAIN LINK FENCE NEAR THE EASTERLY BOUNDARY LINE AS SHOWN HEREON.
- BOUNDARY CORNERS WERE NOT SET IN THE PROCESS OF CONDUCTING THE FIELDWORK. EXTERIOR BOUNDARY CORNERS OF "SITE E" WILL BE SET WITH CAPPED 5/8" REBAR PRIOR TO ISSUANCE OF FINAL SURVEY MAPS.
- THE BEARING BASE SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD '83), WESTERN ZONE.

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SEE BME DRAWING NUMBER
2555-27F, 28F AND 29F
FOR STANDARD DETAILS



SITE NOTES:

- EXISTING ZONING: R-2 (PROJECT AREA WAS REZONED ON 12/20/17 BY THE COUNCIL OF THE CITY OF ROCHESTER)
- TOTAL EXISTING LOT AREA (29 SULLIVAN ST.) IS ± 18,273 S.F. (±0.42 ACRES)
PROPOSED LOT E1 = 9,108 SF
PROPOSED LOT E2 = 9,165 SF
- PROPOSED USE: LOT E1: ONE - THREE FAMILY HOUSE (3 UNITS) *
LOT E2: ONE - THREE FAMILY HOUSE (3 UNITS) *
- LOT DIMENSIONS ARE AS FOLLOWS:

	REQUIRED (MULTIFAMILY)	PROPOSED (LOT E1)	PROPOSED (LOT E2)
MIN. LOT AREA	3,000 SF/UNIT	3,036 SF/UNIT (9,108 SF TOTAL)	3,055 SF/UNIT (9,165 SF TOTAL)
MIN. LOT FRONTAGE	N/A	68'	68'
SETBACKS			
FRONT YARD	AVG. BLDG. DEPTH	AVG. BLDG. DEPTH	AVG. BLDG. DEPTH
SIDE YARD	5' MIN	25'	25'
REAR YARD	15' TOTAL	15' TOTAL	15' TOTAL
	20' OR EXISTING	>20'	>20'
MAX. BLDG. HEIGHT	2.5 STORIES/35'	2 STORIES/±29'	2 STORIES/±28'
MAX. BLDG. COVERAGE	35%	22%	22%
MAX. LOT COVERAGE	50%	45%	36%
PARKING	(2) 1 BR UNIT - 2 SPACE (1) 3 BR UNIT - 1.5 SPACE EACH 3 REQUIRED SPACES PER LOT	3 SPACES	3 SPACES

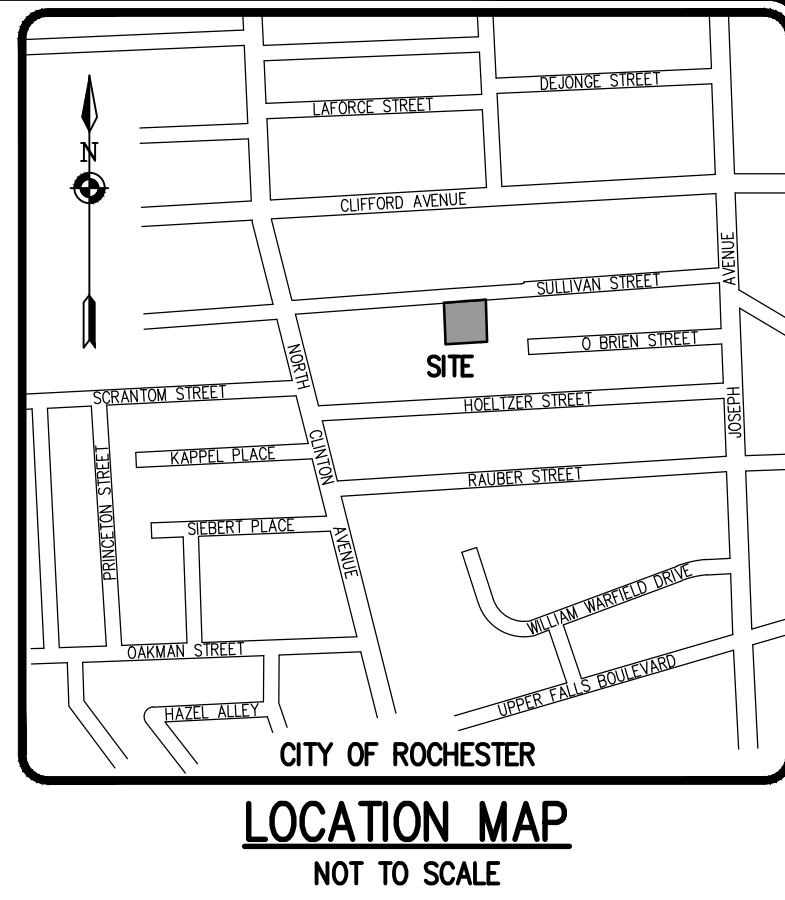
*THIS PROJECT WILL REQUIRE A SPECIAL PERMIT AND SITE PLAN REVIEW/APPROVAL FROM THE CITY PLANNING COMMISSION.

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- THE EXISTING PARCEL NEEDS TO BE ADMINISTRATIVELY RE-SUBDIVIDED INTO TWO LOTS BY THE CITY OF ROCHESTER.

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ROCHESTER PURE WATERS DISTRICT:



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7	6	5	4	3	2	1	REVISED PER QTY. OF ROCHESTER COMMENTS	REVISED PER CODE REVIEW	REVISIONS	DATE	BY

BME ASSOCIATES
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PUEBLO NUEVO HOUSING
FINAL
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
IBERO AMERICA DEVELOPMENT
CORPORATION
ROCHESTER, NY 14621
PLOT PLAN - SITE E (LOTS E1 & E2)
29 SULLIVAN ST.

PROJECT MANAGER
JL SWEDROCK
PROJECT ENGINEER
FA SHELLEY
DRAWN BY
RR GLITCH
SCALE
1"=10'
DATE ISSUED
MARCH 2018
PROJECT NO.
2555
DRAWING NO.
08F

T.A. NUMBER 08-39-1-13.002

MCPW - ROCHESTER PURE WATERS DISTRICT SEWER NOTES:

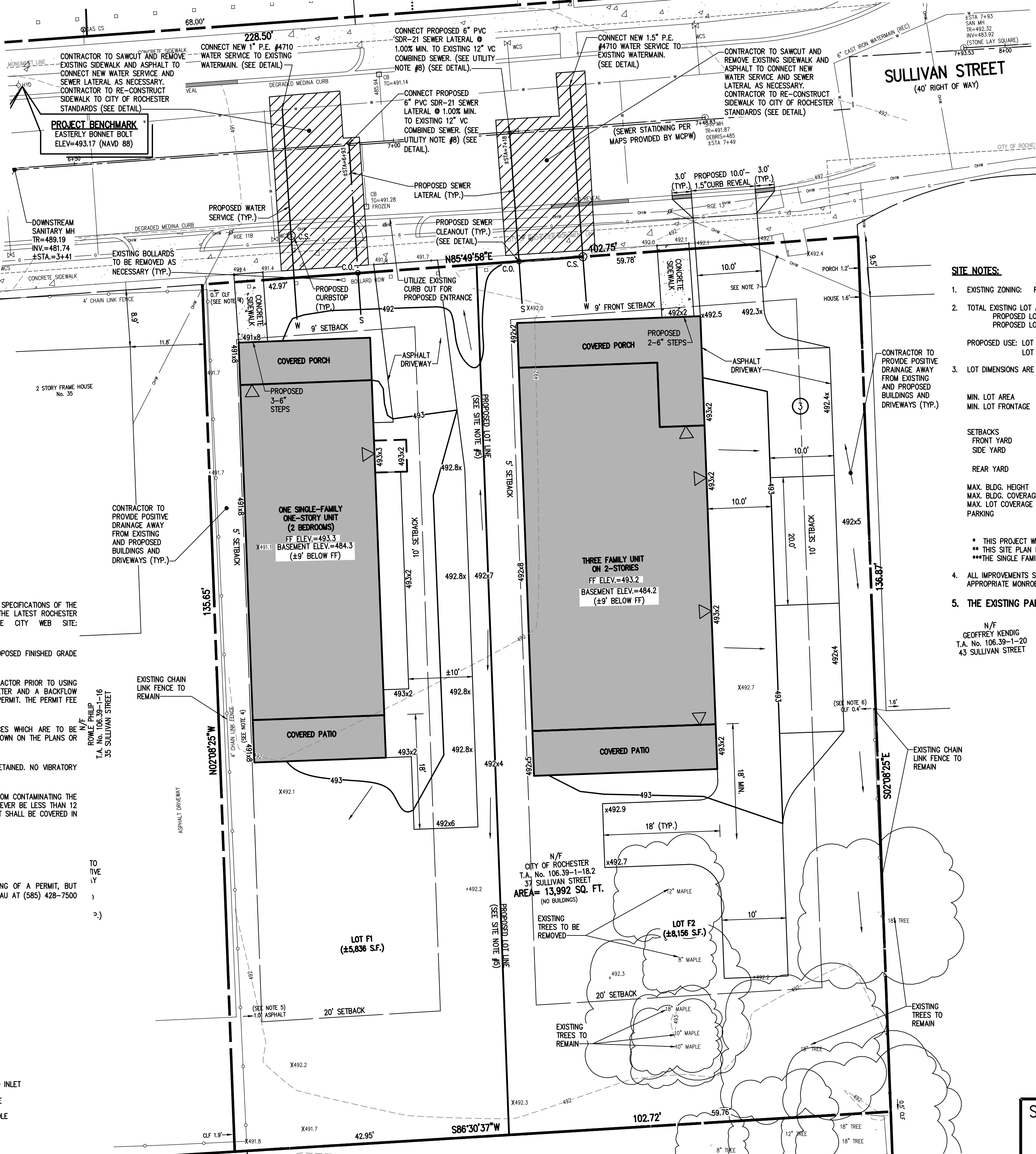
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9. ANY EXISTING LATERALS NOT UTILIZED MUST BE ABANDONED TO MONROE COUNTY PURE WATERS (MCPW) STANDARDS AT THE PROPERTY LINE OR, WHERE APPLICABLE, THE SEWER EASEMENT LINE.
10. FLOOR DRAINS IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR MONROE COUNTY SEWER USE LAW.
11. ANY PORTION OF A SEWER/LATERAL WITH LESS THAN FOUR-FEET (4') OF COVER WILL REQUIRE CONCRETE ENCASEMENT. SEWERS/LATERALS WITH LESS THAN THREE-FEET (3') OF COVER ARE NOT ALLOWED.
12. THE REQUIREMENTS OF THE HIGHWAY/PROPERTY OWNER SHALL BE ADHERED TO FOR ITEMS ABOVE THE PIPE BEDDING, INCLUDING, BUT NOT LIMITED TO, MAINTENANCE AND PROTECTION OF TRAFFIC, BACKFILL MATERIAL AND SURFACE RESTORATION.
13. ALL EXISTING AND/OR PROPOSED EASEMENTS AND/OR RIGHT-OF-WAYS (ROW) ARE TO BE STAKED OUT IN THE FIELD BY AN ENGINEER/SURVEYOR PRIOR TO THE START OF ANY SITE CONSTRUCTION/EXCAVATION AND MAINTAINED DURING COURSE OF THE PROJECT TO ENSURE THE PURE WATERS LOT LINE CLEAN OUTS ON THE BUILDING LATERALS ARE PROPERLY PLACED AND THAT NO PERMANENT AND/OR NONPERMANENT STRUCTURES ARE INSTALLED WITHIN EASEMENTS AND/OR ROW. IT IS THE OWNER'S OR THEIR AGENT'S RESPONSIBILITY TO STAKE OUT ALL EASEMENTS. THIS WILL NOT BE THE RESPONSIBILITY OF THE RPWD.

RWB WATER MAIN AND SERVICE NOTES:

1. WATER MAINS AND APPURTENANCES TO BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE ROCHESTER WATER BUREAU. ALL PIPE PRODUCTS, FITTINGS AND ACCESSORIES SHALL CONFORM TO THE LATEST ROCHESTER WATER BUREAU (RWB) APPROVED PRODUCTS LIST WHICH CAN BE FOUND ON THE CITY WEB SITE: [HTTP://WWW.CITYOFROCHESTER.GOV/WATERDOCUMENTS/](http://www.cityofrochester.gov/waterdocuments/).
2. ALL NEW WATER MAINS AND SERVICES SHALL BE INSTALLED WITH A MINIMUM COVER DEPTH FROM PROPOSED FINISHED GRADE OF 4.5 FEET FOR DOMESTIC MAINS AND 5.0 FEET FOR HOLLY MAINS.
3. THE ROCHESTER WATER BUREAU REQUIRES THAT A HYDRANT USE PERMIT BE OBTAINED BY THE CONTRACTOR PRIOR TO USING ANY HYDRANT AS A SOURCE OF WATER SUPPLY. THE PERMIT REQUIRES THE USE OF A WATER METER AND A BACKFLOW PREVENTER. THE WATER BUREAU WILL SUPPLY A WATER METER AND BACKFLOW PREVENTER WITH THE PERMIT. THE PERMIT FEE INCLUDES A REFUNDABLE DEPOSIT FOR THE USE OF THE WATER METER AND BACKFLOW PREVENTER.
4. FOR EXISTING VALVES AND CURB STOPS THAT ARE LOCATED ON WATER MAIN AND WATER SERVICES WHICH ARE TO BE RETAINED, THE EXISTING VALVE AND CURB BOXES SHALL BE ADJUSTED TO GRADE OR REPLACED AS SHOWN ON THE PLANS OR DIRECTED BY THE PROJECT MANAGER.
5. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING NEAR WATER MAINS WHICH ARE TO BE RETAINED. NO VIBRATORY EQUIPMENT IS TO BE USED OVER OR ADJACENT TO EXISTING WATER MAINS.
6. APPROPRIATE MEASURES SHALL BE TAKEN TO PREVENT DIRT, DEBRIS, SURFACE AND GROUND WATER FROM CONTAMINATING THE WATER MAIN AND WATER SERVICE. THE WATER LEVEL IN THE EXCAVATION AT OPEN PIPE ENDS SHALL NEVER BE LESS THAN 12 INCHES BELOW THE INVERT OF THE WATER MAIN. WHENEVER AN OPEN PIPE END IS LEFT UNATTENDED, IT SHALL BE COVERED IN A WATER TIGHT MANNER.
7. STAINLESS STEEL INSERTS ARE REQUIRED ON ALL POLYETHYLENE (PE) SERVICE FITTINGS.
8. TRACER WIRE IS REQUIRED ON ALL BURIED NON-METALLIC WATER MAINS AND WATER SERVICES.
9. A PRECONSTRUCTION MEETING IS REQUIRED WITH THE ROCHESTER WATER BUREAU AFTER THE ISSUING OF A PERMIT, BUT BEFORE CONSTRUCTION OF THE WATER MAIN OR SERVICE BEGIN. CONTACT THE ROCHESTER WATER BUREAU AT (585) 428-7500 AND REQUEST TO SPEAK TO WATER ENGINEERING TO SCHEDULE THE MEETING.

LEGEND

	BOUNDARY LINE
	PROPOSED LOT LINE
	CENTERLINE
	SETBACK LINE
	ADJOINER LINE
	EDGE OF PAVEMENT LINE
	EXISTING EASEMENT LINE
	EX. WATERMAIN, HYDRANT AND VALVE
	PROP. WATERMAIN, HYDRANT AND VALVE
	EXISTING STORM SEWER, AND MANHOLE
	PROPOSED STORM SEWER, MANHOLE AND INLET
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER AND MANHOLE
	EXISTING TREE LINE
	PROPOSED TREE LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED FINISHED GRADE
	PROPERTY MARKER FOUND
	CONCRETE HIGHWAY MONUMENT FOUND
	EXISTING HYDRANT AND VALVE
	EXISTING CATCH BASIN
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING UTILITY POLE



SURVEY REFERENCES:

1. A PLAN ENTITLED "MAP OF A SUBDIVISION OF LOT 12 AND PORTION OF L13 OF THE LEE TRACT IN THE CITY OF ROCHESTER 1873," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 3 OF MAPS, PAGE 58.
2. A PLAN ENTITLED "P FAULDER'S SUBDIVISION- PART OF LOT 13," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 5 OF MAPS, PAGE 48.
3. CITY OF ROCHESTER DISTRICT 14, MAP 17 & 18.
4. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.
5. A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT NO. COR-217-21053, EFFECTIVE DATE MARCH 2, 2017.
6. A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT NO. COR-217-21053-(A), EFFECTIVE DATE JULY 7, 2017.
7. FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY NO. 360431, MAP NO. 36055C02116, EFFECTIVE DATE AUGUST 28, 2008.

SURVEY NOTES:

1. CURRENT ZONING CLASSIFICATION: R-2
2. PARCELS LIE WITHIN ZONE X PER REFERENCE 7.
3. NO METAL DELINEATION MARKERS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
4. PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE 4' CHAIN LINK FENCE ALONG THE WESTERLY BOUNDARY LINE AS SHOWN HEREON.
5. PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE ASPHALT DRIVEWAY ALONG THE WESTERLY BOUNDARY LINE AS SHOWN HEREON.
6. PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE 4' CHAIN LINK FENCE ALONG THE EASTERLY BOUNDARY LINE AS SHOWN HEREON.
7. PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE OVERHEAD WIRES CROSSING THE PREMISES NEAR THE NORTHEASTERLY BOUNDARY CORNER AS SHOWN HEREON.
8. BOUNDARY CORNERS WERE NOT SET IN THE PROCESS OF CONDUCTING THE FIELDWORK. EXTERIOR BOUNDARY CORNERS OF "SITE F" WILL BE SET WITH CAPPED 5/8" REBAR PRIOR TO ISSUANCE OF FINAL SURVEY MAPS.
9. THE BEARING BASE SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD '83), WESTERN ZONE.

SITE NOTES:

1. EXISTING ZONING: R-2 (PROJECT AREA WAS REZONED ON 12/20/17 BY THE COUNCIL OF THE CITY OF ROCHESTER)
2. TOTAL EXISTING LOT AREA (37 SULLIVAN ST.) IS \pm 13,992 S.F. (\pm 0.32 ACRES)
PROPOSED LOT F1 = 5,836 S.F.
PROPOSED LOT F2 = 8,156 S.F.

PROPOSED USE: LOT F1: ONE - SINGLE FAMILY HOUSE (1 UNIT)
LOT F2: ONE - THREE FAMILY HOUSE (3 UNITS)*
3. LOT DIMENSIONS ARE AS FOLLOWS:

	REQUIRED (SINGLE FAMILY)	PROPOSED (LOT F1)**	REQUIRED (MULTIFAMILY)	PROPOSED (LOT F2)
MIN. LOT AREA	5,000 SF/UNIT	5,836 SF/UNIT (5,836 SF TOTAL)	3,000 SF/UNIT (9,000 SF TOTAL)	2,719 SF/UNIT (8,157 SF TOTAL)**
MIN. LOT FRONTAGE	\pm 37'-AVG. FRONTAGE OF RESIDENTIAL LOTS ON BLOCK	42.97'	N/A	59.78'
BACKS				
FRONT YARD	AVG. BLDG. DEPTH 5' MIN.	AVG. BLDG. DEPTH 5' MIN.	AVG. BLDG. DEPTH 5' MIN.	AVG. BLDG. DEPTH 5' MIN.
SET YARD	15' TOTAL	15' TOTAL	15' TOTAL	15' TOTAL
REAR YARD	20' OR EXISTING	20' OR EXISTING	20' OR EXISTING	20' OR EXISTING
MAX. BLDG. HEIGHT	2.5 STORIES/35'	1 STORY/ \pm 22'	2.5 STORIES/35'	2 STORY/ \pm 28'
MAX. BLDG. COVERAGE	35%	23%	35%	25%
MAX. LOT COVERAGE	50%	39%	50%	50%
PARKING	(1) 2 BR UNIT - 1	1	(2) 1 BR UNITS - 2 SPACES (1) 3 BR UNIT - 1.5 SPACES	3 SPACES

* THIS PROJECT WILL REQUIRE A SPECIAL PERMIT AND SITE PLAN REVIEW/APPROVAL FROM THE CITY PLANNING COMMISSION.
** THIS SITE PLAN REQUIRES APPROVAL UNDER SECTION 120-20 FOR MINIMUM LOT AREA.
***THE SINGLE FAMILY LOT REQUIRES MINOR SITE PLAN REVIEW AND APPROVAL FROM THE CITY BUREAU OF BUILDING AND ZONING.
4. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
5. THE EXISTING PARCEL NEEDS TO BE ADMINISTRATIVELY RE-SUBDIVIDED INTO TWO LOTS BY THE CITY OF ROCHESTER.

UTILITY AND GRADING NOTES:

1. BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY. NO RESTRICTION IS INTENDED AS TO SIZE OR LOCATION OTHER THAN APPLICABLE ZONING REQUIREMENTS.
2. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER, THE APPROPRIATE AGENCIES (E, MONROE COUNTY PURE WATERS, AND THE MONROE COUNTY HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
4. THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
5. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, A FIELD SURVEY NEEDS TO BE COMPLETED AND THE CONTRACTOR SHALL CALL THE UPFO HOTLINE AT 1(800)962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
6. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
7. ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS.

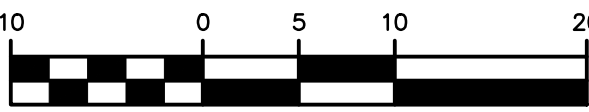
WATER: 1.5 INCH PE #4710 FROM THE CURB BOX TO THE METER, WITH TRACER WIRE.

SEWER: 6" PVC SDR-21 COMBINED SANITARY AND STORM SEWER LATERAL

EXTEND LATERALS TO 10 FEET BEYOND THE RIGHT-OF-WAY, OR 10 FEET BEYOND THE EASEMENT LINES, WHICHEVER IS GREATER.
8. CONTRACTOR TO PERFORM EXPLORATORY EXCAVATIONS TO LOCATE EXISTING SANITARY SEWER LATERALS AS NECESSARY. IF EXISTING SANITARY LATERALS ARE LOCATED THE CONTRACTOR SHOULD REVIEW THE CONDITION OF THE EXISTING SANITARY SEWER LATERAL WITH THE DEVELOPER AND MCPW. IF A SANITARY LATERAL IS NOT FOUND, THE CONTRACTOR SHOULD INSTALL A NEW 6" PVC SEWER LATERAL AS SHOWN ON THE PLANS ACCORDING TO MCPW REQUIREMENTS.
9. THE OWNER AND THE CONTRACTOR SHALL HAVE COMPLETE KNOWLEDGE OF THE CURRENT BLASTING POLICY FOR THE CITY OF ROCHESTER, AND THEY WILL CONFORM TO THIS POLICY AT ALL TIMES.
10. THE HOME BUILDER SHALL BE RESPONSIBLE FOR IMPLEMENTING INDIVIDUAL LOT EROSION CONTROL MEASURES FOR INDIVIDUAL HOUSE CONSTRUCTION. THE MEASURES ARE TO REMAIN IN PLACE UNTIL HOUSE CONSTRUCTION IS COMPLETE AND THE LAWN IS ESTABLISHED (SEE DETAIL SHEET 2555-27F).
11. ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, 585-428-6848.
12. A PERMIT FOR THE WATER SERVICE INSTALLATION IS TO BE OBTAINED BY A PLUMBER, LICENSED BY THE CITY OF ROCHESTER. A PERMIT MAY BE OBTAINED THROUGH THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, CITY HALL, 30 CHURCH STREET, ROOM 1218, 585-428-6848.
13. APPROXIMATE BEDROCK ELEVATION IS 480'-481.5' BASED ON FOUNDATION DESIGN, P.C.'S DECEMBER 2017 GEOTECHNICAL EVALUATION REPORT FOR THE PUEBLO NUEVO HOUSING.

SEE BME DRAWING NUMBER 2555-27F, 28F AND 29F FOR STANDARD DETAILS

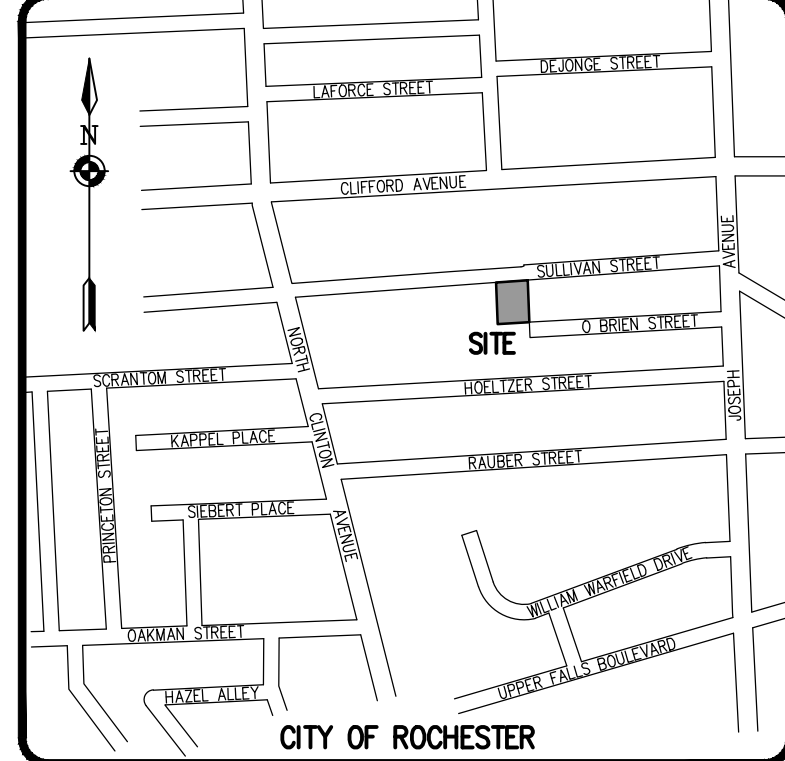
GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.



LOCATION MAP

NOT TO SCALE

Drawing Alteration
The following is an example from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

REVISIONS	DATE	BY
1	8/14/18	RRG
2	4/12/18	RRG
3		
4		
5		
6		
7		

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIFT BRIDGE LANE EAST
ROCHESTER, NY 14609
PHONE: 585-577-7360
FAX: 585-577-7369
WWW.BMECCON.COM



PUEBLO NUEVO HOUSING
FINAL
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
BERO AMERICA DEVELOPMENT
CORPORATION
ROCHESTER, NY 14621
PLOT PLAN - SITE F (LOTS F1 & F2)
37 SULLIVAN ST.

PROJECT	LOCATION	CLIENT	DRAWING TITLE
PROJECT MANAGER	JL SWEDROCK	PROJECT ENGINEER	FA SHELLEY
DRAWN BY	RR GLITCH	DATE ISSUED	MARCH 2018
SCALE	1"=10'		
PROJECT NO.	2555		09F

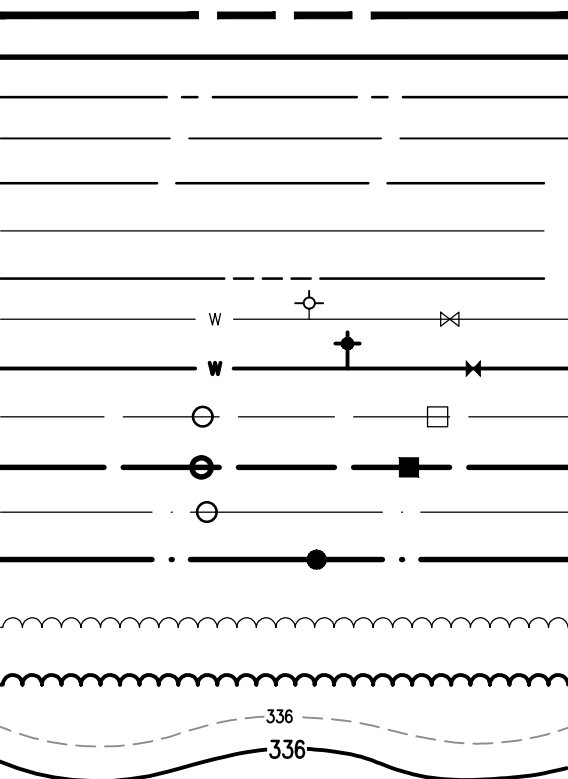
MCPW – ROCHESTER PURE WATERS DISTRICT SEWER NOTES:

1. THIS PLAN REQUIRES APPROVAL AND ISSUANCE OF A PLUMBING PERMIT FROM THE CITY OF ROCHESTER PLUMBING DEPARTMENT.
2. PRIOR TO CONSTRUCTION, A SEWER CONNECTION PERMIT MUST BE OBTAINED FROM THE MONROE COUNTY PURE WATERS (MCPW) PERMIT OFFICE AT 145 PAUL ROAD, BUILDING 11, ROCHESTER, NY 14624, PHONE # 753-7600 (OPT. 5).
3. SEWER CONNECTION PERMIT(S) CAN ONLY BE ISSUED TO A PLUMBER LICENSED IN THE CITY OF ROCHESTER AND WHO IS FULLY INSURED AND BONDED IN THE ROCHESTER PURE WATERS DISTRICT (RPWD). PAYMENT (CHECK OR MONEY ORDER TO "RPWD") OF ALL APPLICABLE PERMIT FEES MUST BE PAID PRIOR TO PERMIT ISSUANCE.
4. THE RPWD SHALL BE NOTIFIED FORTY-EIGHT HOURS IN ADVANCE OF A CONNECTION OR TAP. [753-7600 (OPT. 5)]. THE CONTRACTOR SHALL MAKE ALL REQUIRED TAPS TO THE RPWD SEWERS. ALL TAPS AND CONNECTIONS TO DISTRICT UTILITIES MUST BE WITNESSED BY A DISTRICT INSPECTOR.
5. SANITARY/STORM/COMBINATION SEWER LATERAL(S) AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE ROCHESTER PURE WATERS DISTRICT. ALL NEW CONNECTIONS SHALL BE INSPECTED BY A REPRESENTATIVE OF THE DISTRICT.
6. CLEANOUTS SHALL BE INSTALLED ON ALL 4" AND 6" DIAMETER SEWER LATERALS AT THE RIGHT-OF-WAY (ROW) LINE, OR THE SEWER EASEMENT LINE WHERE APPLICABLE. (THE SEWER EASEMENT, RIGHT-OF-WAY AND/OR PROPERTY LINE MUST BE STAKED OUT PRIOR TO INSTALLATION OF LOT LINE CLEANOUTS TO ENSURE PROPER LOCATION OF THE CLEANOUTS. [REFER TO CLEANOUT DETAIL FOR PROPER INSTALLATION]).
7. IF AN EXISTING LATERAL IS TO BE UTILIZED, THE PLUMBER/CONTRACTOR MUST ENSURE THAT THE LATERAL IS IN GOOD CONDITION AND IS FREE OF DEBRIS (DIRT, MUD, STONE, ROOTS, ETC.) VIA A VIDEO TAPED INSPECTION PERFORMED BY THE PLUMBER/CONTRACTOR OR HIS/HER/THEIR AGENT. PRIOR TO CONNECTION, THE VIDEO TAPED INSPECTION OF THE EXISTING LATERAL MUST BE PRESENTED TO THE DISTRICT FOR REVIEW AND APPROVAL TO UTILIZE AN EXISTING LATERAL. IT IS THE RESPONSIBILITY OF THE BUILDER OR THEIR AGENT TO CLEAN AND/OR REPLACE THE PIPE/LATERAL AS NEEDED.
8. ANY NEW PORTION OF A SEWER LATERAL INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY AND SEWER EASEMENT MUST BE SDR-21 PVC.
9. ANY EXISTING LATERALS NOT UTILIZED MUST BE ABANDONED TO MONROE COUNTY PURE WATERS (MCPW) STANDARDS AT THE PROPERTY LINE OR, WHERE APPLICABLE, THE SEWER EASEMENT LINE.
10. FLOOR DRAINS IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR MONROE COUNTY SEWER USE LAW.
11. ANY PORTION OF A SEWER/LATERAL WITH LESS THAN FOUR-FEET (4') OF COVER WILL REQUIRE CONCRETE ENCASUREMENT. SEWERS/LATERALS WITH LESS THAN THREE-FEET (3') OF COVER ARE NOT ALLOWED.
12. THE REQUIREMENTS OF THE HIGHWAY/PROPERTY OWNER SHALL BE ADHERED TO FOR ITEMS ABOVE THE PIPE BEDDING, INCLUDING, BUT NOT LIMITED TO, MAINTENANCE AND PROTECTION OF TRAFFIC, BACKFILL MATERIAL AND SURFACE RESTORATION.
13. ALL EXISTING AND/OR PROPOSED EASEMENTS AND/OR RIGHT-OF-WAYS (ROW) ARE TO BE STAKED OUT IN THE FIELD BY AN ENGINEER/SURVEYOR PRIOR TO THE START OF ANY SITE CONSTRUCTION/EXCAVATION AND MAINTAINED THROUGHOUT THE PROJECT TO ENSURE THE PURE WATERS LOT LINE CLEAN OUTS ON THE BUILDING LATERALS ARE PROPERLY PLACED AND THAT NO PERMANENT AND/OR NONPERMANENT STRUCTURES ARE INSTALLED WITHIN EASEMENTS AND/OR ROW. IT IS THE OWNER'S OR THEIR AGENT'S RESPONSIBILITY TO STAKE OUT ALL EASEMENTS. THIS WILL NOT BE THE RESPONSIBILITY OF THE RPWD.

RWB WATER MAIN AND SERVICE NOTES

1. WATER MAINS AND APPURTENANCES TO BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE ROCHESTER WATER BUREAU. ALL PIPE PRODUCTS, FITTINGS AND ACCESSORIES SHALL CONFORM TO THE LATEST ROCHESTER WATER BUREAU (RWB) APPROVED PRODUCTS LIST WHICH CAN BE FOUND ON THE CITY WEB SITE: HTTP://WWW.CITYOFROCHESTER.GOV/WATERDOCUMENTS/.
2. ALL NEW WATER MAINS AND SERVICES SHALL BE INSTALLED WITH A MINIMUM COVER DEPTH FROM PROPOSED FINISHED GRADE OF 4.5 FEET FOR DOMESTIC MAINS AND 5.0 FEET FOR HOLLY MAINS.
3. THE ROCHESTER WATER BUREAU REQUIRES THAT A HYDRANT USE PERMIT BE OBTAINED BY THE CONTRACTOR PRIOR TO USING ANY HYDRANT AS A SOURCE OF WATER SUPPLY. THE PERMIT REQUIRES THE USE OF A WATER METER AND A BACKFLOW PREVENTER. THE WATER BUREAU WILL SUPPLY A WATER METER AND BACKFLOW PREVENTER WITH THE PERMIT. THE PERMIT FEE INCLUDES A REFUNDABLE DEPOSIT FOR THE USE OF THE WATER METER AND BACKFLOW PREVENTER.
4. FOR EXISTING VALVES AND CURB STOPS THAT ARE LOCATED ON WATER MAIN AND WATER SERVICES WHICH ARE TO BE RETAINED, THE EXISTING VALVE AND CURB BOXES SHALL BE ADJUSTED TO GRADE OR REPLACED AS SHOWN ON THE PLANS OR DIRECTED BY THE PROJECT MANAGER.
5. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING NEAR WATER MAINS WHICH ARE TO BE RETAINED. NO VIBRATORY EQUIPMENT IS TO BE USED OVER OR ADJACENT TO EXISTING WATER MAINS.
6. APPROPRIATE MEASURES SHALL BE TAKEN TO PREVENT DIRT, DEBRIS, SURFACE AND GROUND WATER FROM CONTAMINATING THE WATER MAIN AND WATER SERVICE. THE WATER LEVEL IN THE EXCAVATION AT OPEN PIPE ENDS SHALL NEVER BE LESS THAN 12 INCHES BELOW THE INVERT OF THE WATER MAIN. WHENEVER AN OPEN PIPE END IS LEFT UNATTENDED, IT SHALL BE COVERED IN A WATER TIGHT MANNER.
7. STAINLESS STEEL INSERTS ARE REQUIRED ON ALL POLYETHYLENE (PE) SERVICE FITTINGS.
8. TRACER WIRE IS REQUIRED ON ALL BURIED NON-METALLIC WATER MAINS AND WATER SERVICES.
9. A PRECONSTRUCTION MEETING IS REQUIRED WITH THE ROCHESTER WATER BUREAU AFTER THE ISSUING OF A PERMIT, BUT BEFORE CONSTRUCTION OF THE WATER MAIN OR SERVICE BEGIN. CONTACT THE ROCHESTER WATER BUREAU AT (585) 426-7500 AND REQUEST TO SPEAK TO WATER ENGINEERING TO SCHEDULE THE MEETING.

LEGEND



- BOUNDARY LINE
- PROPOSED LOT LINE
- CENTERLINE
- SETBACK LINE
- ADJOINER LINE
- EDGE OF PAVEMENT LINE
- EXISTING EASEMENT LINE
- EX. WATERMAIN, HYDRANT AND VALVE
- PROP. WATERMAIN, HYDRANT AND VALVE
- EXISTING STORM SEWER, AND MANHOLE
- PROPOSED STORM SEWER, MANHOLE AND INLET
- EXISTING SANITARY SEWER AND MANHOLE
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING TREE LINE
- PROPOSED TREE LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED FINISHED GRADE
- PROPERTY MARKER FOUND
- CONCRETE HIGHWAY MONUMENT FOUND
- EXISTING HYDRANT AND VALVE
- EXISTING CATCH BASIN
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING UTILITY POLE

SURVEY REFERENCES:

1. A PLAN ENTITLED "MAP OF A SUBDIVISION OF LOTS No 2 & 3 OF THE LEE TRACT FOR THE ESTATE OF JAMES SULLIVAN, 1872," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 3 OF MAPS, PAGE 109.
2. A PLAN ENTITLED "MAP SHOWING LANDS OWNED BY JOHN RAAB & FERDINAND TEUTE," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 10 OF MAPS, PAGE 118.
3. CITY OF ROCHESTER DISTRICT 14, MAP 17 & 18.
4. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.
5. A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT NO. COR-217-21053, EFFECTIVE DATE MARCH 2, 2017.
6. A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT NO. COR-217-21053-(A), EFFECTIVE DATE JULY 7, 2017.
7. FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY NO. 360431, MAP NO. 36055002116, EFFECTIVE DATE AUGUST 28, 2008.

SURVEY NOTES:

1. CURRENT ZONING CLASSIFICATION: R-2
2. PARCELS LIE WITHIN ZONE X PER REFERENCE 7.
3. NO WETLAND DELINEATION MARKERS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
4. BOUNDARY CORNERS WERE NOT SET IN THE PROCESS OF CONDUCTING THE FIELDWORK. EXTERIOR BOUNDARY CORNERS OF "SITE G" WILL BE SET WITH CAPPED 5/8" REBAR PRIOR TO ISSUANCE OF FINAL SURVEY MAPS.
5. THE BEARING BASE SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD '83), WESTERN ZONE.

SITE NOTES:

1. EXISTING ZONING: R-2 (PROJECT AREA WAS REZONED ON 12/20/17 BY THE COUNCIL OF THE CITY OF ROCHESTER)
2. TOTAL LOT AREA IS ± 50,875 S.F. (±1.17 ACRES) (12 HOELTZER STREET)
PROPOSED LOT G1 = 7,378 SF
PROPOSED USE: TWO STORY -THREE FAMILY HOUSE (3 UNITS) *
3. LOT DIMENSIONS ARE AS FOLLOWS:

	REQUIRED (MULTIFAMILY)	PROPOSED (LOT G1)
MIN. LOT AREA	3,000 SF/UNIT	2,459 SF/UNIT (7,378 SF TOTAL)**
MIN. LOT FRONTAGE	N/A	75'
SETBACKS		
FRONT YARD	AVG. BLDG. DEPTH OR 20'	AVG. BLDG. DEPTH
SIDE YARD	5' MIN	≥5'
REAR YARD	15' TOTAL	15' TOTAL
	20' OR EXISTING	>20'
MAX. BLDG. HEIGHT	2.5 STORIES/35'	2 STORIES/±29'
MAX. BLDG. COVERAGE	35%	27%
MAX. LOT COVERAGE	50%	51% ***
PARKING	(2) 1BR UNITS - 2 SPACES (1) 3BR UNIT - 1.5 SPACES 3 REQUIRED SPACES	3 SPACES

- * THIS PROJECT WILL REQUIRE A SPECIAL PERMIT AND SITE PLAN REVIEW/APPROVAL FROM THE CITY PLANNING COMMISSION.
- ** THIS SITE PLAN REQUIRES APPROVAL UNDER SECTION 120-20 FOR MINIMUM LOT AREA
- *** THIS SITE PLAN REQUIRES APPROVAL UNDER SECTION 120-20 FOR MAXIMUM LOT COVERAGE

4. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.

5. THE EXISTING PARCEL NEEDS TO BE ADMINSTRATIVELY RE-SUBDIVDED INTO TWO LOTS BY THE CITY OF ROCHESTER.

UTILITY AND GRADING NOTES:

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2. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER. THE APPROPRIATE AGENCIES (IE, MONROE COUNTY PURE WATERS, AND THE MONROE COUNTY HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
4. THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
5. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, A FIELD SURVEY NEEDS TO BE COMPLETED AND THE CONTRACTOR SHALL CALL THE UPPO HOTLINE AT 1(800)962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
6. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
7. ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS.
WATER: 1.5 INCH PE #4710 FROM THE CURB BOX TO THE METER, WITH TRACER WIRE.
SEWER: 6" PVC SDR-21 COMBINED SANITARY AND STORM SEWER LATERAL
EXTEND LATERALS TO 10 FEET BEYOND THE RIGHT-OF-WAY, OR 10 FEET BEYOND THE EASEMENT LINES, WHICHEVER IS GREATER.
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11. ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, 585-428-6848.
12. A PERMIT FOR THE WATER SERVICE INSTALLATION IS TO BE OBTAINED BY A PLUMBER, LICENSED BY THE CITY OF ROCHESTER. A PERMIT MAY BE OBTAINED THROUGH THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, CITY HALL, 30 CHURCH STREET, ROOM 1218, 585-428-6848.
13. APPROXIMATE BEDROCK ELEVATION IS ±485.7 BASED ON FOUNDATION DESIGN, P.C.'S DECEMBER 2017 GEOTECHNICAL EVALUATION REPORT FOR THE PUEBLO NUEVO HOUSING.
14. PARCEL G1 HAS BEEN IDENTIFIED WITH SHALLOW BEDROCK. HOUSES TO BE CONSTRUCTED WITH HELICAL PILES AND A STRUCTURAL SLAB ON GRADE

ROCHESTER PURE WATERS DISTRICT:

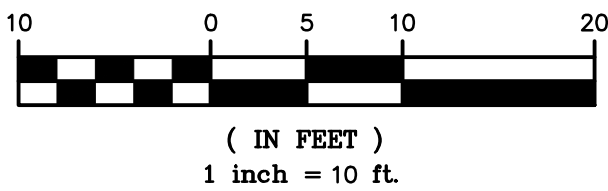
PROJECT MANAGER	
JL SWEDROCK	
PROJECT ENGINEER	
FA SHELLEY	
DRAWN BY	
RR GLITCH	
SCALE	DATE ISSUED
1"=10'	MARCH 2018
PROJECT NO.	
2555	
DRAWING NO.	
10F	

SEE BME DRAWING NUMBER
2555-27F, 28F AND 29F
FOR STANDARD DETAILS

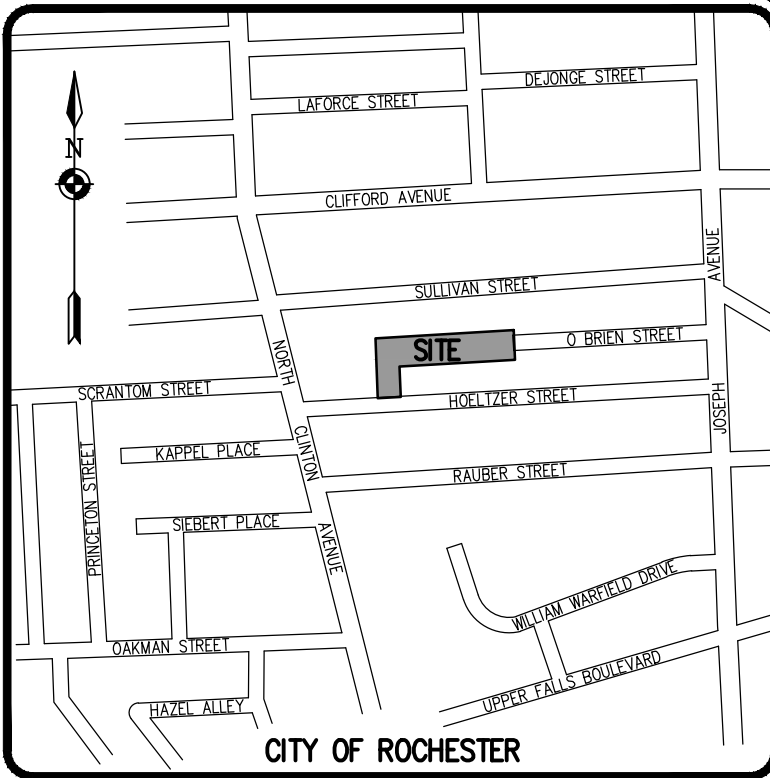
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GRAPHIC SCALE



Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way, if on item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "Altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."



LOCATION MAP
NOT TO SCALE

REVISIONS	DATE	BY
1	8/14/18	RRG
2	4/12/18	RRG
3		
4		
5		
6		
7		

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIFT BRIDGE LANE EAST
NEW YORK, NY 14660
PHONE: 585-577-7360
FAX: 585-577-7369
WWW.BME-CCON.COM



PUEBLO NUEVO HOUSING
FINAL
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
IBERO AMERICA DEVELOPMENT
300 CLEVELAND
ROCHESTER, NY 14621
PLOT PLAN - SITE G (LOT G1)
12 HOELTZER ST.

PROJECT
LOCATION
CLIENT
DRAWING TITLE

PROJECT MANAGER
JL SWEDROCK
PROJECT ENGINEER
FA SHELLEY
DRAWN BY
RR GLITCH
SCALE
1"=10'
DATE ISSUED
MARCH 2018
PROJECT NO.
2555
DRAWING NO.
10F

T.A. NUMBER 06-39-1-72-001

P:\2555\Drawings\Final\SPECIAL PERMIT SITES (D-K, R-T, U)\2555S Design Base.dwg

- P:\2555\Drawings\Final\SPECIAL PERMIT SITES (D-K, R-T, U)\2555S Design Base.dwg

1

- 1

1



1

- 1

MCPW – ROCHESTER PURE WATERS DISTRICT SEWER NOTES:

1. THIS PLAN REQUIRES APPROVAL AND ISSUANCE OF A PLUMBING PERMIT FROM THE CITY OF ROCHESTER PLUMBING DEPARTMENT.
2. PRIOR TO CONSTRUCTION, A SEWER CONNECTION PERMIT MUST BE OBTAINED FROM THE MONROE COUNTY PURE WATERS (MCPW) PERMIT OFFICE AT 145 PAUL ROAD, BUILDING 11, ROCHESTER, NY 14624, PHONE # 753-7600 (OPT. 5).
3. SEWER CONNECTION PERMIT(S) CAN ONLY BE ISSUED TO A PLUMBER LICENSED IN THE CITY OF ROCHESTER AND WHO IS FULLY INSURED AND BONDED IN THE ROCHESTER PURE WATERS DISTRICT (RPWD). PAYMENT (CHECK OR MONEY ORDER TO RPWD) OF ALL APPLICABLE PERMIT FEES MUST BE PAID PRIOR TO PERMIT ISSUANCE.
4. THE RPWD SHALL BE NOTIFIED FORTY-EIGHT HOURS IN ADVANCE OF A CONNECTION OR TAP. [753-7600 (OPT. 5)] THE CONTRACTOR SHALL MAKE ALL REQUIRED TAPS TO THE RPWD SEWERS. ALL TAPS AND CONNECTIONS TO DISTRICT UTILITIES MUST BE WITNESSED BY A DISTRICT INSPECTOR.
5. SANITARY/STORM/COMBINATION SEWER LATERAL(S) AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE ROCHESTER PURE WATERS DISTRICT. ALL NEW CONNECTIONS SHALL BE INSPECTED BY A REPRESENTATIVE OF THE DISTRICT.
6. CLEANOUTS SHALL BE INSTALLED ON ALL 4" AND 6" DIAMETER SEWER LATERALS AT THE RIGHT-OF-WAY (ROW) LINE, OR THE SEWER EASEMENT LINE WHERE APPLICABLE. (THE SEWER EASEMENT, RIGHT-OF-WAY AND/OR PROPERTY LINE MUST BE STAKED OUT PRIOR TO INSTALLATION OF LOT LINE CLEANOUTS TO ENSURE PROPER LOCATION OF THE CLEANOUTS. [REFER TO CLEANOUT DETAIL FOR PROPER INSTALLATION].)
7. IF AN EXISTING LATERAL IS TO BE UTILIZED, THE PLUMBER/CONTRACTOR MUST ENSURE THAT THE LATERAL IS IN GOOD CONDITION AND IS FREE OF DEBRIS (DIRT, MUD, STONE, ROOTS, ETC.) VIA A VIDEO TAPED INSPECTION PERFORMED BY THE PLUMBER/CONTRACTOR OR HIS/HER/THEIR AGENT. PRIOR TO CONNECTION, THE VIDEO TAPED INSPECTION OF THE EXISTING LATERAL MUST BE PRESENTED TO THE DISTRICT FOR REVIEW AND APPROVAL TO UTILIZE AN EXISTING LATERAL. IT IS THE RESPONSIBILITY OF THE BUILDER OR THEIR AGENT TO CLEAN AND/OR REPLACE THE PIPE/LATERAL AS NEEDED.
8. ANY NEW PORTION OF A SEWER LATERAL INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY AND SEWER EASEMENT MUST BE SDR-21 PVC.
9. ANY EXISTING LATERALS NOT UTILIZED MUST BE ABANDONED TO MONROE COUNTY PURE WATERS (MCPW) STANDARDS AT THE PROPERTY LINE OR, WHERE APPLICABLE, THE SEWER EASEMENT LINE.
10. FLOOR DRAINS IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST CONFORM WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR MONROE COUNTY SEWER USE LAW.
11. ANY PORTION OF A SEWER/LATERAL WITH LESS THAN FOUR-FEET (4') OF COVER WILL REQUIRE CONCRETE ENCASEMENT. SEWERS/LATERALS WITH LESS THAN THREE-FEET (3') OF COVER ARE NOT ALLOWED.
12. THE REQUIREMENTS OF THE HIGHWAY/PROPERTY OWNER SHALL BE ADHERED TO FOR ITEMS ABOVE THE PIPE BEDDING, INCLUDING, BUT NOT LIMITED TO, MAINTENANCE AND PROTECTION OF TRAFFIC, BACKFILL MATERIAL AND SURFACE RESTORATION.
13. ALL EXISTING AND/OR PROPOSED EASEMENTS AND/OR RIGHT-OF-WAYS (ROW) ARE TO BE STAKED OUT IN THE FIELD BY AN ENGINEER/SURVEYOR PRIOR TO THE START OF ANY SITE CONSTRUCTION/EXCAVATION AND MAINTAINED DURING COURSE OF THE PROJECT TO ENSURE THE PURE WATERS LOT LINE CLEAN OUTS ON THE BUILDING LATERALS ARE PROPERLY PLACED AND THAT NO PERMANENT AND/OR NONPERMANENT STRUCTURES ARE INSTALLED WITHIN EASEMENTS AND/OR ROW. IT IS THE OWNER'S OR THEIR AGENT'S RESPONSIBILITY TO STAKE OUT ALL EASEMENTS. THIS WILL NOT BE THE RESPONSIBILITY OF THE RPWD.

RWB WATER MAIN AND SERVICE NOTES

1. WATER MAINS AND APPURTENANCES TO BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE ROCHESTER WATER BUREAU. ALL PIPE PRODUCTS, FITTINGS AND ACCESSORIES SHALL CONFORM TO THE LATEST ROCHESTER WATER BUREAU (RWB) APPROVED PRODUCTS LIST WHICH CAN BE FOUND ON THE CITY WEB SITE: [HTTP://WWW.CITYOFROCHESTER.GOV/WATERDOCSMENTS/](http://WWW.CITYOFROCHESTER.GOV/WATERDOCSMENTS/).
2. ALL NEW WATER MAINS AND SERVICES SHALL BE INSTALLED WITH A MINIMUM COVER DEPTH FROM PROPOSED FINISHED GRADE OF 4.5 FEET FOR DOMESTIC MAINS AND 5.0 FEET FOR HOLLY MAINS.
3. THE ROCHESTER WATER BUREAU REQUIRES THAT A HYDRANT USE PERMIT BE OBTAINED BY THE CONTRACTOR PRIOR TO USING ANY HYDRANT AS A SOURCE OF WATER SUPPLY. THE PERMIT REQUIRES THE USE OF A WATER METER AND A BACKFLOW PREVENTER. THE WATER BUREAU WILL SUPPLY A WATER METER AND BACKFLOW PREVENTER WITH THE PERMIT. THE PERMIT FEE INCLUDES A REFUNDABLE DEPOSIT FOR THE USE OF THE WATER METER AND BACKFLOW PREVENTER.
4. FOR EXISTING VALVES AND CURB STOPS THAT ARE LOCATED ON WATER MAIN AND WATER SERVICES WHICH ARE TO BE RETAINED, THE EXISTING VALVE AND CURB BOXES SHALL BE ADJUSTED TO GRADE OR REPLACED AS SHOWN ON THE PLANS OR DIRECTED BY THE PROJECT MANAGER.
5. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING NEAR WATER MAINS WHICH ARE TO BE RETAINED. NO VIBRATORY EQUIPMENT IS TO BE USED OVER OR ADJACENT TO EXISTING WATER MAINS.
6. APPROPRIATE MEASURES SHALL BE TAKEN TO PREVENT DIRT, DEBRIS, SURFACE AND GROUND WATER FROM CONTAMINATING THE WATER MAIN AND WATER SERVICE. THE WATER LEVEL IN THE EXCAVATION AT OPEN PIPE ENDS SHALL NEVER BE LESS THAN 12 INCHES BELOW THE INVERT OF THE WATER MAIN. WHENEVER AN OPEN PIPE END IS LEFT UNATTENDED, IT SHALL BE COVERED IN A WATER TIGHT MANNER.
7. STAINLESS STEEL INSERTS ARE REQUIRED ON ALL POLYETHYLENE (PE) SERVICE FITTINGS.
8. TRACER WIRE IS REQUIRED ON ALL BURIED NON-METALLIC WATER MAINS AND WATER SERVICES.
9. A PRECONSTRUCTION MEETING IS REQUIRED WITH THE ROCHESTER WATER BUREAU AFTER THE ISSUING OF A PERMIT, BUT BEFORE CONSTRUCTION OF THE WATER MAIN OR SERVICE BEGINS. CONTACT THE ROCHESTER WATER BUREAU AT (585) 428-7500 AND REQUEST TO SPEAK TO WATER ENGINEERING TO SCHEDULE THE MEETING.

LEGEND

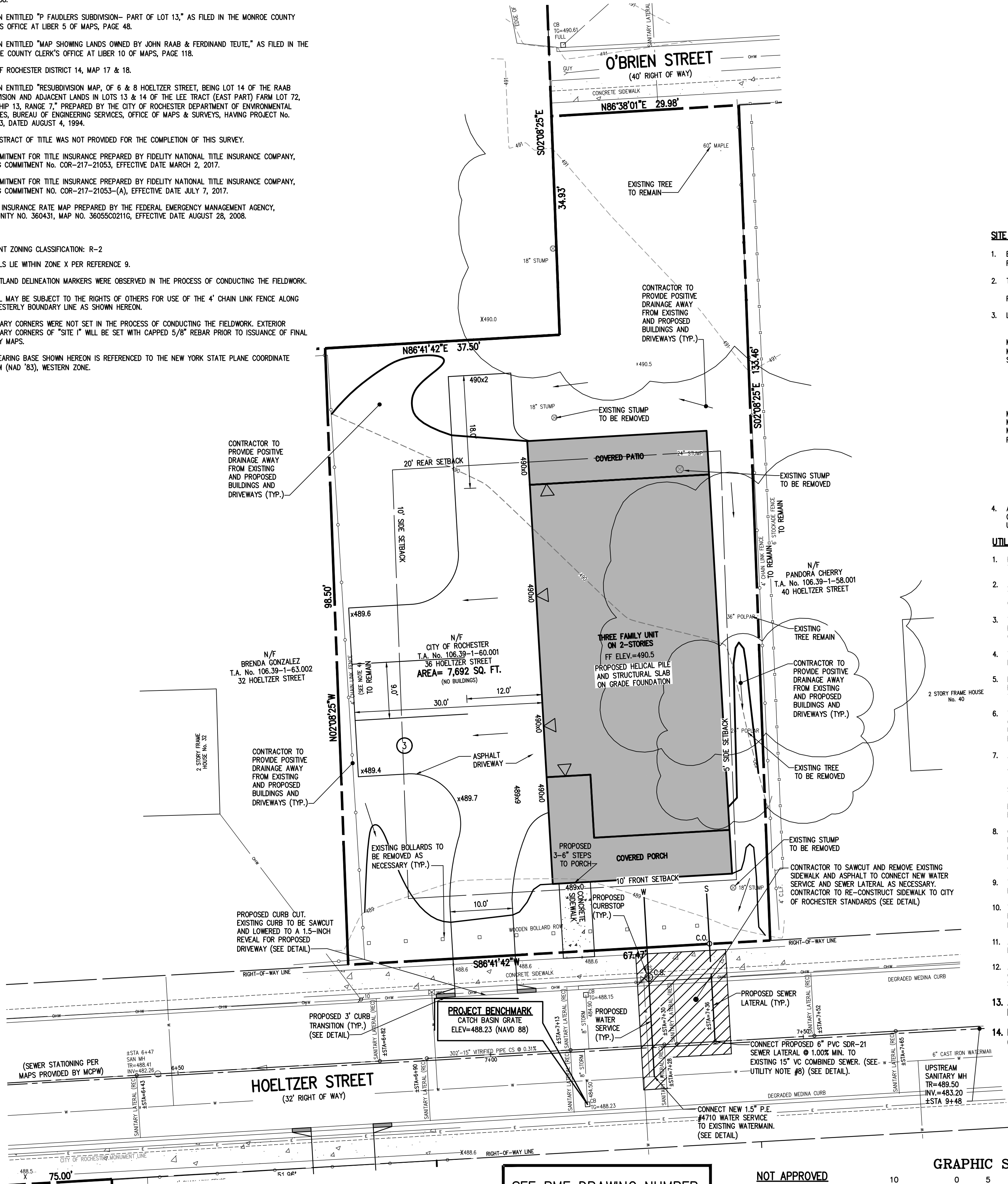
	BOUNDARY LINE
	PROPOSED LOT LINE
	CENTERLINE
	SETBACK LINE
	ADJOINER LINE
	EDGE OF PAVEMENT LINE
	EXISTING EASEMENT LINE
	EX. WATERMAIN, HYDRANT AND VALVE
	PROP. WATERMAIN, HYDRANT AND VALVE
	EXISTING STORM SEWER, AND MANHOLE
	PROPOSED STORM SEWER, MANHOLE AND INLET
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER AND MANHOLE
	EXISTING TREE LINE
	PROPOSED TREE LINE
	EXISTING CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED FINISHED GRADE
	PROPERTY MARKER FOUND
	CONCRETE HIGHWAY MONUMENT FOUND
	EXISTING HYDRANT AND VALVE
	EXISTING CATCH BASIN
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING UTILITY POLE

REFERENCES:

1. A PLAN ENTITLED "MAP OF A SUBDIVISION OF LOT 12 AND PORTION OF L13 OF THE LEE TRACT IN THE CITY OF ROCHESTER 1873," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 3 OF MAPS, PAGE 58.
2. A PLAN ENTITLED "P FAULDERS SUBDIVISION- PART OF LOT 13," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 5 OF MAPS, PAGE 48.
3. A PLAN ENTITLED "MAP SHOWING LANDS OWNED BY JOHN RAAB & FERDINAND TEUTE," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 10 OF MAPS, PAGE 118.
4. CITY OF ROCHESTER DISTRICT 14, MAP 17 & 18.
5. A PLAN ENTITLED "RESUBDIVISION MAP, OF 6 & 8 HOELTZER STREET, BEING LOT 14 OF THE RAAB SUBDIVISION AND ADJACENT LANDS IN LOTS 13 & 14 OF THE LEE TRACT (EAST PART) FARM LOT 72, TOWNSHIP 13, RANGE 7," PREPARED BY THE CITY OF ROCHESTER DEPARTMENT OF ENVIRONMENTAL SERVICES, BUREAU OF ENGINEERING SERVICES, OFFICE OF MAPS & SURVEYS, HAVING PROJECT No. 94-063, DATED AUGUST 4, 1994.
6. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.
7. A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT No. COR-217-21053, EFFECTIVE DATE MARCH 2, 2017.
8. A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT No. COR-217-21053-(A), EFFECTIVE DATE JULY 7, 2017.
9. FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY No. 360431, MAP No. 3605502011G, EFFECTIVE DATE AUGUST 28, 2008.

NOTES:

1. CURRENT ZONING CLASSIFICATION: R-2
2. PARCELS LIE WITHIN ZONE X PER REFERENCE 9.
3. NO WETLAND DELINEATION MARKERS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
4. PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE 4' CHAIN LINK FENCE ALONG THE WESTERLY BOUNDARY LINE AS SHOWN HEREON.
5. BOUNDARY CORNERS WERE NOT SET IN THE PROCESS OF CONDUCTING THE FIELDWORK. EXTERIOR BOUNDARY CORNERS OF "SITE 1" WILL BE SET WITH CAPPED 5/8" REBAR PRIOR TO ISSUANCE OF FINAL SURVEY MAPS.
6. THE BEARING BASE SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD '83), WESTERN ZONE.

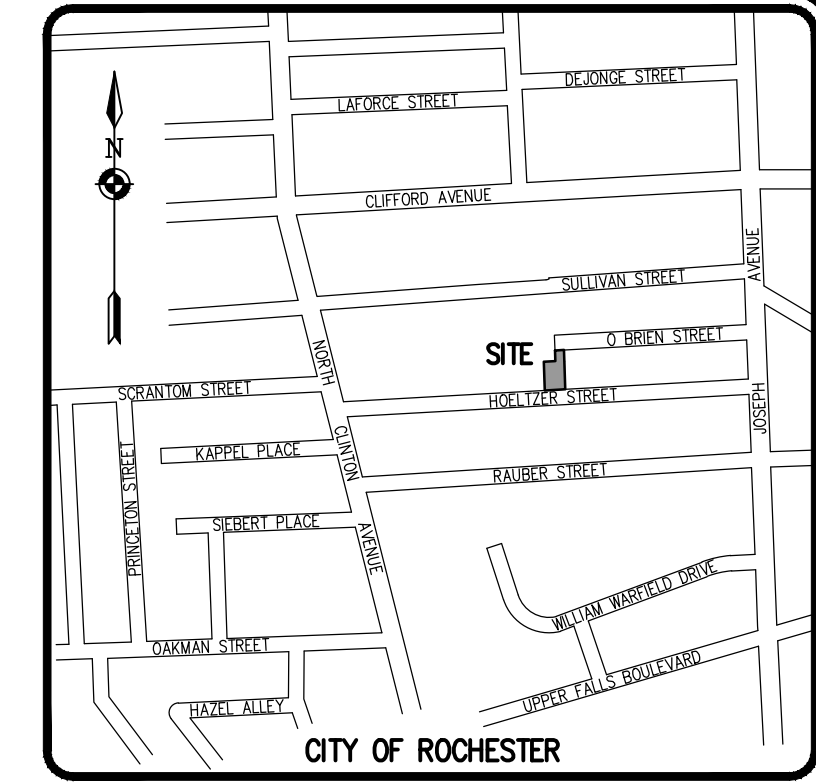
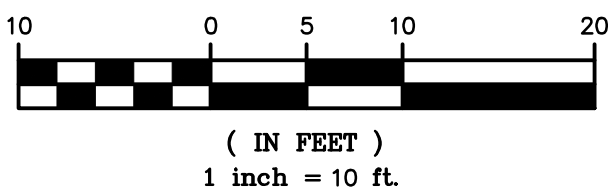


SEE BME DRAWING NUMBER
2555-27F, 28F AND 29F
FOR STANDARD DETAILS

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GRAPHIC SCALE



LOCATION MAP
NOT TO SCALE

SITE NOTES:

1. EXISTING ZONING: R-2 (PROJECT AREA WAS REZONED ON 12/20/17 BY THE COUNCIL OF THE CITY OF ROCHESTER)
2. TOTAL EXISTING LOT AREA IS ± 7,692 S.F. (±.176 ACRES) (36 HOELTZER STREET)
3. LOT DIMENSIONS ARE AS FOLLOWS:

	REQUIRED (MULTIFAMILY)	PROPOSED
MIN. LOT AREA	3,000 SF/UNIT	2,564 SF/UNIT (7,692 SF TOTAL)**
MIN. LOT FRONTAGE	N/A	67.47'
SETBACKS		
FRONT YARD	AVG. BLDG. DEPTH ON BLOCK	AVG. BLDG. DEPTH ON BLOCK
SIDE YARD	5' MIN	≥5'
REAR YARD	15' TOTAL	15' TOTAL
	20' OR EXISTING	>20'
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MAX. BLDG. COVERAGE	35%	26%
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ROCHESTER PURE WATERS DISTRICT:

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	7	6	5	4	3	2	1	REVISIONS	DATE	BY

BME ASSOCIATES
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ROCHESTER, NY 14610
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WWW.BME-CCON.COM



PUEBLO NUEVO HOUSING
FINAL
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
IBERO AMERICA DEVELOPMENT
CORPORATION
ROCHESTER, NY 14621
PROJECT LOCATION CLIENT
DRAWING TITLE

PROJECT MANAGER
JL SWEDROCK
PROJECT ENGINEER
FA SHELLEY
DRAWN BY
RR GLITCH
SCALE
1"=10'
DATE ISSUED
MARCH 2018
PROJECT NO.
2555
DRAWING NO.
12F

MCWP - ROCHESTER PURE WATERS DISTRICT SEWER NOTES:

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- THE RPWD SHALL BE NOTIFIED FORTY-EIGHT HOURS IN ADVANCE OF A CONNECTION OR TAP. [753-7600 (OPT. 5)] THE CONTRACTOR SHALL MAKE ALL REQUIRED TAPS TO THE RPWD SEWERS. ALL TAPS AND CONNECTIONS TO DISTRICT UTILITIES MUST BE WITNESSED BY A DISTRICT INSPECTOR.
- SANITARY/STORM/COMBINATION SEWER LATERAL(S) AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE ROCHESTER PURE WATERS DISTRICT. ALL NEW CONNECTIONS SHALL BE INSPECTED BY A REPRESENTATIVE OF THE DISTRICT.
- CLEANOUTS SHALL BE INSTALLED ON ALL 4" AND 6" DIAMETER SEWER LATERALS AT THE RIGHT-OF-WAY (ROW) LINE, OR THE SEWER EASEMENT LINE WHERE APPLICABLE. (THE SEWER EASEMENT, RIGHT-OF-WAY AND/OR PROPERTY LINE MUST BE STAKED OUT PRIOR TO INSTALLATION OF LOT LINE CLEANOUTS TO ENSURE PROPER LOCATION OF THE CLEANOUTS. [REFER TO APPROVED DETAIL FOR PROPER INSTALLATION]).
- IF AN EXISTING LATERAL IS TO BE UTILIZED, THE PLUMBER/CONTRACTOR MUST ENSURE THAT THE LATERAL IS IN GOOD CONDITION AND IS FREE OF DEBRIS (DIRT, MUD, STONE, ROOTS, ETC.) VIA A VIDEO TAPED INSPECTION PERFORMED BY THE PLUMBER/CONTRACTOR OR HIS/HER/THEIR AGENT. PRIOR TO CONNECTION, THE VIDEO TAPED INSPECTION OF THE EXISTING LATERAL MUST BE PRESENTED TO THE DISTRICT FOR REVIEW AND APPROVAL TO UTILIZE AN EXISTING LATERAL. IT IS THE RESPONSIBILITY OF THE BUILDER OR THEIR AGENT TO CLEAN AND/OR REPLACE THE PIPE/LATERAL AS NEEDED.
- ANY NEW PORTION OF A SEWER LATERAL INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY AND SEWER EASEMENT MUST BE SDR-21 PVC.
- ANY EXISTING LATERALS NOT UTILIZED MUST BE ABANDONED TO MONROE COUNTY PURE WATERS (MCWP) STANDARDS AT THE PROPERTY LINE OR, WHERE APPLICABLE, THE SEWER EASEMENT LINE.
- FLOOR DRAINS IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR MONROE COUNTY SEWER USE LAW.
- ANY PORTION OF A SEWER/LATERAL WITH LESS THAN FOUR-FEET (4') OF COVER WILL REQUIRE CONCRETE ENCASEMENT. SEWERS/LATERALS WITH LESS THAN THREE-FEET (3') OF COVER ARE NOT ALLOWED.
- THE REQUIREMENTS OF THE HIGHWAY/PROPERTY OWNER SHALL BE ADHERED TO FOR ITEMS ABOVE THE PIPE BEDDING INCLUDING, BUT NOT LIMITED TO, MAINTENANCE AND PROTECTION OF TRAFFIC, BACKFILL MATERIAL AND SURFACE RESTORATION.
- ALL EXISTING AND/OR PROPOSED EASEMENTS AND/OR RIGHT-OF-WAYS (ROW) ARE TO BE STAKED OUT IN THE FIELD BY AN ENGINEER/SURVEYOR PRIOR TO THE START OF ANY CONSTRUCTION/EXCAVATION AND MAINTAINED DURING COURSE OF THE PROJECT TO ENSURE THE PURE WATERS LOT LINE CLEAN OUTS ON THE BUILDING LATERALS ARE PROPERLY PLACED AND THAT NO PERMANENT AND/OR NONPERMANENT STRUCTURES ARE INSTALLED WITHIN EASEMENTS AND/OR ROW. IT IS THE OWNER'S OR THEIR AGENT'S RESPONSIBILITY TO STAKE OUT ALL EASEMENTS. THIS WILL NOT BE THE RESPONSIBILITY OF THE RPWD.

RWB WATER MAIN AND SERVICE NOTES

- WATER MAINS AND APPURTENANCES TO BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE ROCHESTER WATER BUREAU. ALL PIPE PRODUCTS, FITTINGS AND ACCESSORIES SHALL CONFORM TO THE LATEST ROCHESTER WATER BUREAU (RWB) APPROVED PRODUCTS LIST WHICH CAN BE FOUND ON THE CITY WEB SITE: [HTTP://WWW.CITYOFROCHESTER.GOV/WATERDOCUMENTS/](http://www.cityofrochester.gov/waterdocuments/).
- ALL NEW WATER MAINS AND SERVICES SHALL BE INSTALLED WITH A MINIMUM COVER DEPTH FROM PROPOSED FINISHED GRADE OF 4.5 FEET FOR DOMESTIC MAINS AND 5.0 FEET FOR HOLLY MAINS.
- THE ROCHESTER WATER BUREAU REQUIRES THAT A HYDRANT USE PERMIT BE OBTAINED BY THE CONTRACTOR PRIOR TO USING ANY HYDRANT AS A SOURCE OF WATER SUPPLY. THE PERMIT REQUIRES THE USE OF A WATER METER AND A BACKFLOW PREVENTER. THE WATER BUREAU WILL SUPPLY A WATER METER AND BACKFLOW PREVENTER WITH THE PERMIT. THE PERMIT FEE INCLUDES A REFUNDABLE DEPOSIT FOR THE USE OF THE WATER METER AND BACKFLOW PREVENTER.
- FOR EXISTING VALVES AND CURB STOPS THAT ARE LOCATED ON WATER MAIN AND WATER SERVICES WHICH ARE TO BE RETAINED, THE EXISTING VALVE AND CURB BOXES SHALL BE ADJUSTED TO GRADE OR REPLACED AS SHOWN ON THE PLANS OR DIRECTED BY THE PROJECT MANAGER.
- THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING NEAR WATER MAINS WHICH ARE TO BE RETAINED. NO VIBRATORY EQUIPMENT IS TO BE USED OVER OR ADJACENT TO EXISTING WATER MAINS.
- APPROPRIATE MEASURES SHALL BE TAKEN TO PREVENT DIRT, DEBRIS, SURFACE AND GROUND WATER FROM CONTAMINATING THE WATER MAIN AND WATER SERVICE. THE WATER LEVEL IN THE EXCAVATION AT OPEN PIPE ENDS SHALL NEVER BE LESS THAN 12 INCHES BELOW THE INVERT OF THE WATER MAIN. WHENEVER AN OPEN PIPE END IS LEFT UNATTENDED, IT SHALL BE COVERED IN A WATER TIGHT MANNER.
- STAINLESS STEEL INSERTS ARE REQUIRED ON ALL POLYETHYLENE (PE) SERVICE FITTINGS.
- TRACER WIRE IS REQUIRED ON ALL BURIED NON-METALLIC WATER MAINS AND WATER SERVICES.
- A PRECONSTRUCTION MEETING IS REQUIRED WITH THE ROCHESTER WATER BUREAU AFTER THE ISSUING OF A PERMIT, BUT BEFORE CONSTRUCTION OF THE WATER MAIN OR SERVICE BEGINS. CONTACT THE ROCHESTER WATER BUREAU AT (585) 428-7500 AND REQUEST TO SPEAK TO WATER ENGINEERING TO SCHEDULE THE MEETING.

LEGEND

	BOUNDARY LINE
	PROPOSED LOT LINE
	CENTERLINE
	SETBACK LINE
	ADJOINER LINE
	EDGE OF PAVEMENT LINE
	EXISTING EASEMENT LINE
	EX. WATERMAIN, HYDRANT AND VALVE
	PROP. WATERMAIN, HYDRANT AND VALVE
	EXISTING STORM SEWER, AND MANHOLE
	PROPOSED STORM SEWER, MANHOLE AND INLET
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER AND MANHOLE
	EXISTING TREELINE
	PROPOSED TREE LINE
	EXISTING CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED FINISHED GRADE
	PROPERTY MARKER FOUND
	CONCRETE HIGHWAY MONUMENT FOUND
	EXISTING HYDRANT AND VALVE
	EXISTING CATCH BASIN
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING UTILITY POLE

SURVEY NOTES:

- CURRENT ZONING CLASSIFICATION: R-2
- PARCELS LIE WITHIN ZONE X PER REFERENCE 9.
- NO WETLAND DELINEATION MARKERS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE 4' CHAIN LINK FENCE ALONG THE WESTERLY BOUNDARY LINE AS SHOWN HEREON.
- PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE 4' CHAIN LINK FENCE ALONG THE EASTERLY BOUNDARY LINE AS SHOWN HEREON.
- BOUNDARY CORNERS WERE NOT SET IN THE PROCESS OF CONDUCTING THE FIELDWORK. EXTERIOR BOUNDARY CORNERS OF "SITE J" WILL BE SET WITH CAPPED 5/8" REBAR PRIOR TO ISSUANCE OF FINAL SURVEY MAPS.
- THE BEARING BASE SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD '83), WESTERN ZONE.

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- CITY OF ROCHESTER DISTRICT 14, MAP 17 & 18.
- A PLAN ENTITLED "RESUBDIVISION MAP, OF 6 & 8 HOELTZER STREET, BEING LOT 14 OF THE RAAB SUBDIVISION AND ADJACENT LANDS IN LOTS 13 & 14 OF THE LEE TRACT (EAST PART) FARM LOT 72, TOWNSHIP 13, RANGE 7," PREPARED BY THE CITY OF ROCHESTER DEPARTMENT OF ENVIRONMENTAL SERVICES, BUREAU OF ENGINEERING SERVICES, OFFICE OF MAPS & SURVEYS, HAVING PROJECT No. 94-063, DATED AUGUST 4, 1994.
- AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.
- A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT No. COR-217-21053, EFFECTIVE DATE MARCH 2, 2017.
- A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT No. COR-217-21053-(A), EFFECTIVE DATE JULY 7, 2017.
- FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY NO. 360431, MAP NO. 36055C02116, EFFECTIVE DATE AUGUST 28, 2008.

SITE NOTES:

- EXISTING ZONING: R-2 (PROJECT AREA WAS REZONED ON 12/20/17 BY THE COUNCIL OF THE CITY OF ROCHESTER)
- TOTAL EXISTING LOT AREA IS ± 8,015 S.F. (±0.18 ACRES) (44-46 HOELTZER STREET)
- PROPOSED USE: TWO STORY -THREE FAMILY HOUSE (3 UNITS)*
- LOT DIMENSIONS ARE AS FOLLOWS:

	REQUIRED (MULTIFAMILY)	PROPOSED
MIN. LOT AREA	3,000 SF/UNIT	2,672 SF/UNIT (8,015 SF TOTAL)**
MIN. LOT FRONTAGE	N/A	60.01'
SETBACKS		
FRONT YARD	AVG. BLDG. DEPTH OR 20'	AVG. BLDG. DEPTH
SIDE YARD	5' MIN	>5'
REAR YARD	15' TOTAL	15' TOTAL
	20' OR EXISTING	>20'
MAX. BLDG. HEIGHT	2.5 STORIES/35'	2 STORIES/±28'
MAX. BLDG. COVERAGE	35%	25%
MAX. LOT COVERAGE	50%	51% ***
PARKING	(2) 1BR UNITS - 2 SPACES (1) 3BR UNIT - 1.5 SPACES 3 REQUIRED SPACES	3 SPACES

*THIS PROJECT WILL REQUIRE A SPECIAL PERMIT AND SITE PLAN REVIEW/APPROVAL FROM THE CITY PLANNING COMMISSION.
**THIS SITE PLAN WILL REQUIRE APPROVAL UNDER SECTION 120-20 FOR MINIMUM LOT AREA.
***THIS SITE PLAN WILL REQUIRE APPROVAL UNDER SECTION 12-20 FOR MAXIMUM LOT COVERAGE.

- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.

UTILITY AND GRADING NOTES:

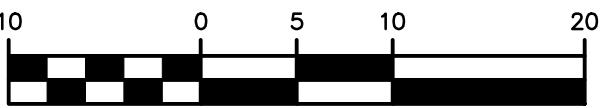
- BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY. NO RESTRICTION IS INTENDED AS TO SIZE OR LOCATION OTHER THAN APPLICABLE ZONING REQUIREMENTS.
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER, THE APPROPRIATE AGENCIES (IE, MONROE COUNTY PURE WATERS, AND THE MONROE COUNTY HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
- THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
- EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, A FIELD SURVEY NEEDS TO BE COMPLETED AND THE CONTRACTOR SHALL CALL THE UPPO HOTLINE AT 1(800)962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
- ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS.
WATER: 1.5 INCH PE #4710 FROM THE CURB BOX TO THE METER, WITH TRACER WIRE.
SEWER: 6" PVC SDR-21 COMBINED SANITARY AND STORM SEWER LATERAL
EXTEND LATERALS TO 10 FEET BEYOND THE RIGHT-OF-WAY, OR 10 FEET BEYOND THE EASEMENT LINES, WHICHEVER IS GREATER.
- CONTRACTOR TO PERFORM EXPLORATORY EXCAVATIONS TO LOCATE EXISTING SANITARY SEWER LATERALS AS NECESSARY. IF EXISTING SANITARY LATERALS ARE LOCATED THE CONTRACTOR SHOULD REVIEW THE CONDITION OF THE EXISTING SANITARY SEWER LATERAL WITH THE DEVELOPER AND MCWP. IF A SANITARY LATERAL IS NOT FOUND, THE CONTRACTOR SHOULD INSTALL A NEW 6" PVC SEWER LATERAL AS SHOWN ON THE PLANS ACCORDING TO MCWP REQUIREMENTS.
- THE OWNER AND THE CONTRACTOR SHALL HAVE COMPLETE KNOWLEDGE OF THE CURRENT BLASTING POLICY FOR THE CITY OF ROCHESTER, AND THEY WILL CONFORM TO THIS POLICY AT ALL TIMES.
- THE HOME BUILDER SHALL BE RESPONSIBLE FOR IMPLEMENTING INDIVIDUAL LOT EROSION CONTROL MEASURES FOR INDIVIDUAL HOUSE CONSTRUCTION. THE MEASURES ARE TO BE REMAIN IN PLACE UNTIL HOUSE CONSTRUCTION IS COMPLETE AND THE LAWN IS ESTABLISHED (SEE DETAIL SHEET 2355-27F).
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, 585-428-6848.
- A PERMIT FOR THE WATER SERVICE INSTALLATION IS TO BE OBTAINED BY A PLUMBER, LICENSED BY THE CITY OF ROCHESTER. A PERMIT MAY BE OBTAINED THROUGH THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, CITY HALL, 30 CHURCH STREET, ROOM 1218, 585-428-6848.
- APPROXIMATE BEDROCK ELEVATION IS 482.5 BASED ON FOUNDATION DESIGN, P.C.'S DECEMBER 2017 GEOTECHNICAL EVALUATION REPORT FOR THE PUEBLO NUEVO HOUSING.

SEE BME DRAWING NUMBER
2555-27F, 28F AND 29F
FOR STANDARD DETAILS

NOT APPROVED

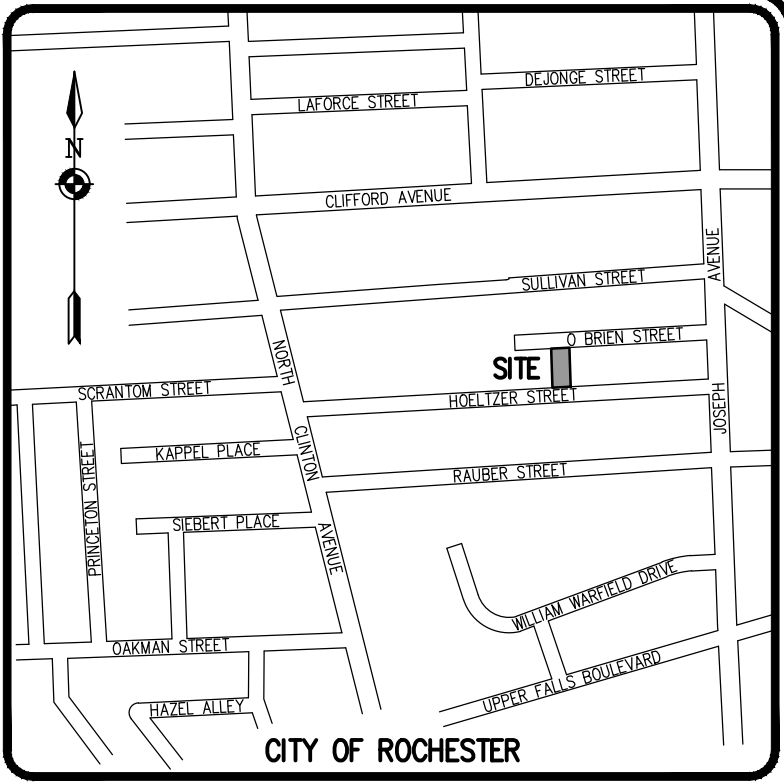
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

GRAPHIC SCALE



(IN FEET)

1 inch = 10 ft.



LOCATION MAP
NOT TO SCALE

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

REVISIONS	DATE	BY
1	8/14/18	RRG
2	4/12/18	RRG
3		
4		
5		
6		
7		

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIFT BRIDGE LANE EAST
ROCHESTER, NEW YORK 14650
WWW.BMEARCH.COM
PHONE 585-377-7360
FAX 585-377-7369



PUEBLO NUEVO HOUSING
FINAL
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
IBERO-MEXICAN DEVELOPMENT
30 CHURCH STREET
ROCHESTER, NY 14621
PLOT PLAN - SITE J
44-46 HOELTZER ST.

PROJECT	CLIENT	DRAWING TITLE
JL SWEDROCK	PROJECT ENGINEER	
FA SHELLEY	DRAWN BY	
RR GLITCH	DATE ISSUED	
SCALE	MARCH 2018	
PROJECT NO.		
DRAWING NO.	2555	13F

MCPW - ROCHESTER PURE WATERS DISTRICT SEWER NOTES:

- THIS PLAN REQUIRES APPROVAL AND ISSUANCE OF A PLUMBING PERMIT FROM THE CITY OF ROCHESTER PLUMBING DEPARTMENT.
- PRIOR TO CONSTRUCTION, A SEWER CONNECTION PERMIT MUST BE OBTAINED FROM THE MONROE COUNTY PURE WATERS (MCPW) PERMIT OFFICE AT 145 PAUL ROAD, BUILDING 11, ROCHESTER, NY 14624, PHONE # 753-7600 (OPT. 5).
- SEWER CONNECTION PERMIT(S) CAN ONLY BE ISSUED TO A PLUMBER LICENSED IN THE CITY OF ROCHESTER AND WHO IS FULLY INSURED AND BONDED IN THE ROCHESTER PURE WATERS DISTRICT (RPWD). PAYMENT (CHECK OR MONEY ORDER TO RPWD) OF ALL APPLICABLE PERMIT FEES MUST BE PAID PRIOR TO PERMIT ISSUANCE.
- THE RPWD SHALL BE NOTIFIED FORTY-EIGHT HOURS IN ADVANCE OF A CONNECTION OR TAP. [753-7600 (OPT. 5)]. THE CONTRACTOR SHALL MAKE ALL REQUIRED TAPS TO THE RPWD SEWERS. ALL TAPS AND CONNECTIONS TO DISTRICT UTILITIES MUST BE WITNESSED BY A DISTRICT INSPECTOR.
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- CLEANOUTS SHALL BE INSTALLED ON ALL 4" AND 6" DIAMETER SEWER LATERALS AT THE RIGHT-OF-WAY (ROW) LINE, OR THE SEWER EASEMENT LINE WHERE APPLICABLE. (THE SEWER EASEMENT, RIGHT-OF-WAY AND/OR PROPERTY LINE MUST BE STAKED OUT PRIOR TO INSTALLATION OF LOT LINE CLEANOUTS TO ENSURE PROPER LOCATION OF THE CLEANOUTS. [REFER TO CLEANOUT DETAIL FOR PROPER INSTALLATION]).
- IF AN EXISTING LATERAL IS TO BE UTILIZED, THE PLUMBER/CONTRACTOR MUST ENSURE THAT THE LATERAL IS IN GOOD CONDITION AND IS FREE OF DEBRIS (DIRT, MUD, STONE, ROOTS, ETC.) VIA A VIDEO TAPED INSPECTION PERFORMED BY THE PLUMBER/CONTRACTOR OR HIS/HER/HER AGENT. PRIOR TO CONNECTION, THE VIDEO TAPED INSPECTION OF THE EXISTING LATERAL MUST BE PRESENTED TO THE DISTRICT FOR REVIEW AND APPROVAL TO UTILIZE AN EXISTING LATERAL. IT IS THE RESPONSIBILITY OF THE BUILDER OR THEIR AGENT TO CLEAN AND/OR REPLACE THE PIPE/LATERAL AS NEEDED.
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- ALL EXISTING AND/OR PROPOSED EASEMENTS AND/OR RIGHT-OF-WAYS (ROW) ARE TO BE STAKED OUT IN THE FIELD BY AN ENGINEER/SURVEYOR PRIOR TO THE START OF ANY SITE CONSTRUCTION/EXCAVATION AND MAINTAINED DURING COURSE OF THE PROJECT TO ENSURE THE PURE WATERS LOT LINE CLEAN OUTS ON THE BUILDING LATERALS ARE PROPERLY PLACED AND THAT NO PERMANENT AND/OR NONPERMANENT STRUCTURES ARE INSTALLED WITHIN EASEMENTS AND/OR ROW. IT IS THE OWNER'S OR THEIR AGENT'S RESPONSIBILITY TO STAKE OUT ALL EASEMENTS. THIS WILL NOT BE THE RESPONSIBILITY OF THE RPWD.

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- A PLAN ENTITLED "MAP SHOWING LANDS OWNED BY JOHN RAAB & FERDINAND TEUTE," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 10 OF MAPS, PAGE 118.
- CITY OF ROCHESTER DISTRICT 14, MAP 17 & 18.
- A PLAN ENTITLED "RESUBDIVISION MAP, OF 6 & 8 HOELTZER STREET, BEING LOT 14 OF THE RAAB SUBDIVISION AND ADJACENT LANDS IN LOTS 13 & 14 OF THE LEE TRACT (EAST PART) FARM LOT 72, TOWNSHIP 13, RANGE 7," PREPARED BY THE CITY OF ROCHESTER DEPARTMENT OF ENVIRONMENTAL SERVICES, BUREAU OF ENGINEERING SERVICES, OFFICE OF MAPS & SURVEYS, HAVING PROJECT No. 94-063, DATED AUGUST 4, 1994.
- AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.
- A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT No. COR-217-21053, EFFECTIVE DATE MARCH 2, 2017.
- A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT No. COR-217-21053-(A), EFFECTIVE DATE JULY 7, 2017.
- FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY No. 360431, MAP No. 36055C0211G, EFFECTIVE DATE AUGUST 28, 2008.

SITE NOTES:

- EXISTING ZONING: R-2 (PROJECT AREA WAS REZONED ON 12/20/17 BY THE COUNCIL OF THE CITY OF ROCHESTER)
- TOTAL EXISTING LOT AREA IS ± 10,950 S.F. (±0.25 ACRES) (60-64 HOELTZER STREET)
- PROPOSED USE: TWO STORY -THREE FAMILY HOUSE (3 UNITS)*
- LOT DIMENSIONS ARE AS FOLLOWS:

	REQUIRED (MULTIFAMILY)	PROPOSED
MIN. LOT AREA	3,000 SF/UNIT	3,650 SF/UNIT (10,950 SF TOTAL)
MIN. LOT FRONTAGE	N/A	80.45'
SETBACKS		
FRONT YARD	AVG. BLOCK BLDG. DEPTH	AVG. BLOCK BLDG. DEPTH
SIDE YARD	5' MIN	25'
REAR YARD	15' TOTAL	15' TOTAL
	20' OR EXISTING	>20'
MAX. BLDG. HEIGHT	2.5 STORIES/35'	2 STORIES/28'
MAX. BLDG. COVERAGE	35%	19%
MAX. LOT COVERAGE	50%	34%
PARKING	(2) 1BR UNITS - 2 SPACES (1) 3BR UNIT - 1.5 SPACES 3 REQUIRED SPACES	3 SPACES

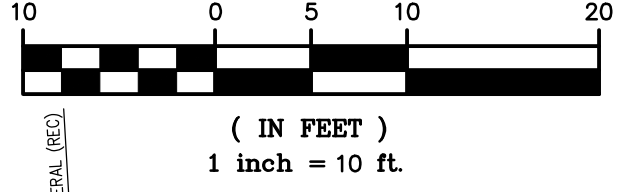
*THIS PROJECT WILL REQUIRE A SPECIAL PERMIT AND SITE PLAN REVIEW/APPROVAL FROM THE CITY PLANNING COMMISSION.

- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.

UTILITY AND GRADING NOTES:

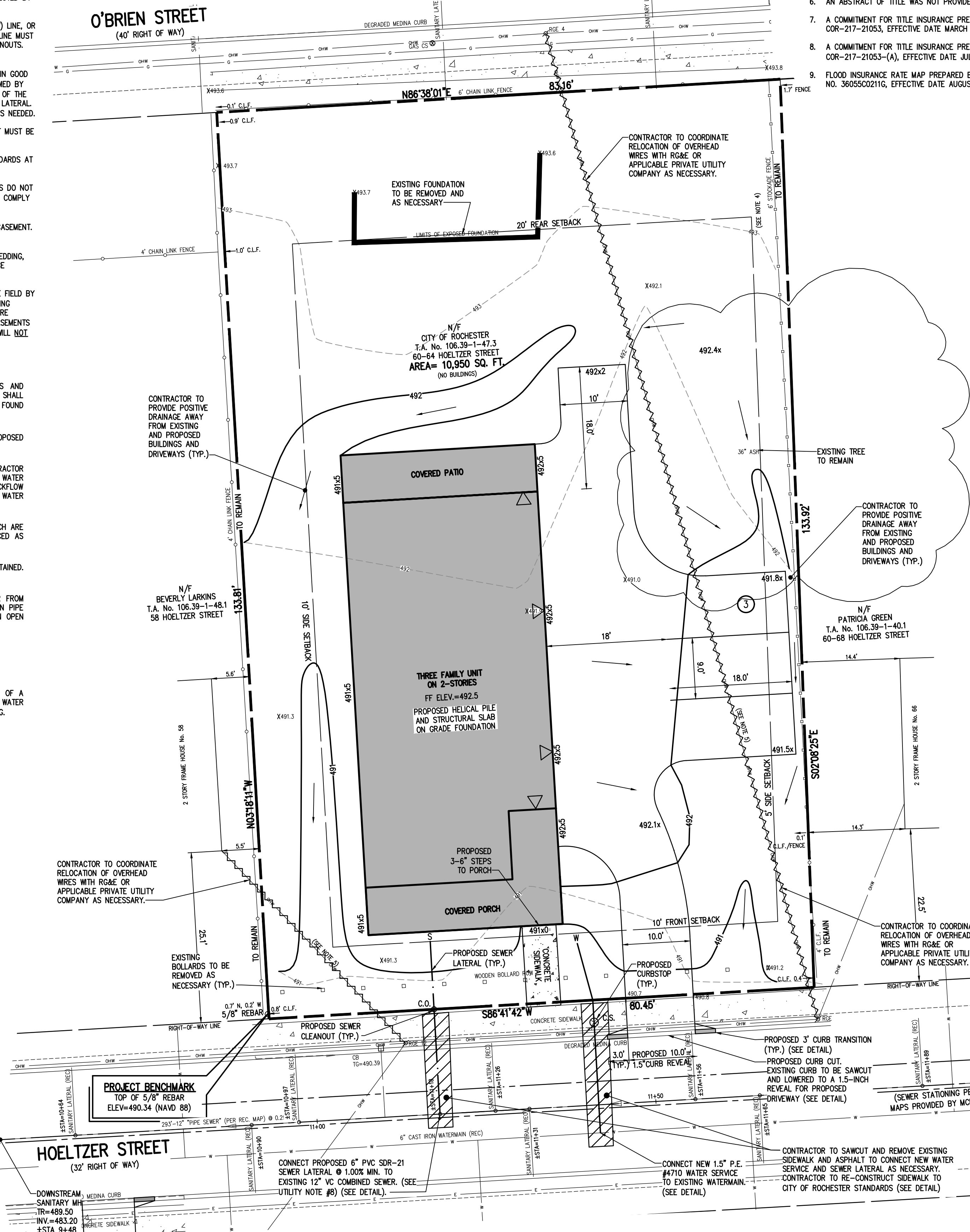
- BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY. NO RESTRICTION IS INTENDED AS TO SIZE OR LOCATION OTHER THAN APPLICABLE ZONING REQUIREMENTS.
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER, THE APPROPRIATE AGENCIES (IE, MONROE COUNTY PURE WATERS, AND THE MONROE COUNTY HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
- THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
- EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, A FIELD SURVEY NEEDS TO BE COMPLETED AND THE CONTRACTOR SHALL CALL THE UFPO HOTLINE AT 1(800)962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
- ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS.
WATER: 1.5 INCH PE #4710 FROM THE CURB BOX TO THE METER, WITH TRACER WIRE.
SEWER: 6" PVC SDR-21 COMBINED SANITARY AND STORM SEWER LATERAL
EXTEND LATERALS TO 10 FEET BEYOND THE RIGHT-OF-WAY, OR 10 FEET BEYOND THE EASEMENT LINES, WHICHEVER IS GREATER.
- CONTRACTOR TO PERFORM EXPLORATORY EXCAVATIONS TO LOCATE EXISTING SANITARY SEWER LATERALS AS NECESSARY. IF EXISTING SANITARY LATERALS ARE LOCATED THE CONTRACTOR SHOULD REVIEW THE CONDITION OF THE EXISTING SANITARY SEWER LATERAL WITH THE DEVELOPER AND MCPW. IF A SANITARY LATERAL IS NOT FOUND, THE CONTRACTOR SHOULD INSTALL A NEW 6" PVC SEWER LATERAL AS SHOWN ON THE PLANS ACCORDING TO MCPW REQUIREMENTS.
- THE OWNER AND THE CONTRACTOR SHALL HAVE COMPLETE KNOWLEDGE OF THE CURRENT BLASTING POLICY FOR THE CITY OF ROCHESTER, AND THEY WILL CONFORM TO THIS POLICY AT ALL TIMES.
- THE HOME BUILDER SHALL BE RESPONSIBLE FOR IMPLEMENTING INDIVIDUAL LOT EROSION CONTROL MEASURES FOR INDIVIDUAL HOUSE CONSTRUCTION. THE MEASURES ARE TO REMAIN IN PLACE UNTIL HOUSE CONSTRUCTION IS COMPLETE AND THE LAWN IS ESTABLISHED (SEE DETAIL SHEET 2555-27F).
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, 585-428-6848.
- A PERMIT FOR THE WATER SERVICE INSTALLATION IS TO BE OBTAINED BY A PLUMBER, LICENSED BY THE CITY OF ROCHESTER. A PERMIT MAY BE OBTAINED THROUGH THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, CITY HALL, 30 CHURCH STREET, ROOM 1218, 585-428-6848.
- APPROXIMATE BEDROCK ELEVATION IS 482.0 BASED ON FOUNDATION DESIGN, P.C.'S DECEMBER 2017 GEOTECHNICAL EVALUATION REPORT FOR THE PUEBLO NUEVO HOUSING.
- PARCEL K HAS BEEN IDENTIFIED WITH POTENTIAL SOIL CONTAMINATION. HOUSE TO BE CONSTRUCTED WITH HELICAL PILES AND A STRUCTURAL SLAB ON GRADE

GRAPHIC SCALE



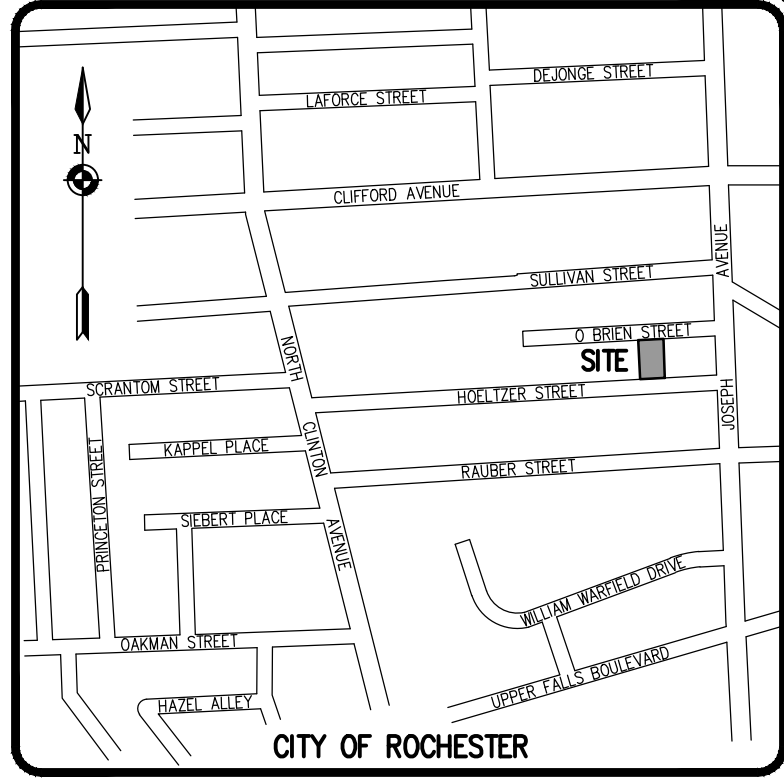
SEE BME DRAWING NUMBER
2555-27F, 28F AND 29F
FOR STANDARD DETAILS

ROCHESTER PURE WATERS DISTRICT:



NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.



LOCATION MAP
NOT TO SCALE

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

REVISIONS	DATE	BY
1	4/12/18	RG
2	8/14/18	RG
3		
4		
5		
6		
7		

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PHONE: 585-377-7360
FAX: 585-377-7369



PUEBLO NUEVO HOUSING
FINAL
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
IBERO MEDICAL DEVELOPMENT
CORPORATION
ROCHESTER, NY 14621
PROJECT LOCATION CLIENT
PLOT PLAN - SITE K
60-64 HOELTZER ST.

PROJECT MANAGER
JL SWEDROCK
PROJECT ENGINEER
FA SHELLEY
DRAWN BY
RR GLITCH
SCALE
1"=10'
DATE ISSUED
MARCH 2018
PROJECT NO.
2555
DRAWING NO.
14F

MCPW – ROCHESTER PURE WATERS DISTRICT SEWER NOTES:

- THIS PLAN REQUIRES APPROVAL AND ISSUANCE OF A PLUMBING PERMIT FROM THE CITY OF ROCHESTER PLUMBING DEPARTMENT.
- PRIOR TO CONSTRUCTION, A SEWER CONNECTION PERMIT MUST BE OBTAINED FROM THE MONROE COUNTY PURE WATERS (MCPW) PERMIT OFFICE AT 145 PAUL ROAD, BUILDING 11, ROCHESTER, NY 14624, PHONE # 753-7600 (OPT. 5).
- SEWER CONNECTION PERMIT(S) CAN ONLY BE ISSUED TO A PLUMBER LICENSED IN THE CITY OF ROCHESTER AND WHO IS FULLY INSURED AND BONDED IN THE ROCHESTER PURE WATERS DISTRICT (RPWD). PAYMENT (CHECK OR MONEY ORDER TO "RPWD") OF ALL APPLICABLE PERMIT FEES MUST BE PAID PRIOR TO PERMIT ISSUANCE.
- THE RPWD SHALL BE NOTIFIED FORTY-EIGHT HOURS IN ADVANCE OF A CONNECTION OR TAP. [753-7600 (OPT. 5)]. THE CONTRACTOR SHALL MAKE ALL REQUIRED TAPS TO THE RPWD SEWERS. ALL TAPS AND CONNECTIONS TO DISTRICT UTILITIES MUST BE WITNESSED BY A DISTRICT INSPECTOR.
- SANITARY/STORM/COMBINATION SEWER LATERAL(S) AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE ROCHESTER PURE WATERS DISTRICT. ALL NEW CONNECTIONS SHALL BE INSPECTED BY A REPRESENTATIVE OF THE DISTRICT.
- CLEANOUTS SHALL BE INSTALLED ON ALL 4" AND 6" DIAMETER SEWER LATERALS AT THE RIGHT-OF-WAY (ROW) LINE, OR THE SEWER EASEMENT LINE WHERE APPLICABLE. (THE SEWER EASEMENT, RIGHT-OF-WAY AND/OR PROPERTY LINE MUST BE STAKED OUT PRIOR TO INSTALLATION OF LOT LINE CLEANOUTS TO ENSURE PROPER LOCATION OF THE CLEANOUTS. [REFER TO CLEANOUT DETAIL FOR PROPER INSTALLATION]).
- IF AN EXISTING LATERAL IS TO BE UTILIZED, THE PLUMBER/CONTRACTOR MUST ENSURE THAT THE LATERAL IS IN GOOD CONDITION AND IS FREE OF DEBRIS (DIRT, MUD, STONE, ROOTS, ETC.) VIA A VIDEO TAPED INSPECTION PERFORMED BY THE PLUMBER/CONTRACTOR OR HIS/HER/THEIR AGENT. PRIOR TO CONNECTION, THE VIDEO TAPED INSPECTION OF THE EXISTING LATERAL MUST BE PRESENTED TO THE DISTRICT FOR REVIEW AND APPROVAL TO UTILIZE AN EXISTING LATERAL. IT IS THE RESPONSIBILITY OF THE BUILDER OR THEIR AGENT TO CLEAN AND/OR REPLACE THE PIPE/LATERAL AS NEEDED.
- ANY NEW PORTION OF A SEWER LATERAL INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY AND SEWER EASEMENT MUST BE SDR-21 PVC.
- ANY EXISTING LATERALS NOT UTILIZED MUST BE ABANDONED TO MONROE COUNTY PURE WATERS (MCPW) STANDARDS AT THE PROPERTY LINE OR, WHERE APPLICABLE, THE SEWER EASEMENT LINE.
- FLOOR DRAINS IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR MONROE COUNTY SEWER USE LAW.
- ANY PORTION OF A SEWER/LATERAL WITH LESS THAN FOUR-FEET (4') OF COVER WILL REQUIRE CONCRETE ENCASEMENT. SEWERS/LATERALS WITH LESS THAN THREE-FEET (3') OF COVER ARE NOT ALLOWED.
- THE REQUIREMENTS OF THE HIGHWAY/PROPERTY OWNER SHALL BE ADHERED TO FOR ITEMS ABOVE THE PIPE BEDDING, INCLUDING, BUT NOT LIMITED TO, MAINTENANCE AND PROTECTION OF TRAFFIC, BACKFILL MATERIAL AND SURFACE RESTORATION.
- ALL EXISTING AND/OR PROPOSED EASEMENTS AND/OR RIGHT-OF-WAYS (ROW) ARE TO BE STAKED OUT IN THE FIELD BY AN ENGINEER/SURVEYOR PRIOR TO THE START OF ANY SITE CONSTRUCTION/EXCAVATION AND MAINTAINED DURING COURSE OF THE PROJECT TO ENSURE THE PURE WATERS LOT LINE CLEAN OUTS ON THE BUILDING LATERALS ARE PROPERLY PLACED AND THAT NO PERMANENT AND/OR NONPERMANENT STRUCTURES ARE INSTALLED WITHIN EASEMENTS AND/OR ROW. IT IS THE OWNER'S OR THEIR AGENT'S RESPONSIBILITY TO STAKE OUT ALL EASEMENTS. THIS WILL NOT BE THE RESPONSIBILITY OF THE RPWD.

LEGEND

	BOUNDARY LINE
	PROPOSED LOT LINE
	CENTERLINE
	SETBACK LINE
	ADJOINER LINE
	EDGE OF PAVEMENT LINE
	EXISTING EASEMENT LINE
	EX. WATERMAIN, HYDRANT AND VALVE
	EXISTING STORM SEWER, AND MANHOLE
	PROPOSED STORM SEWER, MANHOLE AND INLET
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER AND MANHOLE
	EXISTING TREELINE
	PROPOSED TREE LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED FINISHED GRADE
	PROPERTY MARKER FOUND
	CONCRETE HIGHWAY MONUMENT FOUND
	EXISTING HYDRANT AND VALVE
	EXISTING CATCH BASIN
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING UTILITY POLE

RWB WATER MAIN AND SERVICE NOTES

- WATER MAINS AND APPURTENANCES TO BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE ROCHESTER WATER BUREAU. ALL PIPE PRODUCTS, FITTINGS AND ACCESSORIES SHALL CONFORM TO THE LATEST ROCHESTER WATER BUREAU (RWB) APPROVED PRODUCTS LIST WHICH CAN BE FOUND ON THE CITY WEB SITE: [HTTP://WWW.CITYOFROCHESTER.GOV/WATERDOCUMENTS/](http://www.cityofrochester.gov/waterdocuments/).
- ALL NEW WATER MAINS AND SERVICES SHALL BE INSTALLED WITH A MINIMUM COVER DEPTH FROM PROPOSED FINISHED GRADE OF 4.5 FEET FOR DOMESTIC MAINS AND 5.0 FEET FOR HOLLY MAINS.
- THE ROCHESTER WATER BUREAU REQUIRES THAT A HYDRANT USE PERMIT BE OBTAINED BY THE CONTRACTOR PRIOR TO USING ANY HYDRANT AS A SOURCE OF WATER SUPPLY. THE PERMIT REQUIRES THE USE OF A WATER METER AND A BACKFLOW PREVENTER. THE WATER BUREAU WILL SUPPLY A WATER METER AND BACKFLOW PREVENTER WITH THE PERMIT. THE PERMIT FEE INCLUDES A REFUNDABLE DEPOSIT FOR THE USE OF THE WATER METER AND BACKFLOW PREVENTER.
- FOR EXISTING VALVES AND CURB STOPS THAT ARE LOCATED ON WATER MAIN AND WATER SERVICES WHICH ARE TO BE RETAINED, THE EXISTING VALVE AND CURB BOXES SHALL BE ADJUSTED TO GRADE OR REPLACED AS SHOWN ON THE PLANS OR DIRECTED BY THE PROJECT MANAGER.
- THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING NEAR WATER MAINS WHICH ARE TO BE RETAINED. NO VIBRATORY EQUIPMENT IS TO BE USED OVER OR ADJACENT TO EXISTING WATER MAINS.
- APPROPRIATE MEASURES SHALL BE TAKEN TO PREVENT DIRT, DEBRIS, SURFACE AND GROUND WATER FROM CONTAMINATING THE WATER MAIN AND WATER SERVICE. THE WATER LEVEL IN THE EXCAVATION AT OPEN PIPE ENDS SHALL NEVER BE LESS THAN 12 INCHES BELOW THE INVERT OF THE WATER MAIN. WHENEVER AN OPEN PIPE END IS LEFT UNATTENDED, IT SHALL BE COVERED IN A WATER TIGHT MANNER.
- STAINLESS STEEL INSERTS ARE REQUIRED ON ALL POLYETHYLENE (PE) SERVICE FITTINGS.
- TRACER WIRE IS REQUIRED ON ALL BURIED NON-METALLIC WATER MAINS AND WATER SERVICES.
- A PRECONSTRUCTION MEETING IS REQUIRED WITH THE ROCHESTER WATER BUREAU AFTER THE ISSUING OF A PERMIT, BUT BEFORE CONSTRUCTION OF THE WATER MAIN OR SERVICE BEGINS. CONTACT THE ROCHESTER WATER BUREAU AT (585) 428-7500 AND REQUEST TO SPEAK TO WATER ENGINEERING TO SCHEDULE THE MEETING.

REFERENCES:

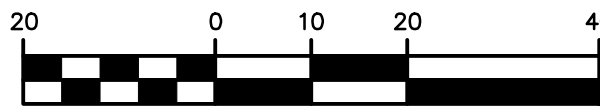
- A PLAN ENTITLED "SUBDIVISION OF LOT 24 IN THE LEE TRACT," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 2 OF MAPS, PAGE 88.
- A PLAN ENTITLED "MAP OF ELIZABETH E. SIEBERT'S SUBDIVISION OF PART OF LOT No. 22 OF THE LEE TRACT," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 5 OF MAPS, PAGE 73
- A PLAN ENTITLED "MAP OF A SUBDIVISION OF PART OF LOT No. TWENTY THREE OF THE LEE TRACT," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 11 OF MAPS, PAGE 8.
- A PLAN ENTITLED "AMENDED MAP OF SIEBERT'S SUBDIVISION OF PART OF LOT 22 OF THE LEE TRACT," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 26 OF MAPS, PAGE 2.
- CITY OF ROCHESTER DISTRICT 12, MAP 20.
- AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.
- A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT No. COR-217-21053, EFFECTIVE DATE MARCH 2, 2017.
- A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT No. COR-217-21053-(A), EFFECTIVE DATE JULY 7, 2017.
- FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY NO. 360431, MAP NO. 36055C02116, EFFECTIVE DATE AUGUST 28, 2008.

NOTES:

- CURRENT ZONING CLASSIFICATION: R-2
- PARCELS LIE WITHIN ZONE X PER REFERENCE 9.
- NO WETLAND DELINEATION MARKERS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE 5' CHAIN LINK FENCE NEAR THE SOUTHWESTERLY BOUNDARY CORNER AS SHOWN HEREON.
- BOUNDARY CORNERS WERE NOT SET IN THE PROCESS OF CONDUCTING THE FIELDWORK. EXTERIOR BOUNDARY CORNERS OF "SITE R" WILL BE SET WITH CAPPED 5/8" REBAR PRIOR TO ISSUANCE OF FINAL SURVEY MAPS.
- THE BEARING BASE SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD '83), WESTERN ZONE.

SEE BME DRAWING NUMBER
2555-27F, 28F AND 29F
FOR STANDARD DETAILS

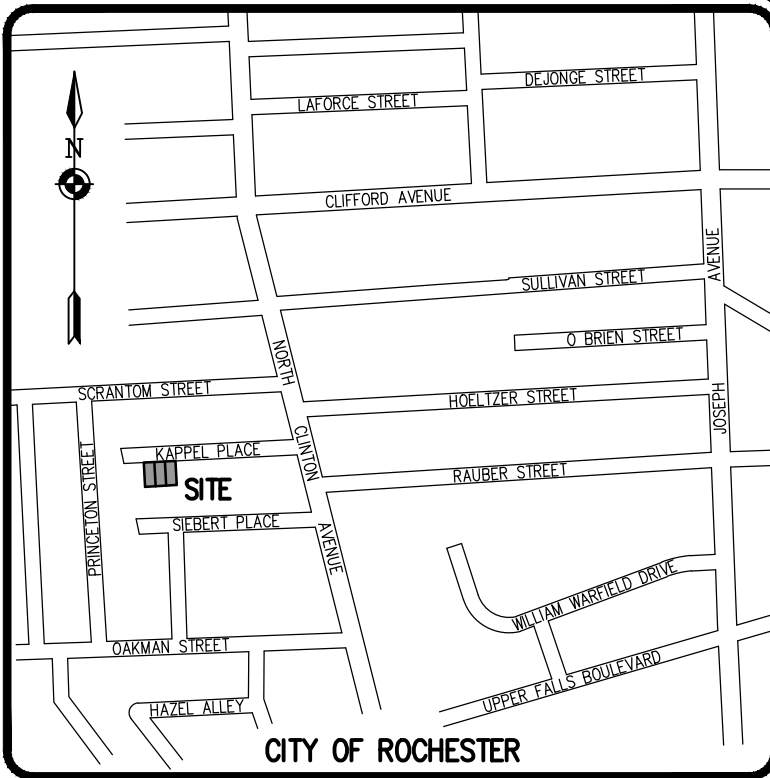
GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

NOT APPROVED

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LOCATION MAP
NOT TO SCALE

SITE NOTES:

- EXISTING ZONING: R-2 (PROJECT AREA WAS REZONED ON 12/20/17 BY THE COUNCIL OF THE CITY OF ROCHESTER)
- TOTAL PROPOSED LOT AREA IS $\pm 10,008$ S.F. (± 0.230 ACRES)
19 KAPPEL PLACE = 2,927 SF
21 KAPPEL PLACE = 2,932 SF (1,903 SF TO BE SUBDIVIDED AT SITE R)
769-771 NORTH CLINTON AVENUE = 23,367 SF (5178 SF TO BE SUBDIVIDED AT SITE R)

PROPOSED USE: TWO STORY -THREE FAMILY HOUSE (3 UNITS) *

LOT DIMENSIONS ARE AS FOLLOWS:

	REQUIRED (MULTIFAMILY)	PROPOSED
MIN. LOT AREA	3,000 SF/UNIT	
MIN. LOT FRONTAGE	N/A	$\pm 59'$
SETBACKS:		
FRONT YARD	AVG. BLDG. DEPTH OR 20'	AVG. BLDG. DEPTH
SIDE YARD	5' MIN	25'
REAR YARD	15' TOTAL	15' TOTAL
	20' OR EXISTING	>20'
MAX. BLDG. HEIGHT	2.5 STORIES/35'	2 STORIES/ $\pm 29'$
MAX. BLDG. COVERAGE	35%	22%
MAX. LOT COVERAGE	50%	47%
PARKING	(2) 1BR UNITS - 2 SPACES (1) 3BR UNIT - 1.5 SPACES	3 SPACES

*THIS PROJECT WILL REQUIRE A SPECIAL PERMIT AND SITE PLAN REVIEW/APPROVAL FROM THE CITY PLANNING COMMISSION.

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- THE EXISTING PARCELS NEED TO BE ADMINISTRATIVELY RE-SUBDIVIDED INTO ONE LOT BY THE CITY OF ROCHESTER.

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ROCHESTER PURE WATERS DISTRICT:

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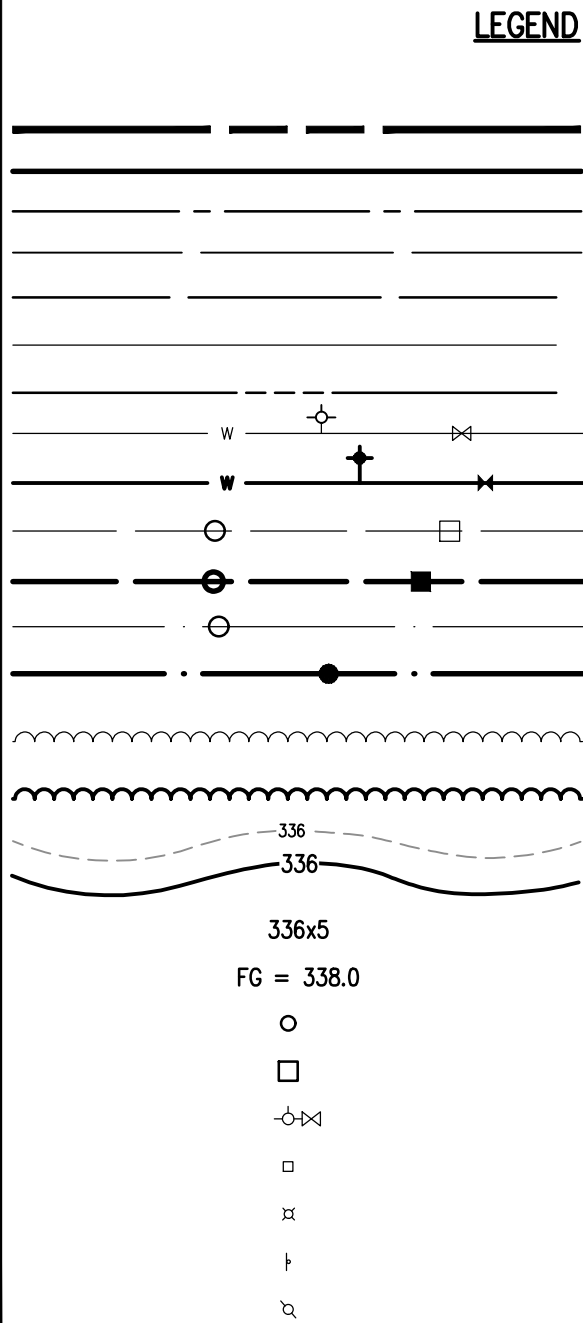
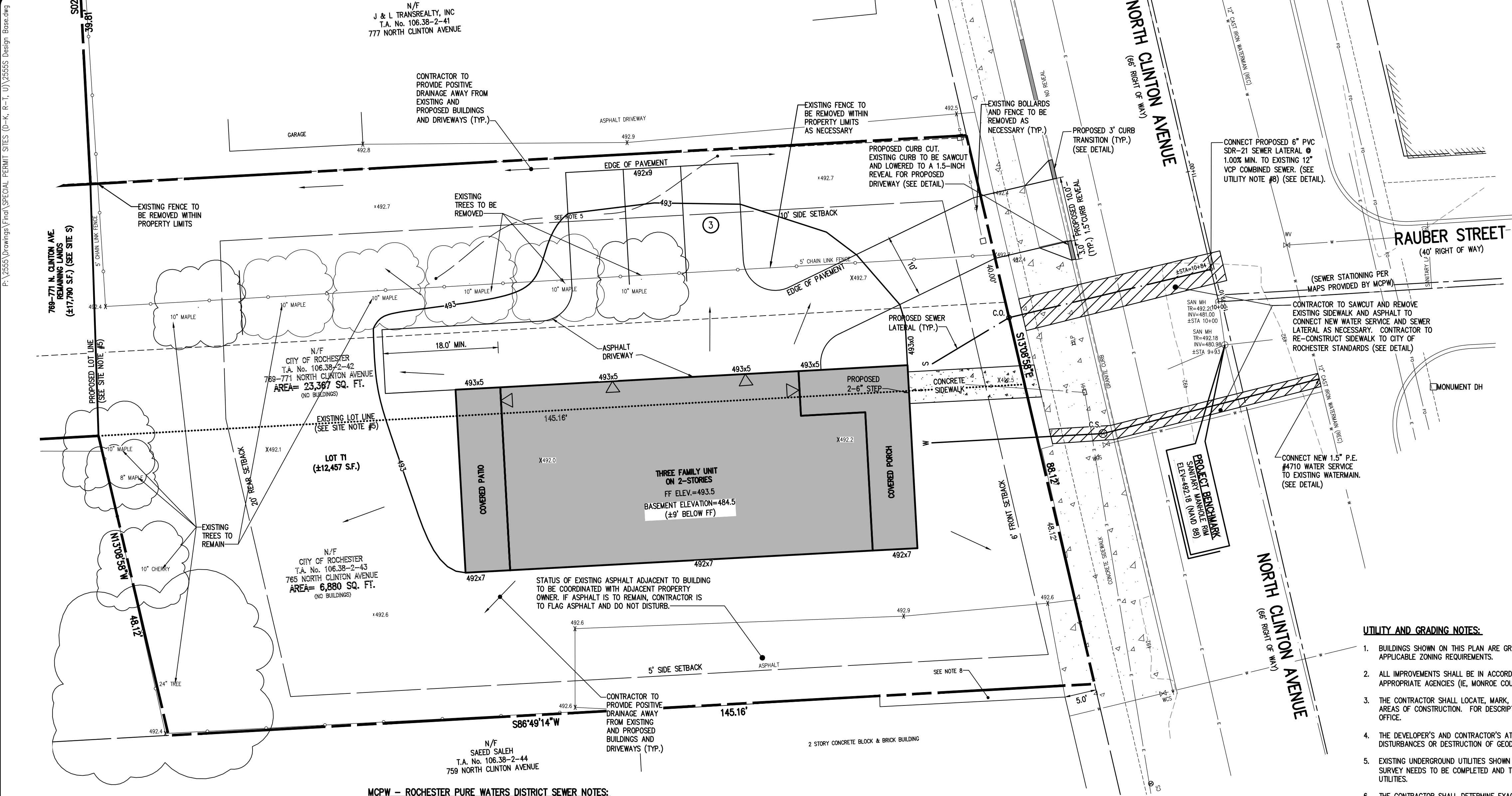
REVISIONS	DATE	BY
1	4/12/18	FAS
2	8/14/18	RRG
3	REVISED PER QTY OF ROCHESTER COMMENTS	
4	REVISED PER CODE REVIEW	

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ROCHESTER, NY 14609
PHONE 585-577-7360
FAX 585-577-7369
WWW.BMEACC.COM



PUEBLO NUEVO HOUSING
FINAL
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
IBERO AMERICA DEVELOPMENT
CORPORATION
ROCHESTER, NY 14621
PROJECT LOCATION CLIENT
DRAWING TITLE
PLOT PLAN - SITE R
19 KAPPEL PLACE, & 21 KAPPEL PLACE

PROJECT MANAGER
JL SWEDROCK
PROJECT ENGINEER
FA SHELLEY
DRAWN BY
Z GREGG
SCALE
1"=20'
DATE ISSUED
MARCH 2018
PROJECT NO.
2555
DRAWING NO.
21F



N/F
J & L TRANSREALTY, INC
T.A. No. 106.38-2-41
777 NORTH CLINTON AVENUE

N/F
CITY OF ROCHESTER
T.A. No. 106.38-2-42
769-771 NORTH CLINTON AVENUE
AREA= 23,367 SQ. FT.
(NO BUILDINGS)

N/F
CITY OF ROCHESTER
T.A. No. 106.38-2-43
765 NORTH CLINTON AVENUE
AREA= 6,880 SQ. FT.
(NO BUILDINGS)

N/F
SAEED SALEH
T.A. No. 106.38-2-44
759 NORTH CLINTON AVENUE

MCPW - ROCHESTER PURE WATERS DISTRICT SEWER NOTES:

- THIS PLAN REQUIRES APPROVAL AND ISSUANCE OF A PLUMBING PERMIT FROM THE CITY OF ROCHESTER PLUMBING DEPARTMENT.
- PRIOR TO CONSTRUCTION, A SEWER CONNECTION PERMIT MUST BE OBTAINED FROM THE MONROE COUNTY PURE WATERS (MCPW) PERMIT OFFICE AT 145 PAUL ROAD, BUILDING 11, ROCHESTER, NY 14624, PHONE # 753-7600 (OPT. 5).
- SEWER CONNECTION PERMIT(S) CAN ONLY BE ISSUED TO A PLUMBER LICENSED IN THE CITY OF ROCHESTER AND WHO IS FULLY INSURED AND BONDED IN THE ROCHESTER PURE WATERS DISTRICT (RPWD). PAYMENT (CHECK OR MONEY ORDER TO RPWD) OF ALL APPLICABLE PERMIT FEES MUST BE PAID PRIOR TO PERMIT ISSUANCE.
- THE RPWD SHALL BE NOTIFIED FORTY-EIGHT HOURS IN ADVANCE OF A CONNECTION OR TAP. [753-7600 (OPT. 5)]. THE CONTRACTOR SHALL MAKE ALL REQUIRED TAPS TO THE RPWD SEWERS. ALL TAPS AND CONNECTIONS TO DISTRICT UTILITIES MUST BE WITNESSED BY A DISTRICT INSPECTOR.
- SANITARY/STORM/COMBINATION SEWER LATERAL(S) AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE ROCHESTER PURE WATERS DISTRICT. ALL NEW CONNECTIONS SHALL BE INSPECTED BY A REPRESENTATIVE OF THE DISTRICT.
- CLEANOUTS SHALL BE INSTALLED ON ALL 4" AND 6" DIAMETER SEWER LATERALS AT THE RIGHT-OF-WAY (ROW) LINE, OR THE SEWER EASEMENT LINE WHERE APPLICABLE. (THE SEWER EASEMENT, RIGHT-OF-WAY AND/OR PROPERTY LINE MUST BE STAKED OUT PRIOR TO INSTALLATION OF LOT LINE CLEANOUTS TO ENSURE PROPER LOCATION OF THE CLEANOUTS. [REFER TO CLEANOUT DETAIL FOR PROPER INSTALLATION]).
- IF AN EXISTING LATERAL IS TO BE UTILIZED, THE PLUMBER/CONTRACTOR MUST ENSURE THAT THE LATERAL IS IN GOOD CONDITION AND IS FREE OF DEBRIS (DIRT, MUD, STONE, ROOTS, ETC.) VIA A VIDEO TAPED INSPECTION PERFORMED BY THE PLUMBER/CONTRACTOR OR HIS/HER/HER AGENT. PRIOR TO CONNECTION, THE VIDEO TAPED INSPECTION OF THE EXISTING LATERAL MUST BE PRESENTED TO THE DISTRICT FOR REVIEW AND APPROVAL TO UTILIZE AN EXISTING LATERAL. IT IS THE RESPONSIBILITY OF THE BUILDER OR THEIR AGENT TO CLEAN AND/OR REPLACE THE PIPE/LATERAL AS NEEDED.
- ANY NEW PORTION OF A SEWER LATERAL INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY AND SEWER EASEMENT MUST BE SDR-21 PVC.
- ANY EXISTING LATERALS NOT UTILIZED MUST BE ABANDONED TO MONROE COUNTY PURE WATERS (MCPW) STANDARDS AT THE PROPERTY LINE OR, WHERE APPLICABLE, THE SEWER EASEMENT LINE.
- FLOOR DRAINS IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR MONROE COUNTY SEWER USE LAW.
- ANY PORTION OF A SEWER/LATERAL WITH LESS THAN FOUR-FEET (4') OF COVER WILL REQUIRE CONCRETE ENCASMENT. SEWERS/LATERALS WITH LESS THAN THREE-FEET (3') OF COVER ARE NOT ALLOWED.
- THE REQUIREMENTS OF THE HIGHWAY/PROPERTY OWNER SHALL BE ADHERED TO FOR ITEMS ABOVE THE PIPE BEDDING, INCLUDING, BUT NOT LIMITED TO, MAINTENANCE AND PROTECTION OF TRAFFIC, BACKFILL MATERIAL AND SURFACE RESTORATION.
- ALL EXISTING AND/OR PROPOSED EASEMENTS AND/OR RIGHT-OF-WAYS (ROW) ARE TO BE STAKED OUT IN THE FIELD BY AN ENGINEER/SURVEYOR PRIOR TO THE START OF ANY SITE CONSTRUCTION/EXCAVATION AND MAINTAINED DURING COURSE OF THE PROJECT TO ENSURE THE PURE WATERS LOT LINE CLEAN OUTS ON THE BUILDING LATERALS ARE PROPERLY PLACED AND THAT NO PERMANENT AND/OR NONPERMANENT STRUCTURES ARE INSTALLED WITHIN EASEMENTS AND/OR ROW. IT IS THE OWNER'S OR THEIR AGENT'S RESPONSIBILITY TO STAKE OUT ALL EASEMENTS. THIS WILL NOT BE THE RESPONSIBILITY OF THE RPWD.

RWB WATER MAIN AND SERVICE NOTES

- WATER MAINS AND APPURTENANCES TO BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE ROCHESTER WATER BUREAU. ALL PIPE PRODUCTS, FITTINGS AND ACCESSORIES SHALL CONFORM TO THE LATEST ROCHESTER WATER BUREAU (RWB) APPROVED PRODUCTS LIST WHICH CAN BE FOUND ON THE CITY WEB SITE: [HTTP://WWW.CITYOFROCHESTER.GOV/WATERDOCUMENTS/](http://www.cityofrochester.gov/waterdocuments/).
- ALL NEW WATER MAINS AND SERVICES SHALL BE INSTALLED WITH A MINIMUM COVER DEPTH FROM PROPOSED FINISHED GRADE OF 4.5 FEET FOR DOMESTIC MAINS AND 5.0 FEET FOR HOLLY MAINS.
- THE ROCHESTER WATER BUREAU REQUIRES THAT A HYDRANT USE PERMIT BE OBTAINED BY THE CONTRACTOR PRIOR TO USING ANY HYDRANT AS A SOURCE OF WATER SUPPLY. THE PERMIT REQUIRES THE USE OF A WATER METER AND A BACKFLOW PREVENTER. THE WATER BUREAU WILL SUPPLY A WATER METER AND BACKFLOW PREVENTER WITH THE PERMIT. THE PERMIT FEE INCLUDES A REFUNDABLE DEPOSIT FOR THE USE OF THE WATER METER AND BACKFLOW PREVENTER.
- FOR EXISTING VALVES AND CURB STOPS THAT ARE LOCATED ON WATER MAIN AND WATER SERVICES WHICH ARE TO BE RETAINED, THE EXISTING VALVE AND CURB BOXES SHALL BE ADJUSTED TO GRADE OR REPLACED AS SHOWN ON THE PLANS OR DIRECTED BY THE PROJECT MANAGER.
- THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING NEAR WATER MAINS WHICH ARE TO BE RETAINED. NO VIBRATORY EQUIPMENT IS TO BE USED OVER OR ADJACENT TO EXISTING WATER MAINS.
- APPROPRIATE MEASURES SHALL BE TAKEN TO PREVENT DIRT, DEBRIS, SURFACE AND GROUND WATER FROM CONTAMINATING THE WATER MAIN AND WATER SERVICE. THE WATER LEVEL IN THE EXCAVATION AT OPEN PIPE ENDS SHALL NEVER BE LESS THAN 12 INCHES BELOW THE INVERT OF THE WATER MAIN. WHENEVER AN OPEN PIPE END IS LEFT UNATTENDED, IT SHALL BE COVERED IN A WATER TIGHT MANNER.
- STAINLESS STEEL INSERTS ARE REQUIRED ON ALL POLYETHYLENE (PE) SERVICE FITTINGS.
- TRACER WIRE IS REQUIRED ON ALL BURIED NON-METALLIC WATER MAINS AND WATER SERVICES.
- A PRECONSTRUCTION MEETING IS REQUIRED WITH THE ROCHESTER WATER BUREAU AFTER THE ISSUING OF A PERMIT, BUT BEFORE CONSTRUCTION OF THE WATER MAIN OR SERVICE BEGINS. CONTACT THE ROCHESTER WATER BUREAU AT (585) 428-7500 AND REQUEST TO SPEAK TO WATER ENGINEERING TO SCHEDULE THE MEETING.

SURVEY REFERENCES:

- A PLAN ENTITLED "MAP OF A SUBDIVISION OF PART OF LOT NO. TWENTY THREE OF THE LEE TRACT," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 11 OF MAPS, PAGE 8.
- CITY OF ROCHESTER DISTRICT 12, MAP 20.
- AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.
- A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT NO. COR-217-21053, EFFECTIVE DATE MARCH 2, 2017.
- A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT NO. COR-217-21053-(A), EFFECTIVE DATE JULY 7, 2017.
- FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY NO. 360431, MAP NO. 36055C02116, EFFECTIVE DATE AUGUST 28, 2008.

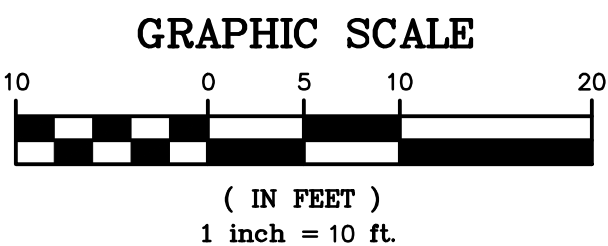
SURVEY NOTES:

- CURRENT ZONING CLASSIFICATION: R-2
- PARCELS LIE WITHIN ZONE X PER REFERENCE 6.
- NO WETLAND DELINEATION MARKERS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE 5' CHAIN LINK FENCE NEAR THE SOUTHERLY BOUNDARY LINE OF T.A. No. 106.38-2-40 AS SHOWN HEREON.
- PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE OVERHEAD WIRES CROSSING T.A. No. 106.38-2-40 AS SHOWN HEREON.
- PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE ASPHALT DRIVEWAY NEAR THE WESTERLY BOUNDARY LINE OF T.A. No. 106.38-2-36 AS SHOWN HEREON.
- BOUNDARY CORNERS WERE NOT SET IN THE PROCESS OF CONDUCTING THE FIELDWORK. EXTERIOR BOUNDARY CORNERS OF "SITE S" WILL BE SET WITH CAPPED 5/8" REBAR PRIOR TO ISSUANCE OF FINAL SURVEY MAPS.
- THE BEARING BASE SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD '83), WESTERN ZONE.

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

SEE BME DRAWING NUMBER
2555-27F, 28F AND 29F
FOR STANDARD DETAILS



SITE NOTES:

- EXISTING ZONING: R-2 (PROJECT AREA WAS REZONED ON 12/20/17 BY THE COUNCIL OF THE CITY OF ROCHESTER)
- TOTAL PROPOSED LOT AREA IS ± 12,444 S.F. (±0.286 ACRES) (LOT T1)
765 NORTH CLINTON AVENUE = 6,880 SF
769-771 NORTH CLINTON AVENUE = 23,367 SF (5,564 SF TO BE SUBDIVIDED AT SITE 1)
- PROPOSED USE: TWO STORY -THREE FAMILY HOUSE (3 UNITS) *
- LOT DIMENSIONS ARE AS FOLLOWS:

	REQUIRED (MULTIFAMILY)	PROPOSED (LOT T1)
MIN. LOT AREA	3,000 SF/UNIT	4,148 SF/UNIT (12,444 SF TOTAL)
MIN. LOT FRONTAGE	N/A	88.12'
SETBACKS		
FRONT YARD	AVG. BLDG. DEPTH OR 20'	AVG. BLDG. DEPTH
SIDE YARD	5' MIN	25'
REAR YARD	15' TOTAL	15' TOTAL
	20' OR EXISTING	>20'
MAX. BLDG. HEIGHT	2.5 STORIES/35'	2 STORIES/±28'
MAX. BLDG. COVERAGE	35%	16%
MAX. LOT COVERAGE	50%	30%
PARKING	(2) 1BR UNITS - 2 SPACES (1) 3BR UNIT - 1.5 SPACES 3 REQUIRED SPACES	3 SPACES

*THIS PROJECT WILL REQUIRE A SPECIAL PERMIT AND SITE PLAN REVIEW/APPROVAL FROM THE CITY PLANNING COMMISSION.

- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
- THE EXISTING PARCELS NEED TO BE ADMINISTRATIVELY RE-SUBDIVDED INTO ONE LOT BY THE CITY OF ROCHESTER.

UTILITY AND GRADING NOTES:

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- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
- THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
- EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, A FIELD SURVEY NEEDS TO BE COMPLETED AND THE CONTRACTOR SHALL CALL THE UFPO HOTLINE AT (800)962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
- ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS.

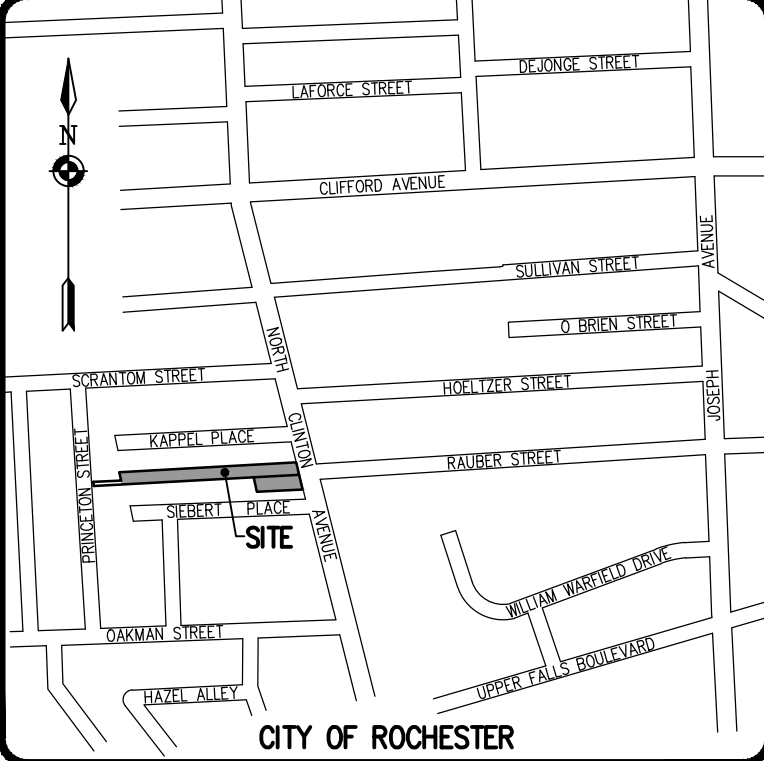
WATER: 1.5 INCH PE #4710 FROM THE CURB BOX TO THE METER, WITH TRACER WIRE.

SEWER: 6" PVC SDR-21 COMBINED SANITARY AND STORM SEWER LATERAL.

EXTEND LATERALS TO 10 FEET BEYOND THE RIGHT-OF-WAY, OR 10 FEET BEYOND THE EASEMENT LINES, WHICHEVER IS GREATER.

- CONTRACTOR TO PERFORM EXPLORATORY EXCAVATIONS TO LOCATE EXISTING SANITARY SEWER LATERALS AS NECESSARY. IF EXISTING SANITARY LATERALS ARE LOCATED THE CONTRACTOR SHOULD REVIEW THE LOCATION OF THE EXISTING SANITARY SEWER LATERAL WITH THE DEVELOPER AND MCPW. IF A SANITARY LATERAL IS NOT FOUND, THE CONTRACTOR SHOULD INSTALL A NEW 6" PVC SEWER LATERAL AS SHOWN ON THE PLANS ACCORDING TO MCPW REQUIREMENTS.
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- THE HOME BUILDER SHALL BE RESPONSIBLE FOR IMPLEMENTING INDIVIDUAL LOT EROSION CONTROL MEASURES FOR INDIVIDUAL HOUSE CONSTRUCTION. THE MEASURES ARE TO REMAIN IN PLACE UNTIL HOUSE CONSTRUCTION IS COMPLETE AND THE LAWN IS ESTABLISHED (SEE DETAIL SHEET 2555-27F).
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, 585-428-6848.
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- APPROXIMATE BEDROCK ELEVATION IS 483.0 BASED ON FOUNDATION DESIGN, P.C.'S DECEMBER 2017 GEOTECHNICAL EVALUATION REPORT FOR THE PUEBLO NUEVO HOUSING.
- 769-771 N. CLINTON PARCEL HAS BEEN IDENTIFIED WITH POTENTIAL SOIL CONTAMINATION.

ROCHESTER PURE WATERS DISTRICT:



LOCATION MAP

NOT TO SCALE

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ROCHESTER PURE WATERS DISTRICT:

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or a licensed professional engineer or land surveyor to alter any item in any way, if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

REVISIONS	DATE	BY
1	4/12/18	RRG
2	8/14/18	RRG
3	4/12/18	RRG
4	8/14/18	RRG
5	4/12/18	RRG
6	8/14/18	RRG
7	4/12/18	RRG

BME ASSOCIATES
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WWW.BME-CCON.COM



PUEBLO NUEVO HOUSING
FINAL
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
IBERO AMERICA DEVELOPMENT
CORPORATION
ROCHESTER, NY 14621
PROJECT LOCATION CLIENT
DRAWING TITLE
PLOT PLAN - SITE 1 (LOT T1)
765 NORTH CLINTON AVENUE

PROJECT MANAGER
JL SWEDROCK
PROJECT ENGINEER
FA SHELLEY
DRAWN BY
RR GLITCH
SCALE
1"=10'
DATE ISSUED
MARCH 2018
PROJECT NO.
2555
DRAWING NO.
23F

P:\2555\Drawings\Final\Special PERMIT SITES (D-R, R-T, U)\2555S Design Base.dwg

SURVEY REFERENCES:

1. A PLAN ENTITLED "MAP OF THE HUDSON STREET ASYLUM TRACT, BEING A SUBDIVISION OF THE SOUTH PART OF LOT NO. 45 IN THE TOWN OF IRONQUOIT, THE PROPERTY OF ST. JOSEPH'S ORPHAN ASYLUM ASSOCIATION," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 3 OF MAPS, PAGE 111.
2. A PLAN ENTITLED "RESUBDIVISION MAP OF LOTS 1, 4, PART 1 & OTHER LANDS OF THE HUDSON ST. ASYLUM TRACT," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 240 OF MAPS, PAGE 59.
3. LIBER 1149 OF APPROPRIATIONS, PAGE 1. (MAP 1, PARCEL 1)
4. CITY OF ROCHESTER DISTRICT 14, MAP 24.
5. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.
6. FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY NO. 360431, MAP NO. 36055C0211G, EFFECTIVE DATE AUGUST 28, 2008.

SURVEY NOTES:

1. CURRENT ZONING CLASSIFICATION: R-1
2. PARCELS LIE WITHIN ZONE X PER REFERENCE 6.
3. NO WETLAND DELINEATION MARKERS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
4. REFERENCE 2 INDICATES THERE MAY BE AN UNDERGROUND CONNECTION BETWEEN THE 3-1/2 STORY BUILDING SHOWN HEREON LEADING NORTH TO A MASONRY GARAGE THAT HAS BEEN RAZED. NO SURFACE EVIDENCE OF THIS ACCESS WAS RECOVERED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
5. PARCEL MAY BE SUBJECT TO A 10'X20' ACCESS EASEMENT PER REFERENCE 2. EASEMENT IS LOCATED AT THE NORTHWESTERLY BOUNDARY CORNER AS SHOWN HEREON.
6. THE 13 SQUARE FEET SHOWN HEREON NEAR THE SOUTHWESTERLY BOUNDARY CORNER WERE INCLUDED WITHIN LOT BR-1 PER REFERENCE 2. OUR RESEARCH INDICATES THIS AREA WAS APPROPRIATED BY THE STATE OF NEW YORK IN 1979 PER REFERENCE 3 AND PRIOR TO THE SUBDIVISION NOTED IN REFERENCE 2 BEING FILED.
7. PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE POLE LINE NEAR THE SOUTHERLY BOUNDARY LINE AS SHOWN HEREON.
8. BOUNDARY CORNERS WERE NOT SET IN THE PROCESS OF CONDUCTING THE FIELDWORK. EXTERIOR BOUNDARY CORNERS OF "SITE U" WILL BE SET WITH CAPPED 5/8" REBAR PRIOR TO ISSUANCE OF FINAL SURVEY MAPS.
9. THE BEARING BASE SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD '83), WESTERN ZONE.

LEGEND

	BOUNDARY LINE
	PROPOSED LOT LINE
	CENTERLINE
	SETBACK LINE
	ADJOINER LINE
	EDGE OF PAVEMENT LINE
	EXISTING EASEMENT LINE
	EX. WATERMAIN, HYDRANT AND VALVE
	PROP. WATERMAIN, HYDRANT AND VALVE
	EXISTING STORM SEWER, AND MANHOLE
	PROPOSED STORM SEWER, MANHOLE AND INLET
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER AND MANHOLE
	EXISTING TREE LINE
	PROPOSED TREE LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED FINISHED GRADE
	PROPERTY MARKER FOUND
	CONCRETE HIGHWAY MONUMENT FOUND
	EXISTING HYDRANT AND VALVE
	EXISTING CATCH BASIN
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING UTILITY POLE

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BME Associates



THIS SITE WILL REQUIRE A CERTIFICATE OF NONCONFORMITY APPROVAL FROM THE CITY BUREAU OF BUILDINGS FOR MULTIFAMILY DWELLING UNITS. NO SITE IMPROVEMENTS ARE PROPOSED.

SITE NOTES:

1. TOTAL LOT AREA IS ± 12,910 S.F. (±0.296 ACRES) (938 CLIFFORD AVENUE)

PROPOSED USE: ONE AND TWO BEDROOM UNITS (18 TOTAL UNITS)*

*THIS PROJECT WILL REQUIRE A CERTIFICATE OF NONCONFORMITY APPROVAL FROM THE CITY BUREAU OF BUILDINGS FOR MULTIFAMILY DWELLING UNITS.

2. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.

ZONING INFORMATION/BULK REQUIREMENTS:

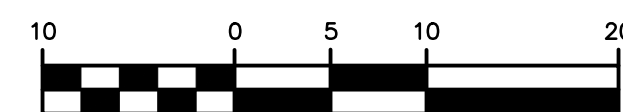
CURRENT ZONING CLASSIFICATION: R-1

	SF DETACHED AVE. FRONTAGE OF LOTS ON BLOCK	SINGLE FAMILY ATTACHED (2 UNITS) 30'/UNIT	SINGLE FAMILY ATTACHED (3 OR MORE UNITS) N/A	EXISTING 65.23'/164.55'
MIN. LOT FRONTAGE	5,000 SF	3,000 SF/UNIT	N/A	12,910 SF
MIN. LOT AREA	50%	50%	N/A	±85%
MAX LOT COVERAGE				
SETBACKS				
FRONT	AVE. YARD DEPTH ON THE TWO LOTS ADJOINING A PROPERTY/ AVE. FRONT YARD DEPTH OF LOTS ON BLOCK OR 20'	AVE. YARD DEPTH OF THE TWO LOTS ADJOINING A PROPERTY/ AVE. FRONT YARD DEPTH OF LOTS ON BLOCK OR 20'	N/A	23'
SIDE	5' MINIMUM WITH COMBINED SIDE YARDS OF 15'	5' MINIMUM WITH COMBINED SIDE YARDS OF 15'	N/A	15.7'
REAR	20' OR THE AVE. REAR YARD SETBACK ON THE BLOCK. NO CASE LESS THAN 10'	20' OR THE AVE. REAR YARD SETBACK ON THE BLOCK. NO CASE LESS THAN 10'	N/A	18.2'
MAX. BLDG HEIGHT PARKING	2.5 STORIES/35' 1 SPACE/UNIT	2.5 STORIES/35' 1 SPACE/UNIT	N/A N/A	90' 0

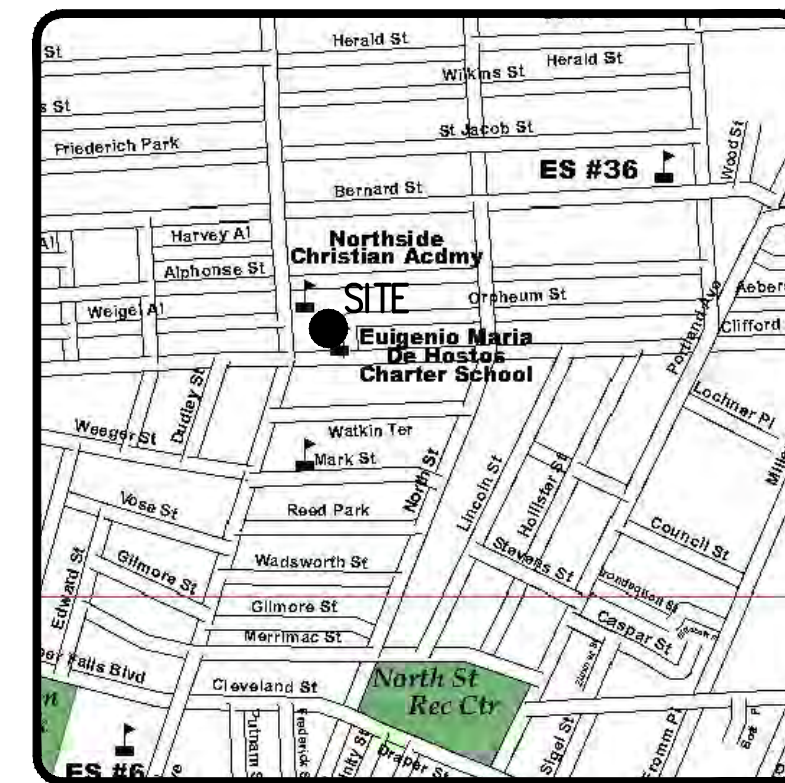
NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.



LOCATION MAP
NOT TO SCALE

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way, if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

7	6	5	4	3	2	1	REVISED PER CODE REVIEW	DATE	BY

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIFT BRIDGE LANE EAST
ROCHESTER, NEW YORK 14650
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PHONE: 585-577-7360
FAX: 585-577-7369

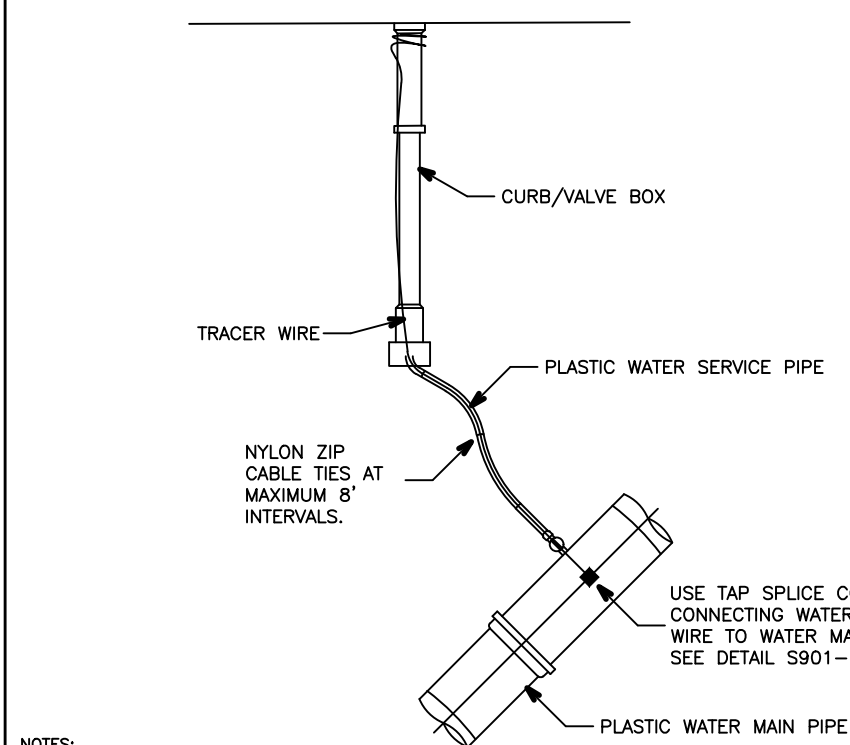


PUEBLO NUEVO HOUSING
FINAL
PROJECT: CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
LOCATION: 938 CLIFFORD AVENUE
CLIENT: BERO AMERICAN DEVELOPMENT CORPORATION
ROCHESTER, NY 14621
DRAWING TITLE: PLOT PLAN - SITE U

PROJECT MANAGER: J.L. SWEDROCK
PROJECT ENGINEER: FA. SHELLEY
DRAWN BY: RR. GLITCH
SCALE: 1"=10'
DATE ISSUED: MARCH 2018
PROJECT NO.: 2555
DRAWING NO.: 25F

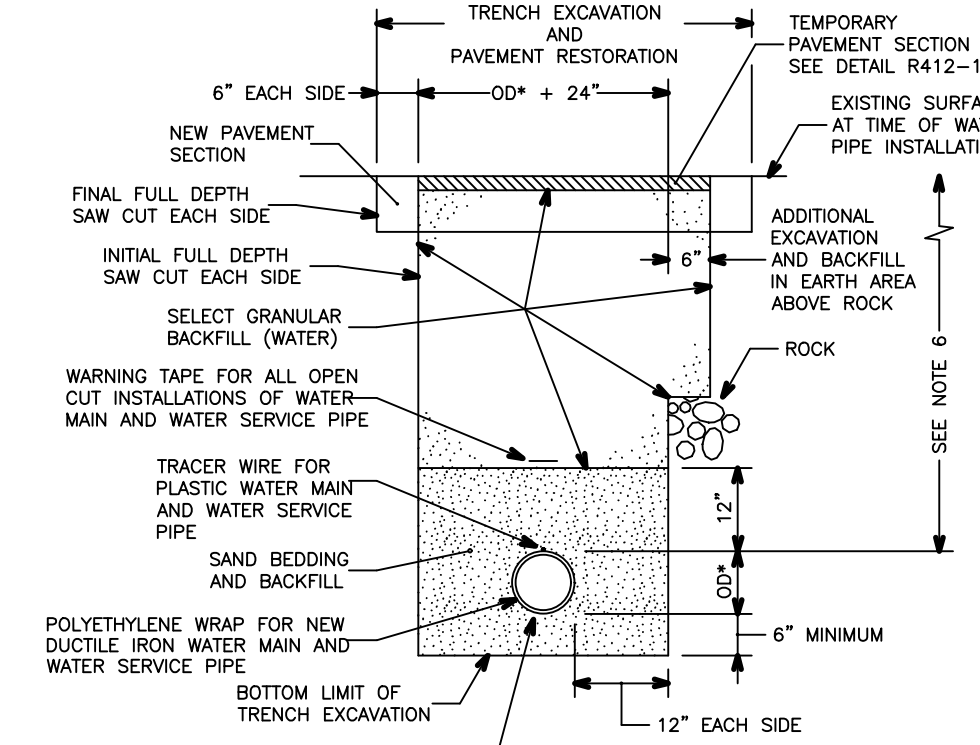
PHELPS & CORHAM PURCHASE, TOWNSHIP 14, RANGE 7, TOWN LOT 45, T.A. No. 106.33-2-46.009

P:\2555 Drawings\Yrind\Special PERMIT SITES (D-K, R-L, UV)5555 Detail Bore.dwg



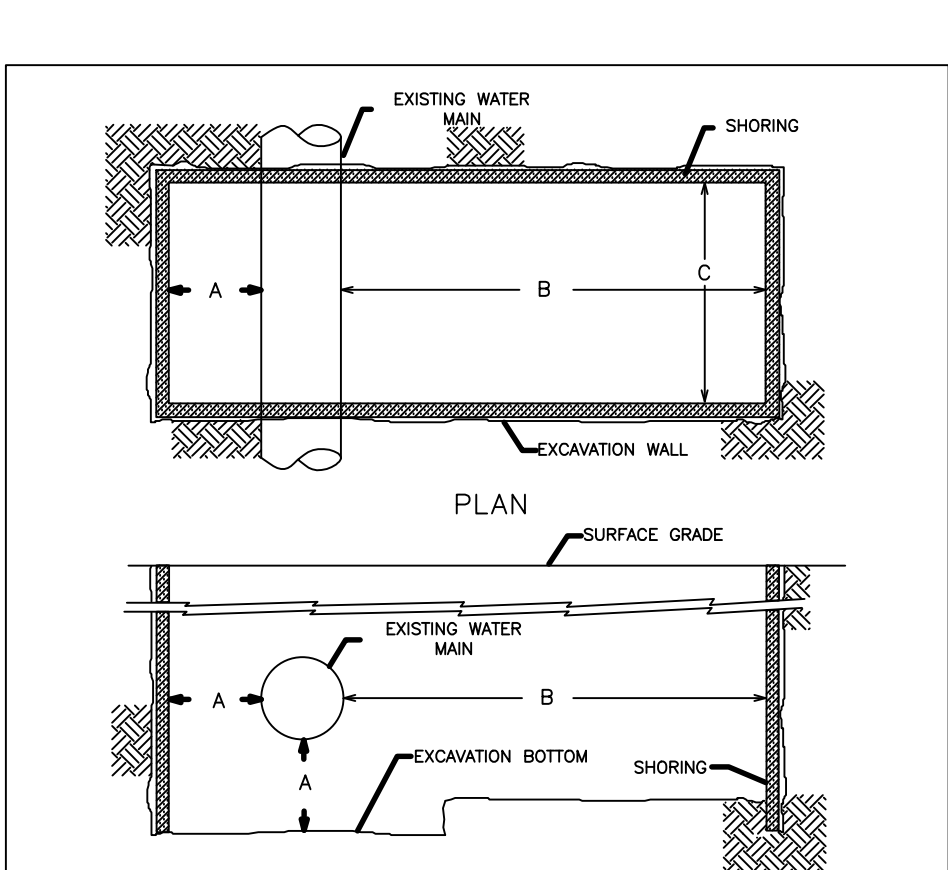
- NOTES:
- FOR OPEN CUT INSTALLATION, TRACER WIRE IS TO BE #12 AWG SOLID COPPER WITH 30 MIL. BLUE NMWPE INSULATION. FOR TRENCHLESS INSTALLATION, TRACER WIRE IS TO BE #12 AWG SOLID COPPER CLAD STEEL CORE WITH 40 MIL. BLUE HOPE INSULATION.
 - FOR NEW PLASTIC WATER SERVICE PIPE CONNECTED TO PLASTIC WATER MAIN PIPE, WATER SERVICE TRACER WIRE IS TO BE SPUN TO WATER MAIN TRACER WIRE AND EXTENDED UP TO TOP OF CURB/VALVE BOX. WATER SERVICE TRACER WIRE IS TO RUN ALONG TOP OF AND BE SECURED TO PLASTIC WATER SERVICE PIPE WITH NYLON ZIP CABLE TIES PLACED AT MAXIMUM 8 FEET INTERVALS.
 - FOR CURB/VALVE BOX IN LAWN AREA, EXTEND WATER SERVICE TRACER WIRE UP OUTSIDE OF CURB/VALVE BOX WINDING END 3 TIMES AROUND AND APPROXIMATELY 1 INCH BELOW TOP OF CURB/VALVE BOX. FOR CURB/VALVE BOX IN PAVED AREA, EXTEND WATER SERVICE TRACER WIRE UP INSIDE OF CURB/VALVE BOX LEAVING MINIMUM OF 3 FEET OF WATER SERVICE TRACER WIRE COILED UP INSIDE TOP OF CURB/VALVE BOX.
 - FOR NEW PLASTIC WATER SERVICE PIPE CONNECTED TO CAST/DUCTILE IRON WATER MAIN PIPE, WATER SERVICE TRACER WIRE IS TO BE CONNECTED TO CORPORATION STOP WITH BRASS THAW WIRE NUT COMPRESSION ASSEMBLY WITH SET SCREW.

CITY OF ROCHESTER
PLASTIC WATER SERVICE TRACER WIRE INSTALLATION
ISSUED 1-13-09 NON-STANDARD
REVISED 2-19-10 DWG.NO.S901-9



- NOTES:
- LIMITS SHOWN ARE MAXIMUM ALLOWED AND MINIMUM REQUIRED FOR EXCAVATION AND BACKFILL.
 - UPPER LIMIT FOR TRENCH EXCAVATION IS TOP OF EXISTING SURFACE AT TIME OF TRENCH EXCAVATION.
 - UPPER LIMIT FOR ROCK EXCAVATION IS TOP SURFACE OF ROCK.
 - UPPER LIMIT FOR SELECT GRANULAR BACKFILL (WATER) IS BOTTOM OF TEMPORARY PAVEMENT, IF USED, OTHERWISE TOP OF SURFACE.
 - TEMPORARY OR PERMANENT BLOCKS OR ANY OTHER TYPE OF PIPE SUPPORT IS NOT TO BE USED DURING PIPE INSTALLATION.
 - MINIMUM DEPTH OF COVER FOR WATER PIPE FROM TOP OF PROPOSED GRADE IS 4.50 FEET FOR DOMESTIC WATER PIPE, AND 5 FEET FOR HOLLY WATER PIPE, UNLESS OTHERWISE NOTED ON PLANS OR AS DIRECTED BY PROJECT MANAGER.

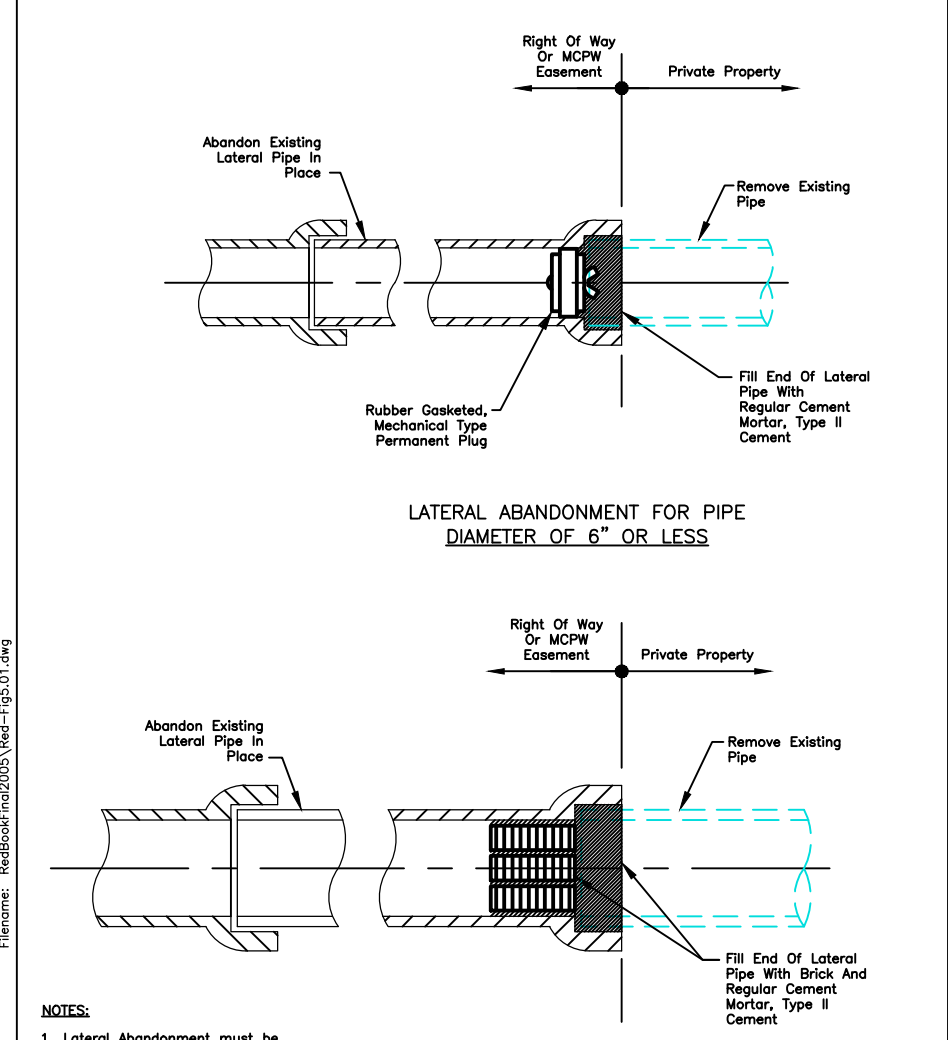
CITY OF ROCHESTER
WATER TRENCH PAVEMENT REHABILITATION
ISSUED 1-13-09 NON-STANDARD
REVISED 11-22-10 DWG.NO.S900-2



- NOTES:
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL EXCAVATIONS ARE ADEQUATELY PROTECTED IN ACCORDANCE WITH OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS.
 - SHORING MUST BE FURNISHED BY THE CONTRACTOR IN ACCORDANCE WITH OSHA REGULATIONS, AND ADEQUATE CLEARANCES PROVIDED, WHEREVER WATER BUREAU PERSONNEL MUST ENTER AN EXCAVATION. EXCEPTIONS TO THIS POLICY CAN ONLY BE MADE BY THE DIRECTOR OF WATER OR HIS REPRESENTATIVE.
 - THE CONTRACTOR SHALL MAKE AND SHORE THE EXCAVATION. CLEAN THE AREA OF THE WATER MAIN FOR THE TAP, ATTACH THE TAPPING SLEEVE AND VALVE TO THE MAIN FOR SERVICES 4-INCH DIAMETER AND LARGER OR ATTACH THE TAPPING SADDLE (WHERE REQUIRED) TO THE MAIN FOR SERVICES 2-INCH DIAMETER AND SMALLER AND INSURE THAT THE WORK AREA IS READY FOR INSPECTION BY BUREAU PERSONNEL PRIOR TO MAKING THE TAP.

MINIMUM CLEARANCE DIMENSIONS			
EXCAVATION FOR	A	B	C
SMALL SERVICE TAP (2-INCH AND SMALLER)	0'-6"	5'-0"	4'-0"
LARGE SERVICE TAP (4-INCH AND LARGER)	1'-0"	7'-0"	4'-0"

CITY OF ROCHESTER
WATER SERVICE TAP EXCAVATION
ISSUED 4-29-11 NON-STANDARD
REVISED DWG.NO.S900-12



- NOTES:
- Lateral Abandonment must be witnessed by a representative of the District, Healthy Pure Water, a minimum of 48 hours in advance of construction for inspection of the lateral abandonment. Telephone (585) 760-7800, Option 5.
 - Block for plug: ASTM C-32, Grade 55.

FIGURE 5.01

- FORESTRY GENERAL NOTES**
- CONTRACTOR IS TO BE AWARE OF AND FAMILIAR WITH REQUIREMENTS OF SECTIONS 89.9 TREES AND 89.12 PENALTIES OF CITY CODE AS THEY WILL BE STRICTLY ADHERED TO. CITY CODE CAN BE FOUND ON CITY OF ROCHESTER'S WEB SITE AT [HTTP://WWW.CITYOFROCHESTER.GOV/SERVICES](http://www.cityofrochester.gov/services), UNDER "CITY CHARTER AND CODE ONLINE."
 - CONTRACTOR IS TO PROVIDE PROTECTION FOR ALL EXISTING TREES WITHIN PROJECT LIMITS THROUGHOUT COURSE OF PROJECT TO MINIMIZE, AS MUCH AS POSSIBLE, ANY DAMAGE FROM OCCURRING TO EXISTING TREES AS RESULT OF CONTRACTOR'S OPERATIONS. TREE PROTECTION IS TO CONSIST OF ORANGE CONSTRUCTION SAFETY FENCING OR WOOD RAILS PLACED AROUND AND COMPLETELY ENCOMPASSING EACH EXISTING TREE AND IS TO BE IN PLACE BEFORE ANY WORK IS STARTED PER SECTION S617 TREE PROTECTION AND CONTRACT DOCUMENTS.
 - OVERALL EXISTING TREE ROOT SYSTEM MUST REMAIN STRUCTURALLY ADEQUATE FOR EXISTING TREE TO WITHSTAND HEAVY WINDSTORMS. IN AREAS OF CURB/CONCRETE, GUTTER/PAVEMENT WORK, ANY EXISTING TREE ROOTS THAT ARE 2 INCHES OR LARGER IN DIAMETER AND ARE IN CONFLICT WITH SUCH WORK, MUST BE INSPECTED BY CITY FORESTRY BEFORE CUTTING CAN OCCUR. CONTRACTOR MUST CONTACT CITY FORESTRY AT (585) 428-7581 TO MAKE ARRANGEMENTS FOR SUCH INSPECTION. EXISTING TREE ROOTS THAT ARE SMALLER THAN 2 INCHES IN DIAMETER ARE TO BE CUT CLEANLY WITH SHARP IMPLEMENTS.
 - IN AREAS OF SIDEWALK CONSTRUCTION, EXISTING TREE ROOTS THAT ARE LOCATED UNDER AREA OF SIDEWALK CONSTRUCTION ARE NOT TO BE CUT. IF ANY OF EXISTING TREE ROOTS ARE 2 INCHES OR LARGER IN DIAMETER, SUB BASE COURSE MATERIAL IS NOT TO BE INSTALLED WITHIN 1 FOOT OF EXISTING TREE ROOT(S), AND CONCRETE IS TO BE POURED OVER EXISTING TREE ROOT(S).
 - IN AREAS OF DRIVEWAY, DRIVEWAY APPROACHES AND SIDEWALK ACCESS RAMP CONSTRUCTION, EXISTING TREE ROOTS ARE NOT TO BE CUT BY MEANS OF MECHANICAL TREE ROOT CUTTING MACHINES. IF ANY OF EXISTING TREE ROOTS MUST BE CUT, THEY ARE TO BE CUT MANUALLY WITH SHARP IMPLEMENTS.
 - IN AREAS WHERE EXISTING TREE ROOTS BECOME EXPOSED BY CONSTRUCTION ACTIVITIES, THEY ARE TO BE COVERED WITH MULCH, TOPSOIL OR MOISTENED BURLAP, AND WATERED STARTING IMMEDIATELY AFTER EXPOSURE AND CONTINUING UNTIL EXCAVATED AREA IS RESTORED.
 - IF HEAVY EQUIPMENT MUST BE DRIVEN ON TREE LAWN OVER TREE ROOT ZONE, PLYWOOD MUST BE PLACED ON GROUND/TREE LAWN AREA SO AS TO DISPERSE COMPACTION AND PREVENT SOL RUTTING.

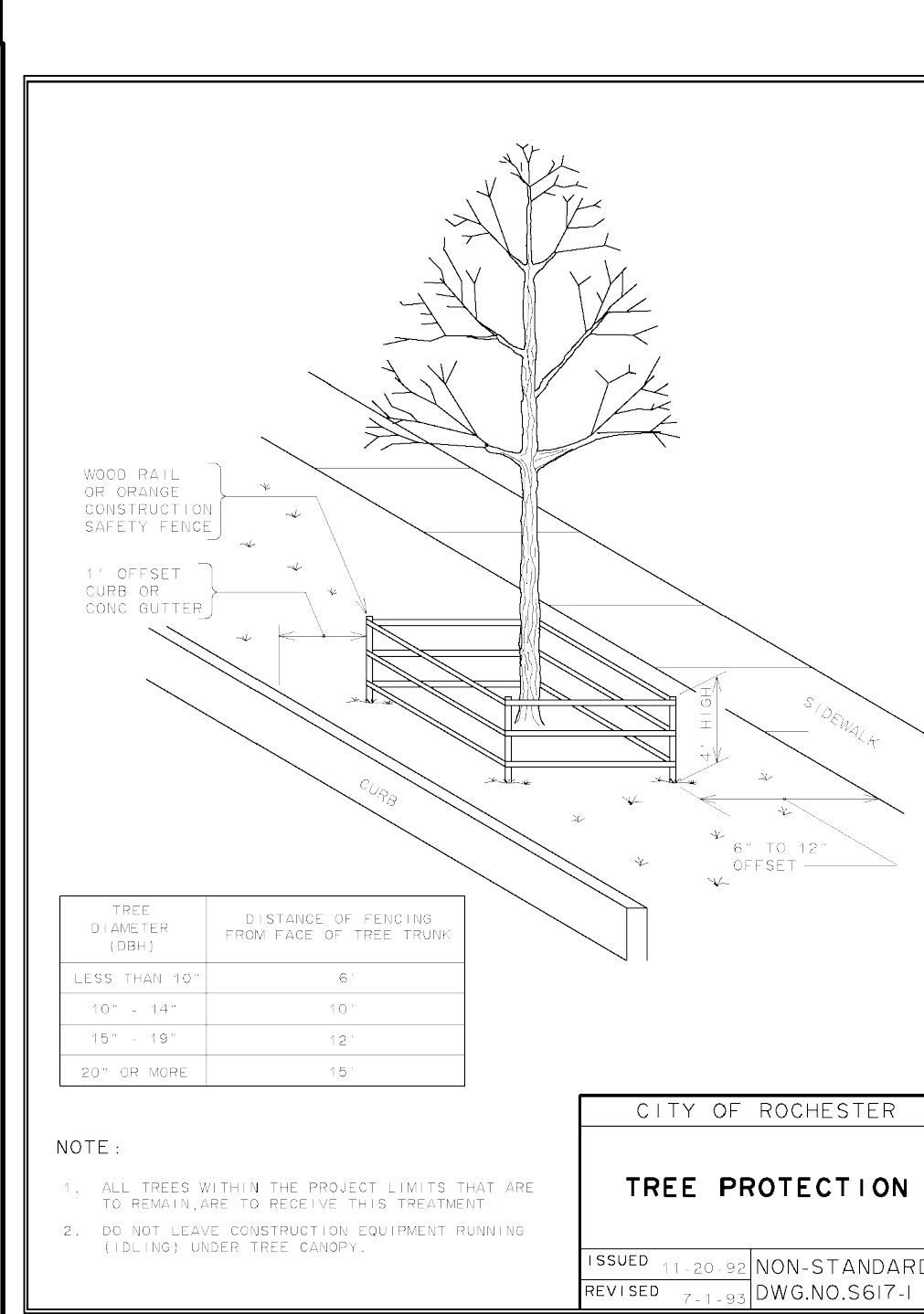
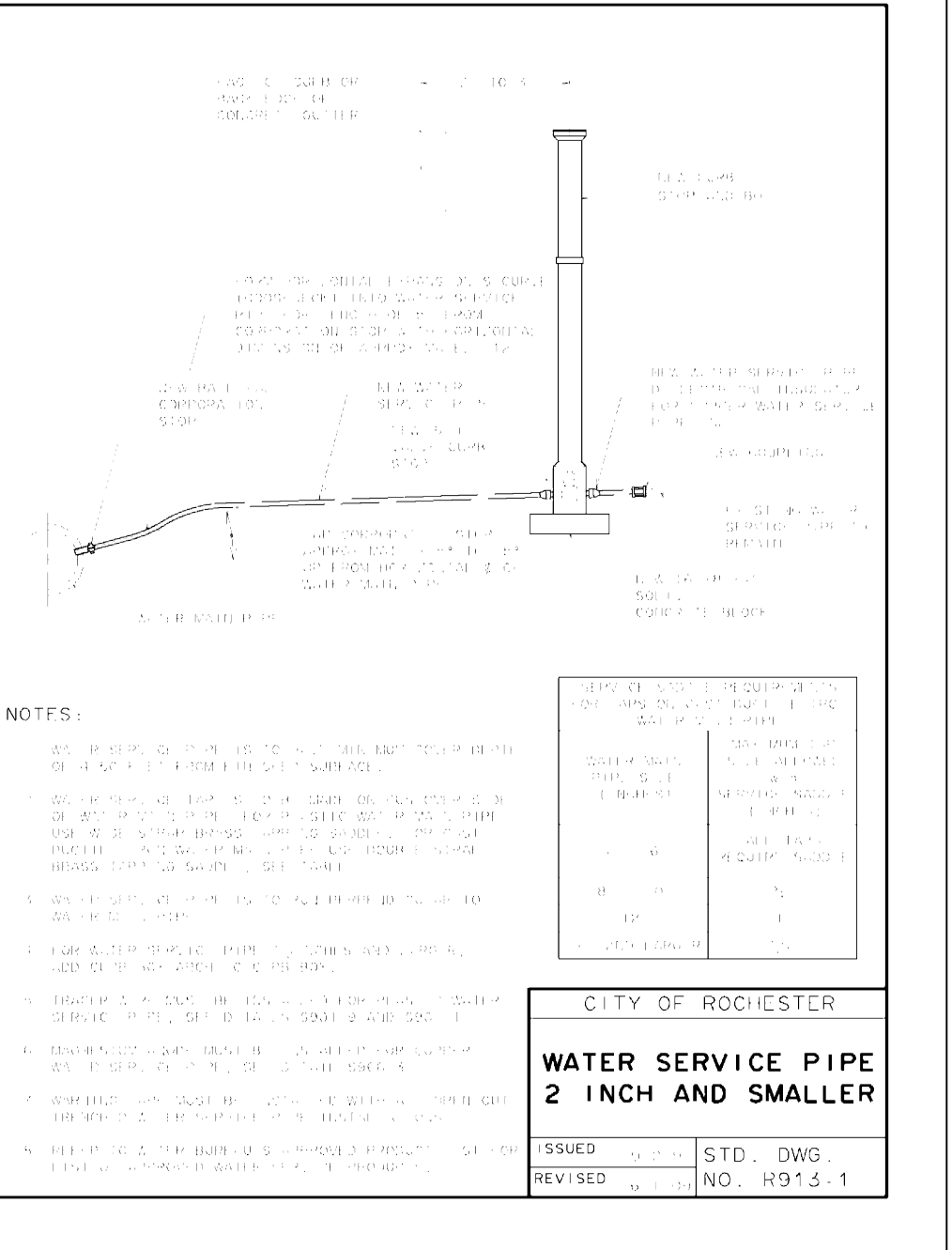
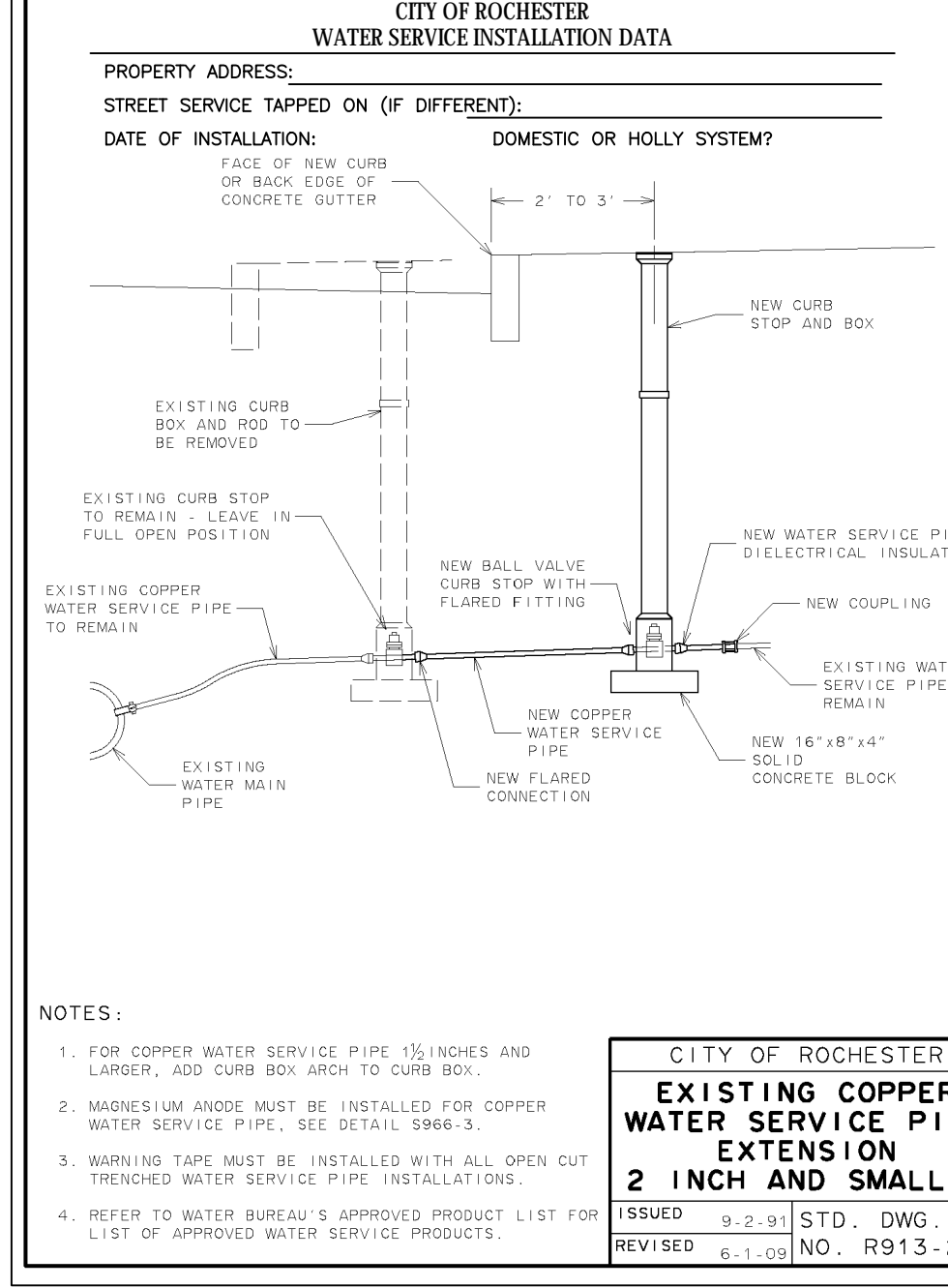


FIGURE 5.01



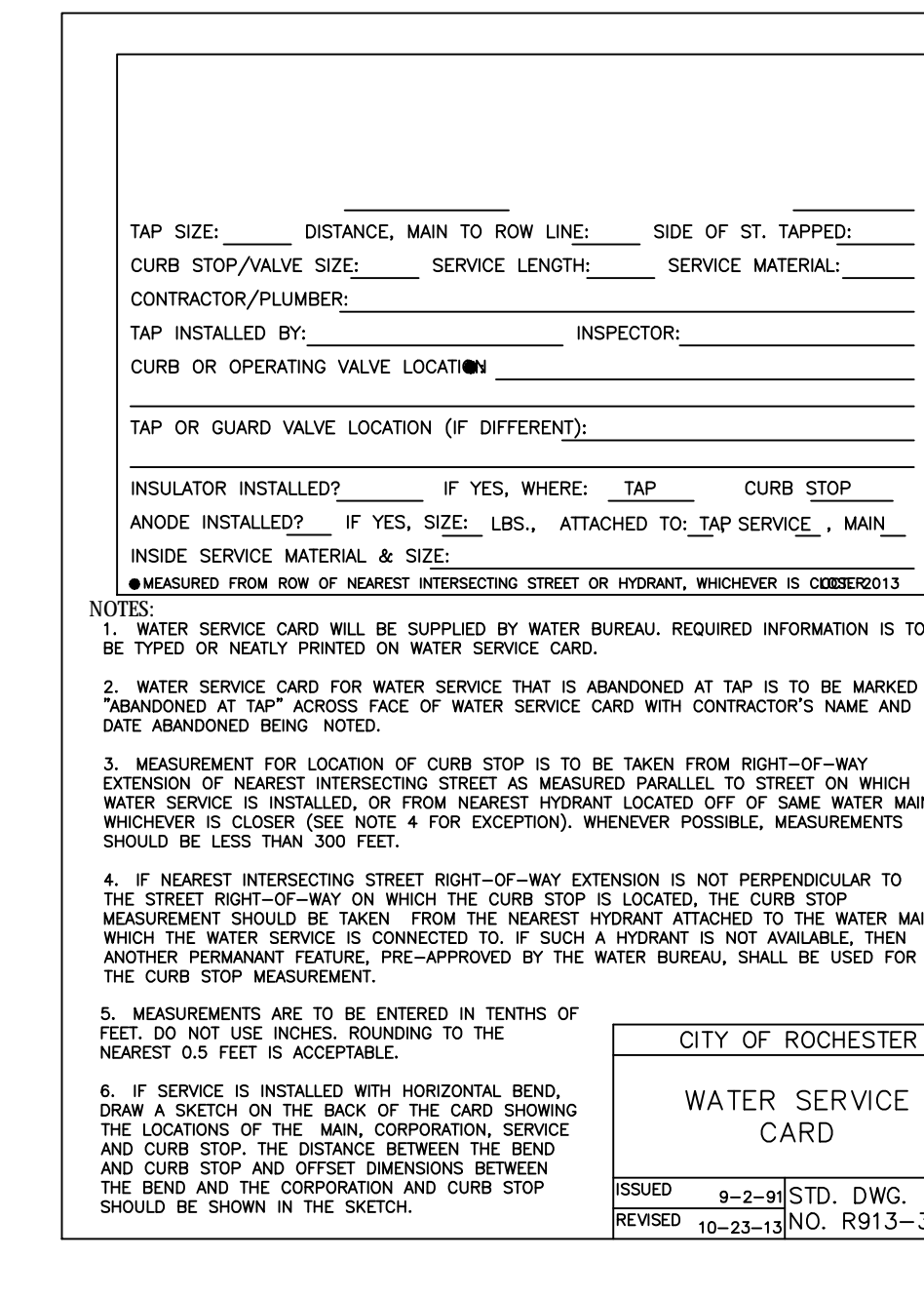
- NOTES:
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CITY OF ROCHESTER
WATER SERVICE PIPE 2 INCH AND SMALLER
ISSUED 1-13-09 STD. DWG.
REVISED 2-19-10 NO. R913-1



- NOTES:
- FOR COPPER WATER SERVICE PIPE 1 1/2 INCHES AND LARGER, ADD CURB BOX ARCH TO CURB BOX.
 - MAGNESIUM ANODE MUST BE INSTALLED FOR COPPER WATER SERVICE PIPE. SEE DETAIL S986-3.
 - WARNING TAPE MUST BE INSTALLED WITH ALL OPEN CUT TRENCHED WATER SERVICE PIPE INSTALLATIONS.
 - REFER TO WATER BUREAU'S APPROVED PRODUCT LIST FOR LIST OF APPROVED WATER SERVICE PRODUCTS.

CITY OF ROCHESTER
EXISTING COPPER WATER SERVICE PIPE EXTENSION 2 INCH AND SMALLER
ISSUED 9-2-91 STD. DWG.
REVISED 6-1-09 NO. R913-2



- NOTES:
- WATER SERVICE CARD WILL BE SUPPLIED BY WATER BUREAU. REQUIRED INFORMATION IS TO BE TYPED OR NEATLY PRINTED ON WATER SERVICE CARD.
 - WATER SERVICE CARD FOR WATER SERVICE THAT IS ABANDONED AT TAP IS TO BE MARKED "ABANDONED AT TAP" ACROSS FACE OF WATER SERVICE CARD WITH CONTRACTOR'S NAME AND DATE ABANDONED BEING NOTED.
 - MEASUREMENT FOR LOCATION OF CURB STOP IS TO BE TAKEN FROM RIGHT-OF-WAY EXTENSION OF NEAREST INTERSECTING STREET AS MEASURED PARALLEL TO STREET ON WHICH WATER SERVICE IS INSTALLED, OR FROM NEAREST HYDRANT LOCATED OFF OF SAME WATER MAIN, WHICHEVER IS CLOSER (SEE NOTE 4 FOR EXCEPTION). WHENEVER POSSIBLE, MEASUREMENTS SHOULD BE LESS THAN 300 FEET.
 - IF NEAREST INTERSECTING STREET RIGHT-OF-WAY EXTENSION IS NOT PERPENDICULAR TO THE STREET RIGHT-OF-WAY ON WHICH THE CURB STOP IS LOCATED, THE CURB STOP MEASUREMENT SHOULD BE TAKEN FROM THE NEAREST HYDRANT ATTACHED TO THE WATER MAIN WHICH THE WATER SERVICE IS CONNECTED TO. IF SUCH A HYDRANT IS NOT AVAILABLE, THEN ANOTHER PERMANENT FEATURE, PRE-APPROVED BY THE WATER BUREAU, SHALL BE USED FOR THE CURB STOP MEASUREMENT.
 - MEASUREMENTS ARE TO BE ENTERED IN TENTHS OF FEET. DO NOT USE INCHES. ROUNDING TO THE NEAREST 0.5 FEET IS ACCEPTABLE.
 - IF SERVICE IS INSTALLED WITH HORIZONTAL BEND, DRAW A SKETCH ON THE BACK OF THE CARD SHOWING THE LOCATIONS OF THE MAIN, CORPORATION, SERVICE AND CURB STOP. THE DISTANCE BETWEEN THE BEND AND CURB STOP AND OFFSET DIMENSIONS BETWEEN THE BEND AND THE CORPORATION AND CURB STOP SHOULD BE SHOWN IN THE SKETCH.

CITY OF ROCHESTER
WATER SERVICE CARD
ISSUED 9-2-91 STD. DWG.
REVISED 10-23-11 NO. R913-3

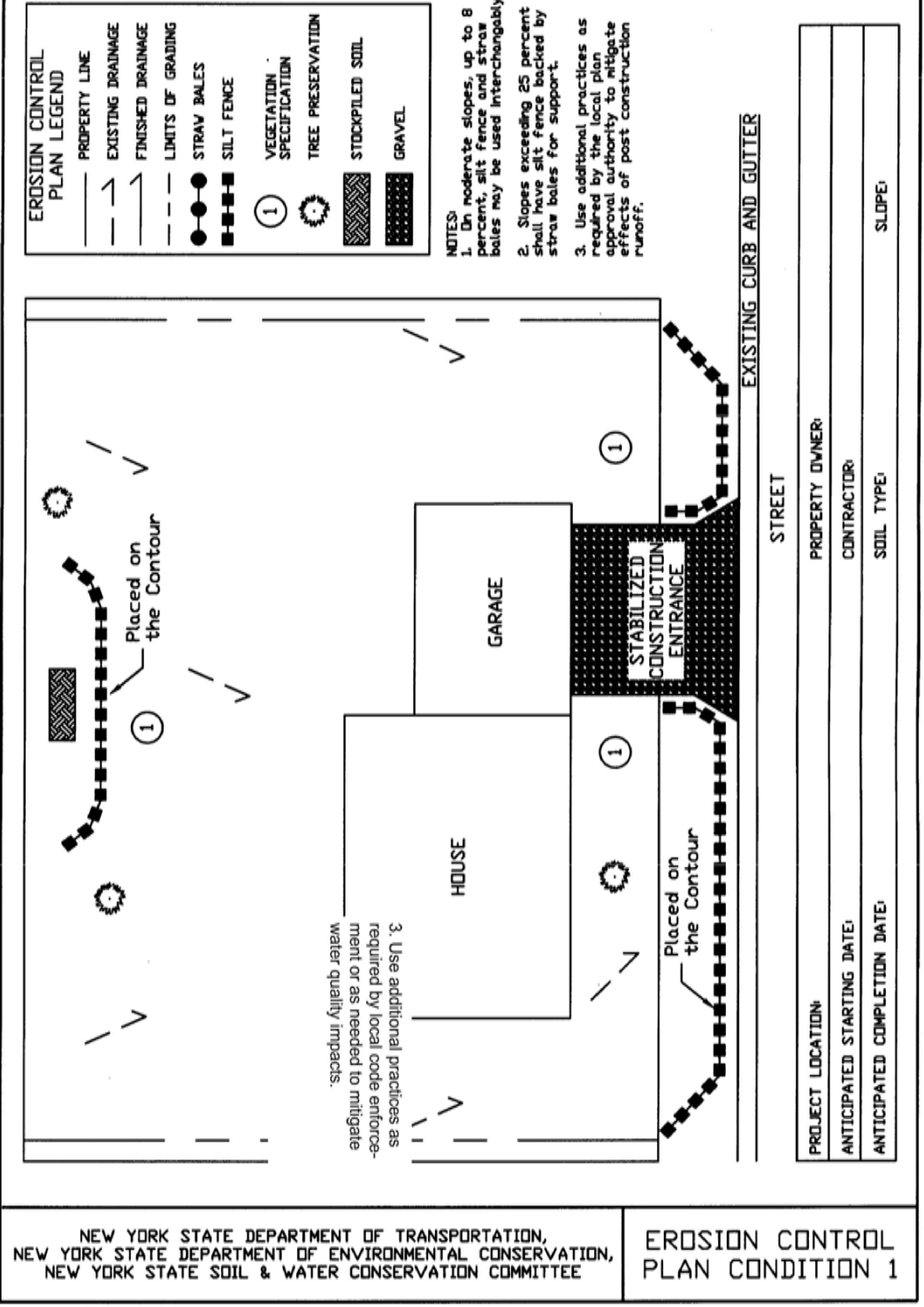
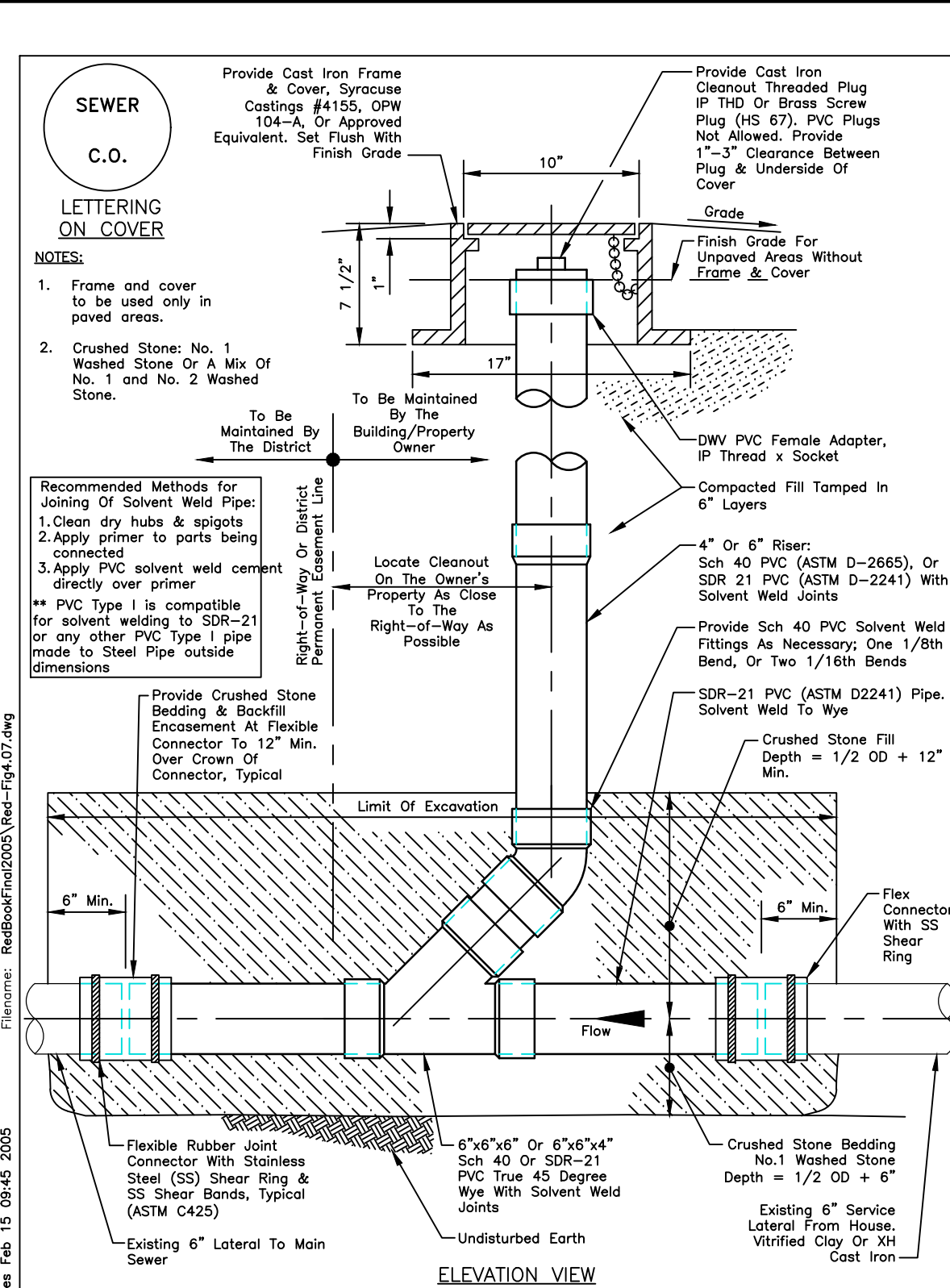
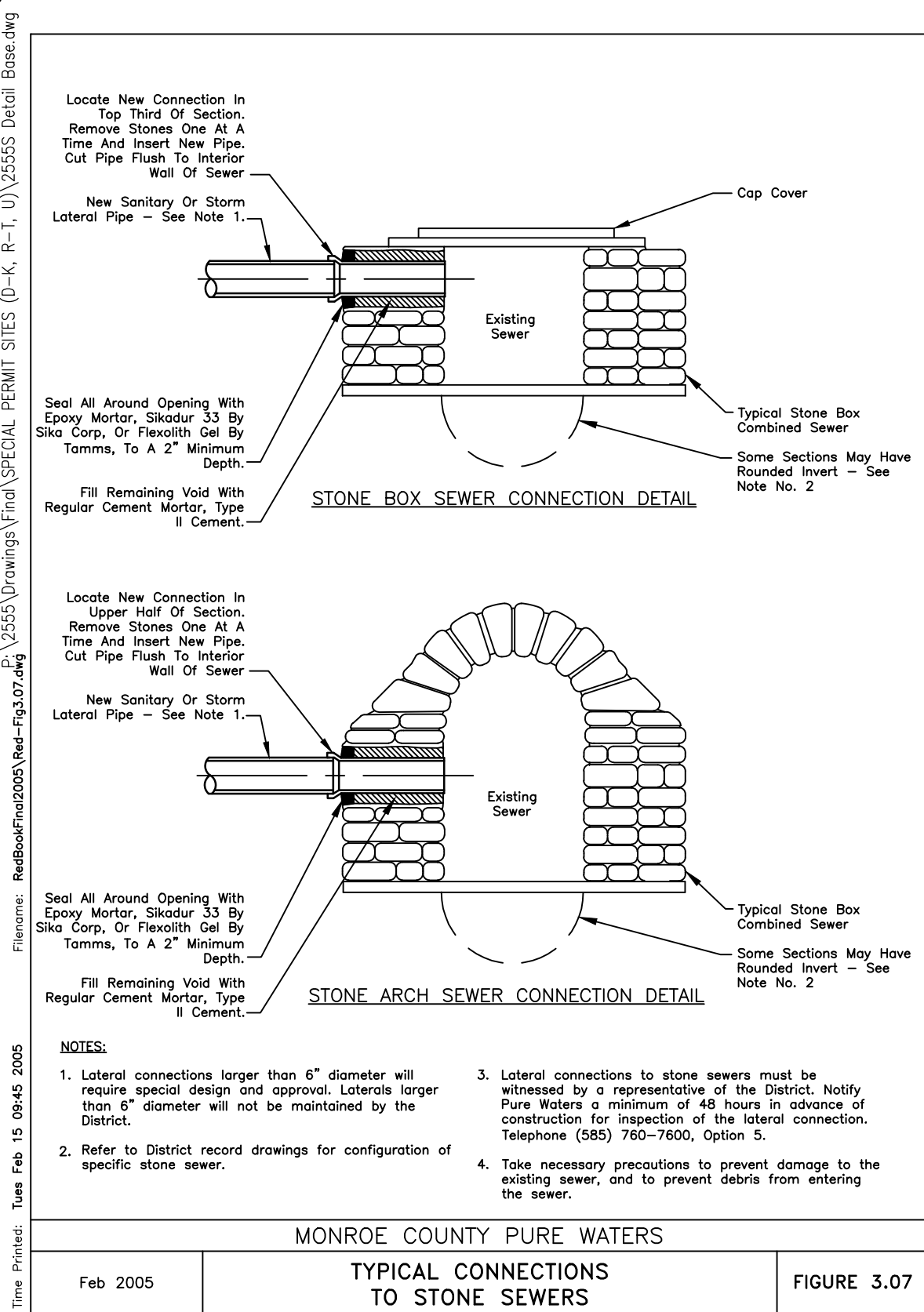


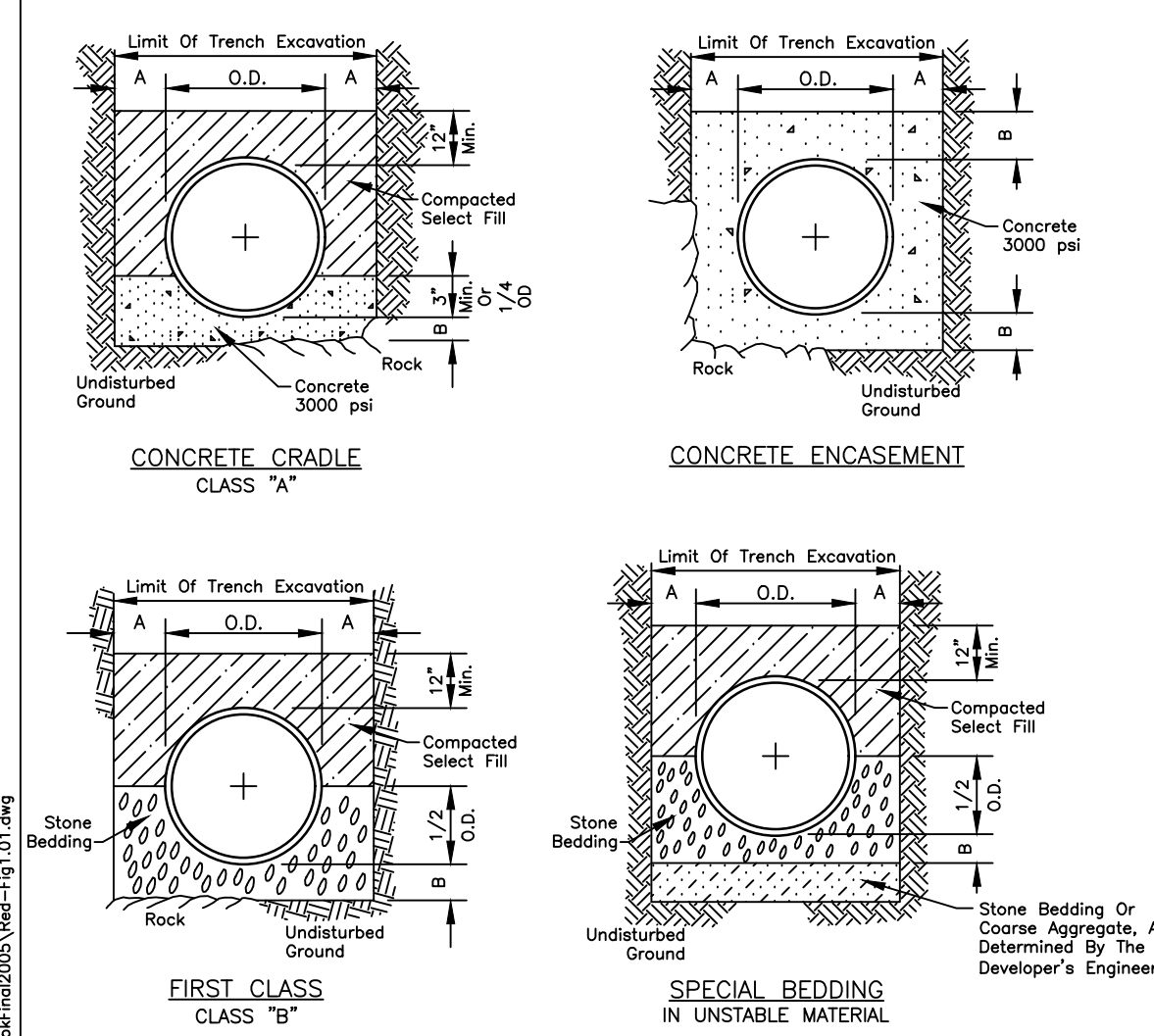
FIGURE 5.01

- NOTES:
- ALL TREES WITHIN THE PROJECT LIMITS THAT ARE TO REMAIN ARE TO RECEIVE THIS TREATMENT.
 - DO NOT LEAVE CONSTRUCTION EQUIPMENT RUNNING (IDLE) UNDER TREE CANOPY.

CITY OF ROCHESTER
TREE PROTECTION
ISSUED 11-29-09 NON-STANDARD
REVISED 4-1-09 DWG.NO.S617-1



MONROE COUNTY PURE WATERS
RECOMMENDED CLEANOUT FOR CONNECTION TO EXISTING 6" LATERAL
FIGURE 4.07

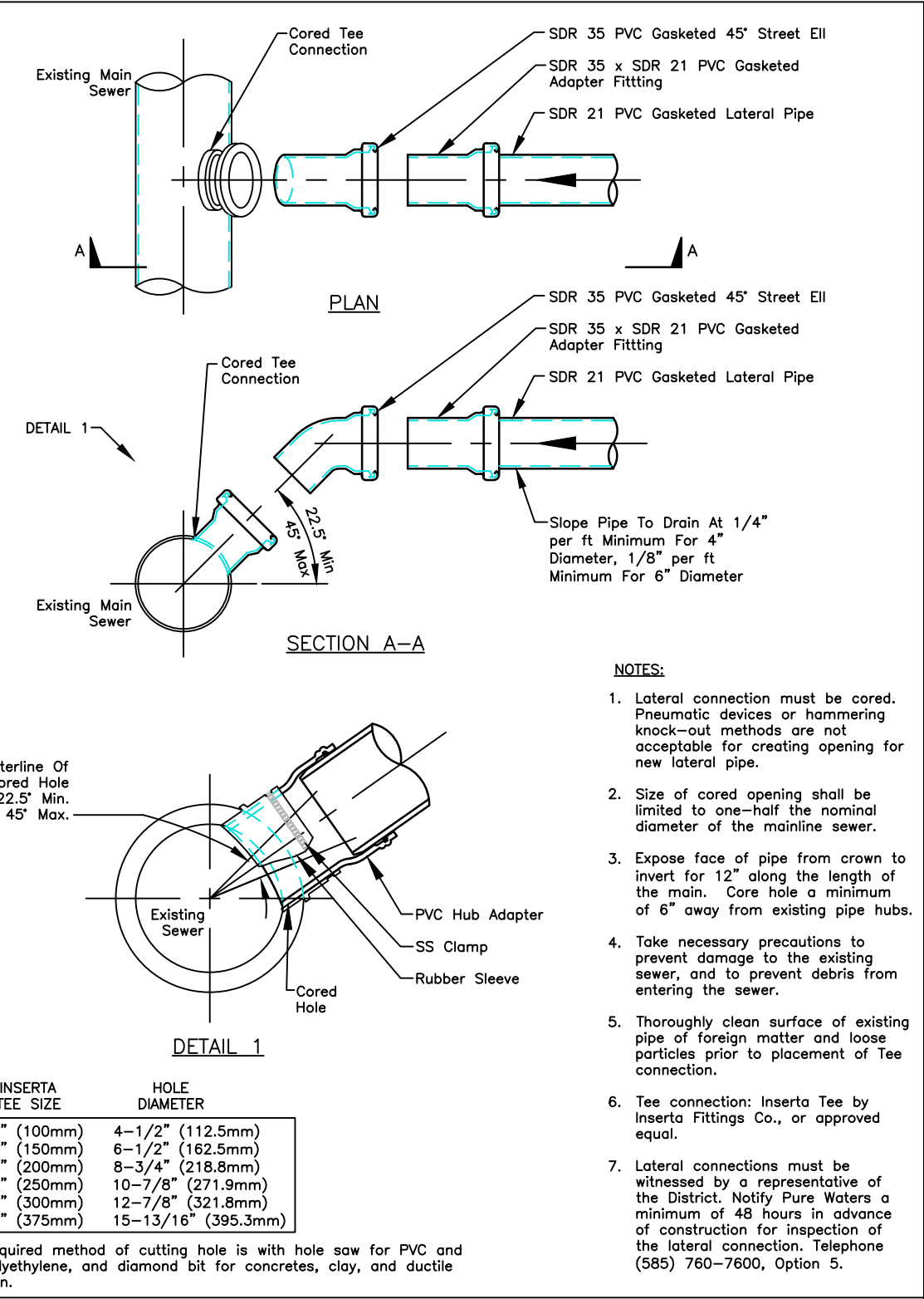


NOTES:

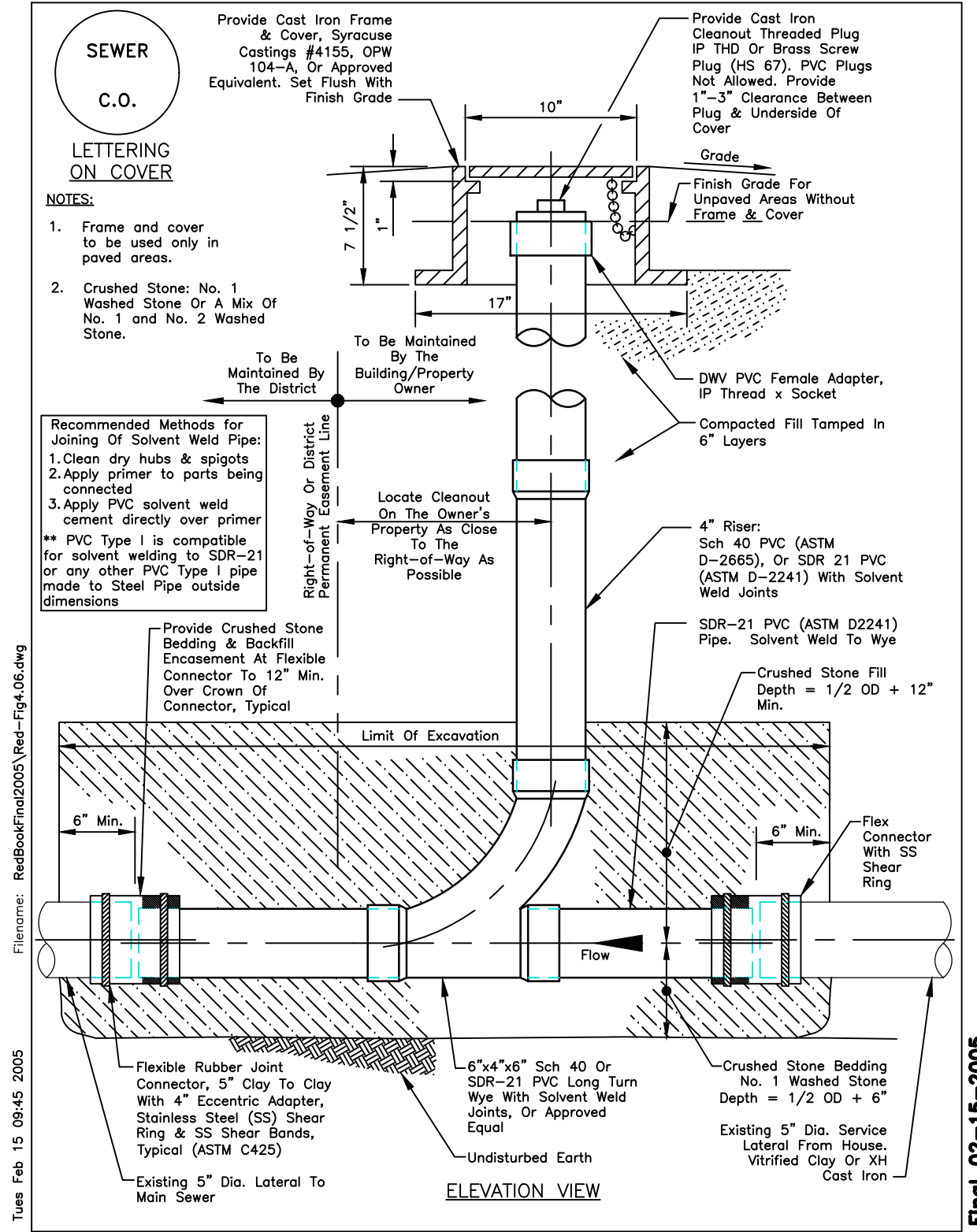
- Trench backfill shall be as required by the highway owner.
- Select fill shall be sand, gravel, and similar material which shall be free from clay, loam, organic material, debris, frozen material and shall contain only small amounts of stone, pebbles, or lumps over one inch in greatest dimension, but none over two inches in greatest dimension.
- Stone bedding shall mean approved imported aggregate meeting the requirements of the New York State Department of Transportation, Standard Specification, "Crushed Stone", primary size 1 or a mixture of primary size 1 and 2, washed.
- Coarse aggregate shall mean approved imported aggregate meeting the requirements of the New York State Department of Transportation, Standard Specification, "Crushed Stone", primary size 3 or a mixture of primary size 3 and 4.
- This Figure 1.01 applies to Pure Waters sanitary, storm, and combined mainline sewers and lateral pipe installations, as well as forcemains.

PIPE DIA.	DIM. A	DIM. B
UP TO 18"	1.0'	6"
21" TO 36"	1.5'	9"
OVER 36"	1.5'	12"

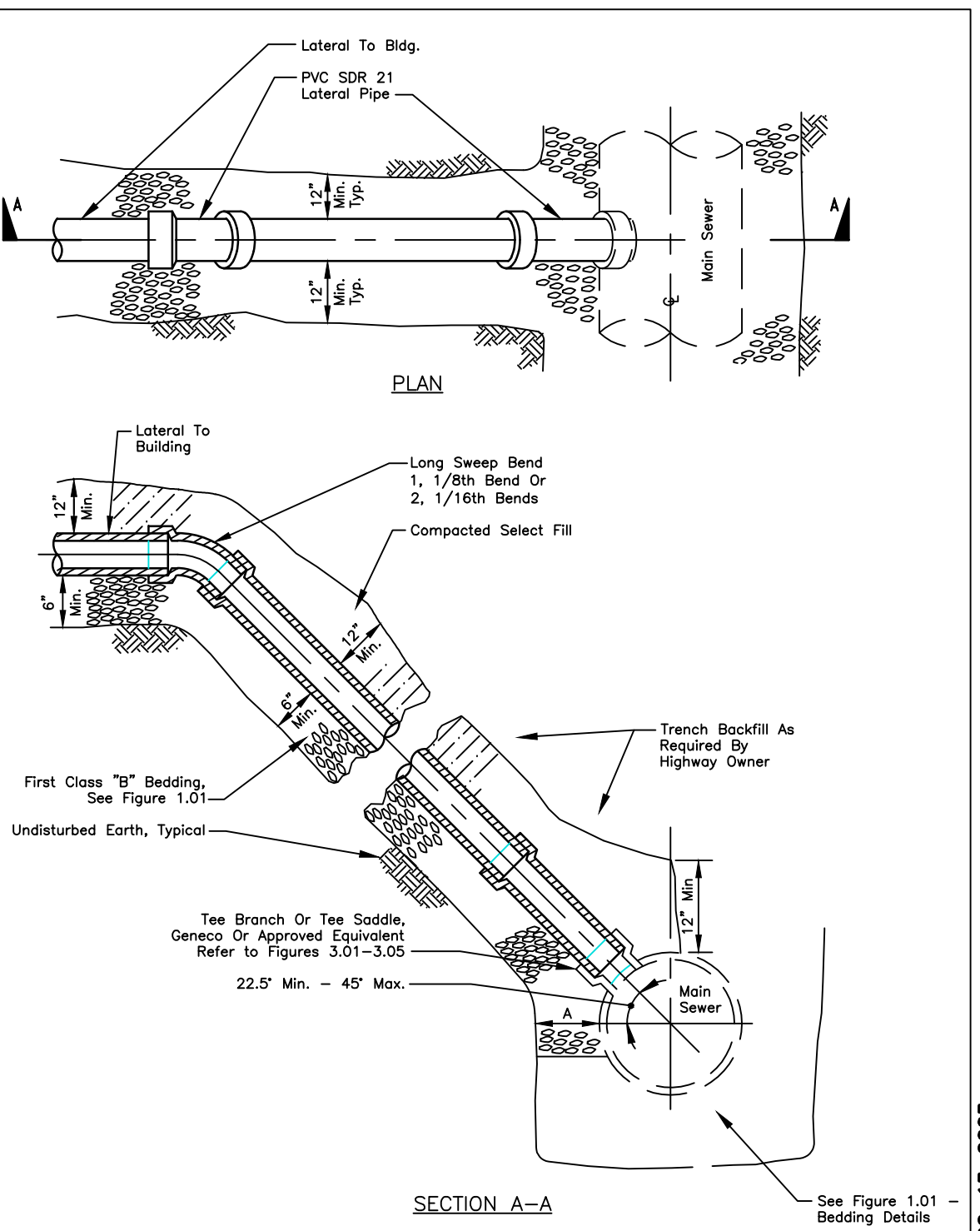
MONROE COUNTY PURE WATERS
BEDDING DETAILS
FIGURE 1.01



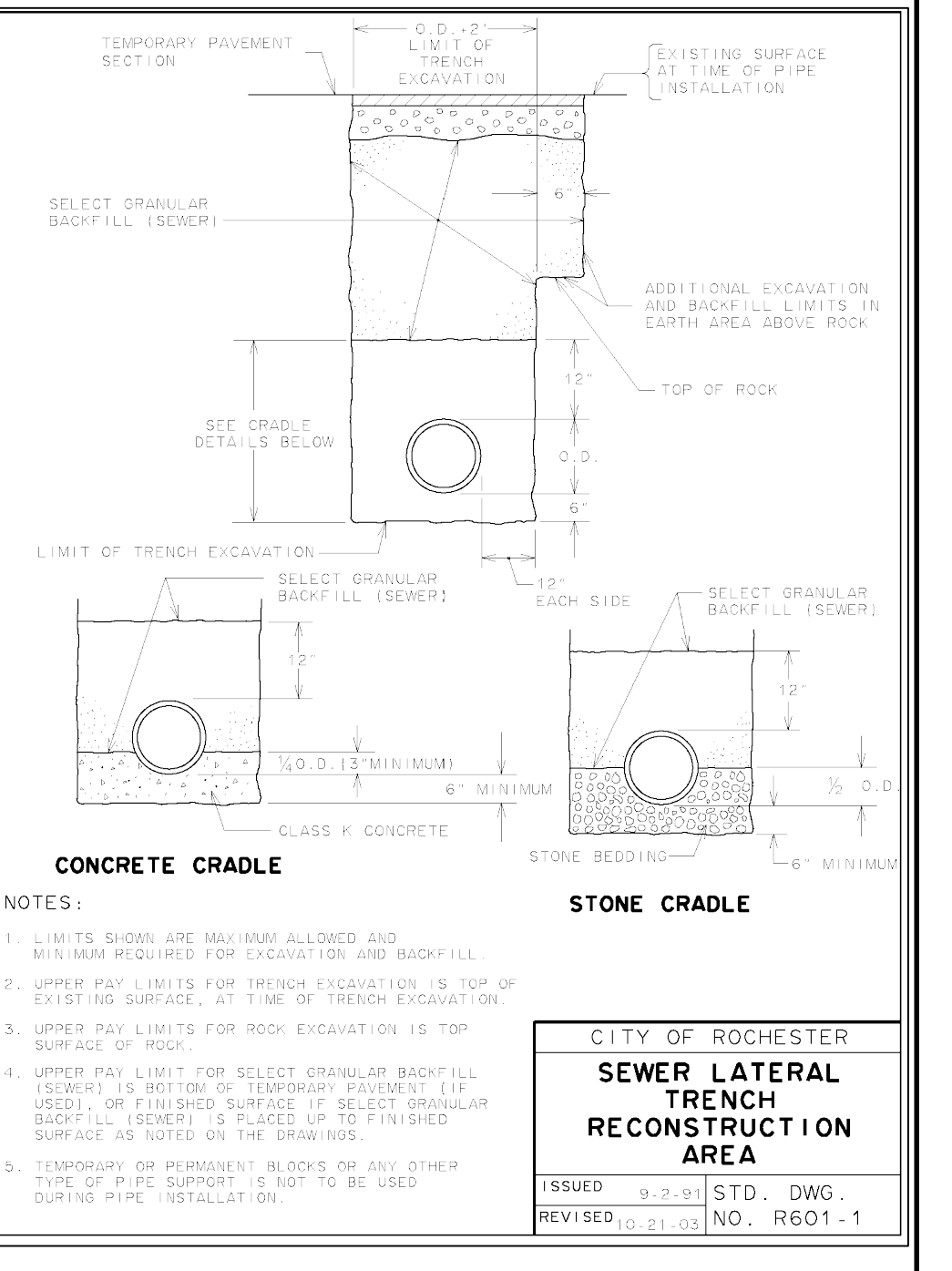
MONROE COUNTY PURE WATERS
INSERT TYPE CORED TEE CONNECTION TO EXISTING SEWER
FIGURE 3.02



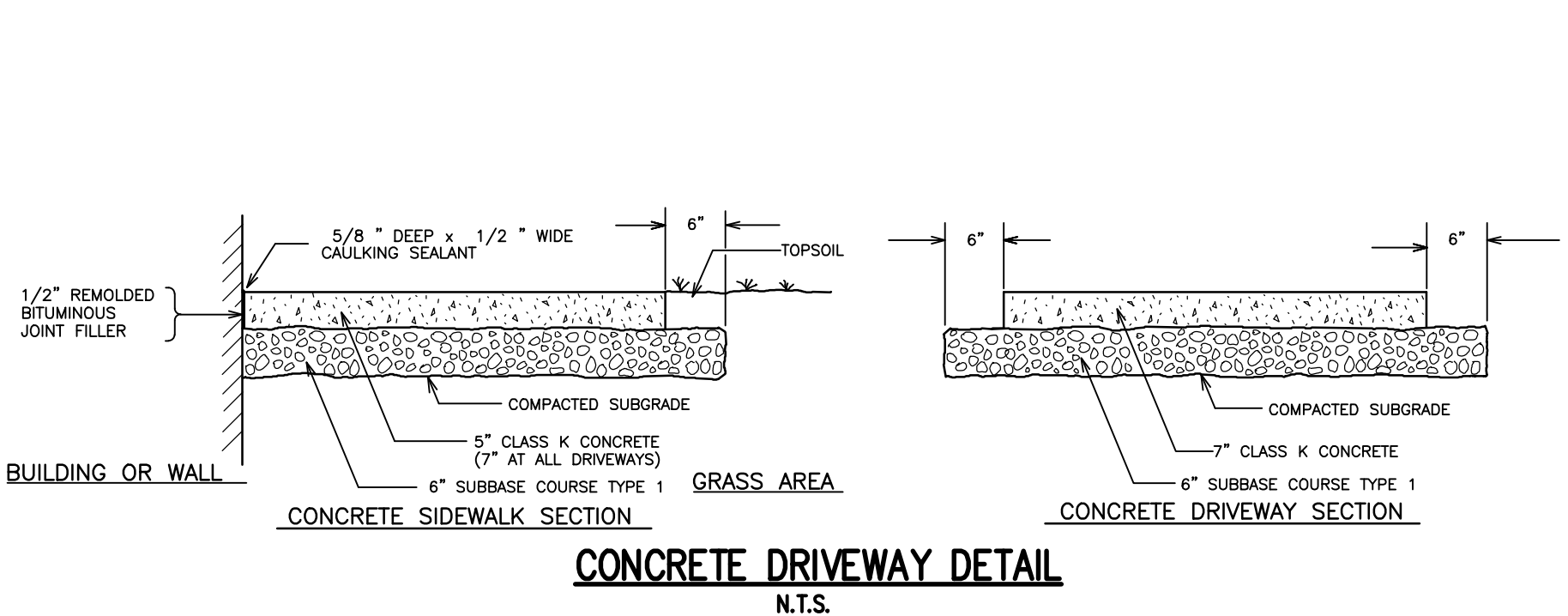
MONROE COUNTY PURE WATERS
RECOMMENDED CLEANOUT FOR CONNECTION TO EXISTING 5" LATERAL
FIGURE 4.06



MONROE COUNTY PURE WATERS
LATERAL RISER CONNECTION
FIGURE 3.06



CITY OF ROCHESTER
SEWER LATERAL TRENCH RECONSTRUCTION AREA
ISSUED 9-2-01 STD. DWG. NO. R601-1
REVISED 10-21-03



CONCRETE DRIVEWAY DETAIL
N.T.S.

NOT APPROVED
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation 'Altered By' followed by his signature and the date of such alteration, and a specific description of the alteration."

7	6	5	4	3	2	1	DATE	BY
							8/11/18	FAS

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10 LIFT BRIDGE LANE EAST
NEW YORK, NY 10460
PHONE 958-377-7280
FAX 958-377-7369
WWW.BME-CC.COM



PUEBLO NUEVO HOUSING
FINAL
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
IBERO AMERICA DEVELOPMENT CORPORATION
ROCHESTER, NY 14621

PROJECT	LOCATION	CLIENT

PROJECT MANAGER	DATE ISSUED
JL SWEDROCK	MARCH 2018
PROJECT ENGINEER	
FA SHELLEY	
DRAWN BY	
RR GLITCH	
SCALE	
NTS	
PROJECT NO.	
	2555
DRAWING NO.	28F

P:\2555A Drawings\Final\2555A Design Base - O'Brien Park.dwg

SITE NOTES:

- EXISTING ZONING: R-2 (PROJECT AREA WAS REZONED ON 12/20/17 BY THE COUNCIL OF THE CITY OF ROCHESTER)
- TOTAL SITE AREA IS $\pm 50,875$ S.F. (± 1.2 ACRES)
LOT G1 IS $\pm 7,378$ (± 0.20 ACRES) - PROPOSED THREE FAMILY HOUSE
LOT G2 IS $\pm 14,495$ SF (0.33 ACRES) - PARCEL TO BE RETAINED BY THE CITY OF ROCHESTER
LOT G3 IS $\pm 29,002$ SF (± 0.67 ACRES) - PROJECT SITE/COMMUNITY OPEN SPACE
PROPOSED USE: COMMUNITY OPEN SPACE
- LOT DIMENSIONS ARE AS FOLLOWS:

	REQUIRED	PROPOSED
MIN. LOT AREA	N/A	29,002 SF
MIN. LOT WIDTH	N/A	N/A
SETBACKS		
FRONT YARD	AVG. BLDG. DEPTH OR 20'	102'
SIDE YARD	5' MIN	16'
REAR YARD	15' TOTAL	80'
MAX. BLDG. COVERAGE	20' OR EXISTING	169'
MAX. LOT COVERAGE	35%	2%
PARKING	50%	22%
	USE NOT LISTED IN CODE	6 (5 + 1 ACCESSIBLE)

THIS PROJECT WILL REQUIRE A SPECIAL PERMIT AND SITE PLAN REVIEW/APPROVAL FROM THE CITY BUREAU OF BUILDINGS AND ZONING.

- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
- THE EXISTING PARCELS NEED TO BE ADMINISTRATIVELY RE-SUBDIVIDED INTO THREE LOTS BY THE CITY OF ROCHESTER.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY SURVEY OFFICE.
- THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.

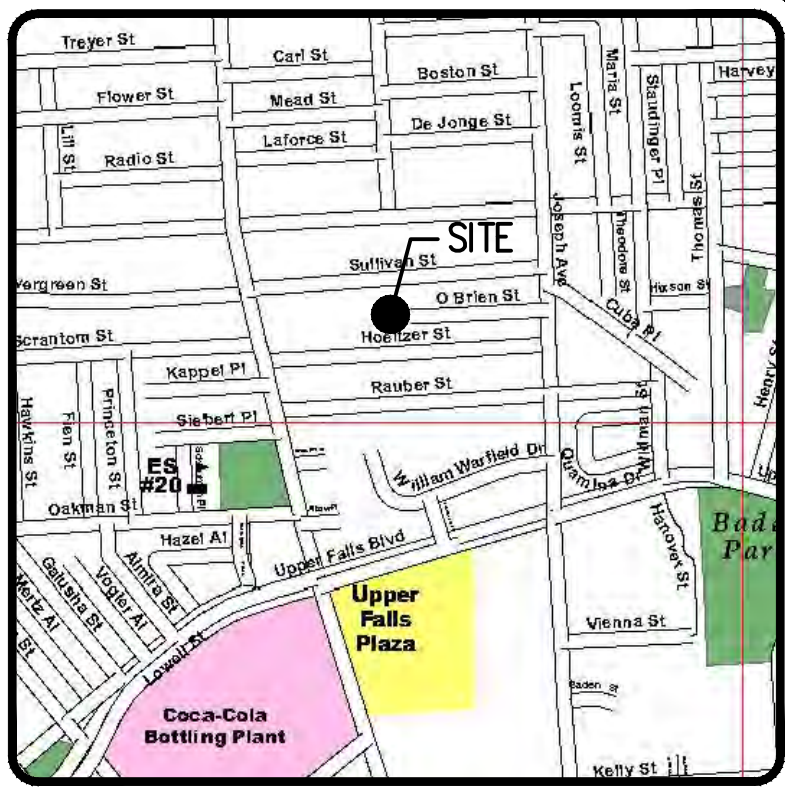
REFERENCES:

- A PLAN ENTITLED "MAP OF A SUBDIVISION OF LOTS NO'S 2 & 3 OF THE LEE TRACT FOR THE ESTATE OF JAMES SULLIVAN, 1872," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 3 OF MAPS, PAGE 109.
- A PLAN ENTITLED "MAP SHOWING LANDS OWNED BY JOHN RAAB & FERDINAND TEUTE," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 10 OF MAPS, PAGE 118.
- CITY OF ROCHESTER DISTRICT 14, MAP 17 & 18.
- AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.
- A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT NO. COR-217-21053, EFFECTIVE DATE MARCH 2, 2017.
- A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT NO. COR-217-21053-(A), EFFECTIVE DATE JULY 7, 2017.
- FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY NO. 360431, MAP NO. 36055C0211G, EFFECTIVE DATE AUGUST 28, 2008.

SURVEY NOTES:

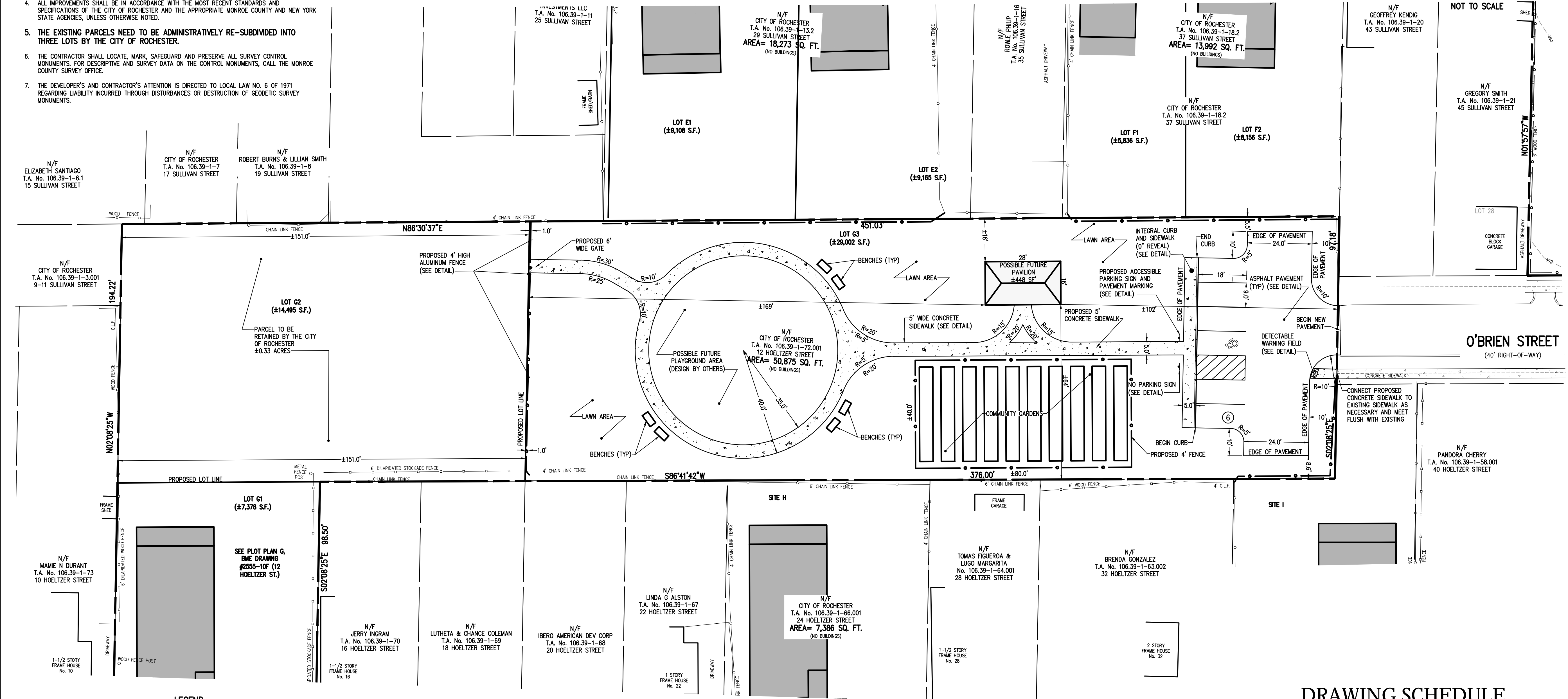
- CURRENT ZONING CLASSIFICATION: R-2
NOTE: TABLE A (ITEMS 8(A) & 8(B)) OF THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/SURVEY LAND TITLE SURVEYS INDICATES A ZONING REPORT OR LETTER TO BE PROVIDED TO THE SURVEYOR BY THE CLIENT. WE HAVE NOT RECEIVED A ZONING REPORT OR LETTER. ZONING INFORMATION SHOWN HEREON WAS TAKEN FROM THE CITY OF ROCHESTER CODE, CHAPTER 120, ARTICLE VI AS PUBLISHED ON ECODES30.COM
- PARCELS LIE WITHIN ZONE X PER REFERENCE 7.
- NO WETLAND DELINEATION MARKERS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE ASPHALT DRIVEWAY NEAR THE WESTERLY BOUNDARY LINE AS SHOWN HEREON.
- PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE CHAIN LINK FENCE NEAR THE SOUTHERLY BOUNDARY LINE OF ROBERT BURNS & LILLIAN SMITH (T.A. No. 106.39-1-8) AS SHOWN HEREON.
- BOUNDARY CORNERS WERE NOT SET IN THE PROCESS OF CONDUCTING THE FIELDWORK. EXTERIOR BOUNDARY CORNERS OF "SITE G" WILL BE SET WITH CAPPED 5/8" REBAR PRIOR TO ISSUANCE OF FINAL SURVEY MAPS.
- THE BEARING BASE SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD '83), WESTERN ZONE.

SEE DETAIL & NOTE SHEET BME DWG NO 255A-06C FOR SITE, UTILITY, GRADING, CONSTRUCTION EROSION CONTROL AND ROCHESTER WATER BUREAU DETAILS.



LOCATION MAP

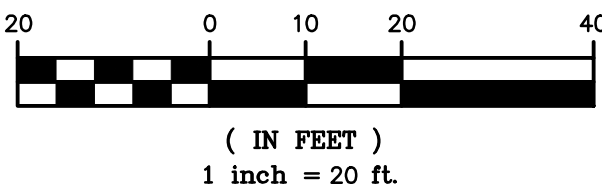
NOT TO SCALE



LEGEND

---	BOUNDARY LINE
---	PROPOSED LOT LINE
---	CENTERLINE
---	SETBACK LINE
---	ADJOINER LINE
---	PROPOSED EDGE OF PAVEMENT LINE
---	EXISTING EASEMENT LINE
○	PROPERTY MARKER FOUND
□	CONCRETE HIGHWAY MONUMENT FOUND

GRAPHIC SCALE



CITY OF ROCHESTER WATER BUREAU		
APPROVED ONLY FOR WATER FACILITY WORK SHOWN WITHIN THE PUBLIC RIGHT-OF-WAY, UP TO AND INCLUDING THE CURB VALVE, AND INCLUDING THE WATER METER VAULT NEAR THE RIGHT-OF-WAY, IF APPLICABLE. THE OWNER, DEVELOPER OR THEIR PLUMBER IS RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS FROM THE CITY BEFORE BEGINNING ANY WORK.		
IF A BACKFLOW PREVENTION DEVICE IS REQUIRED, THE WATER BUREAU WILL NOT ISSUE A WATER SERVICE PERMIT UNTIL THE PLANS FOR THE BACKFLOW PREVENTION DEVICE HAVE BEEN APPROVED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.		
<input type="checkbox"/> BACKFLOW DEVICE REQUIRED	<input type="checkbox"/> BACKFLOW DEVICE NOT REQUIRED	
SIGNATURE	TITLE	DATE

DRAWING SCHEDULE

2555A-01C	SITE PLAN
2555A-02C	GRADING, UTILITY & CONSTRUCTION EROSION CONTROL PLAN
2555A-03C	LANDSCAPE PLAN
2555A-04C	LIGHTING PLAN
2555A-05C	NOTE SHEET
2555A-06C	DETAIL SHEET

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "Altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

REVISIONS	DATE	BY
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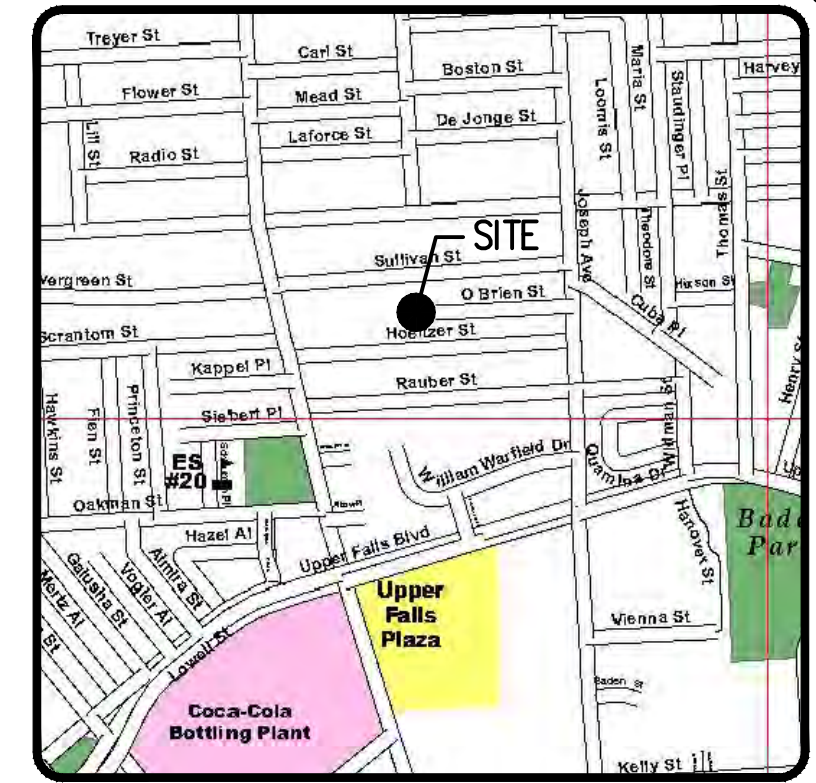
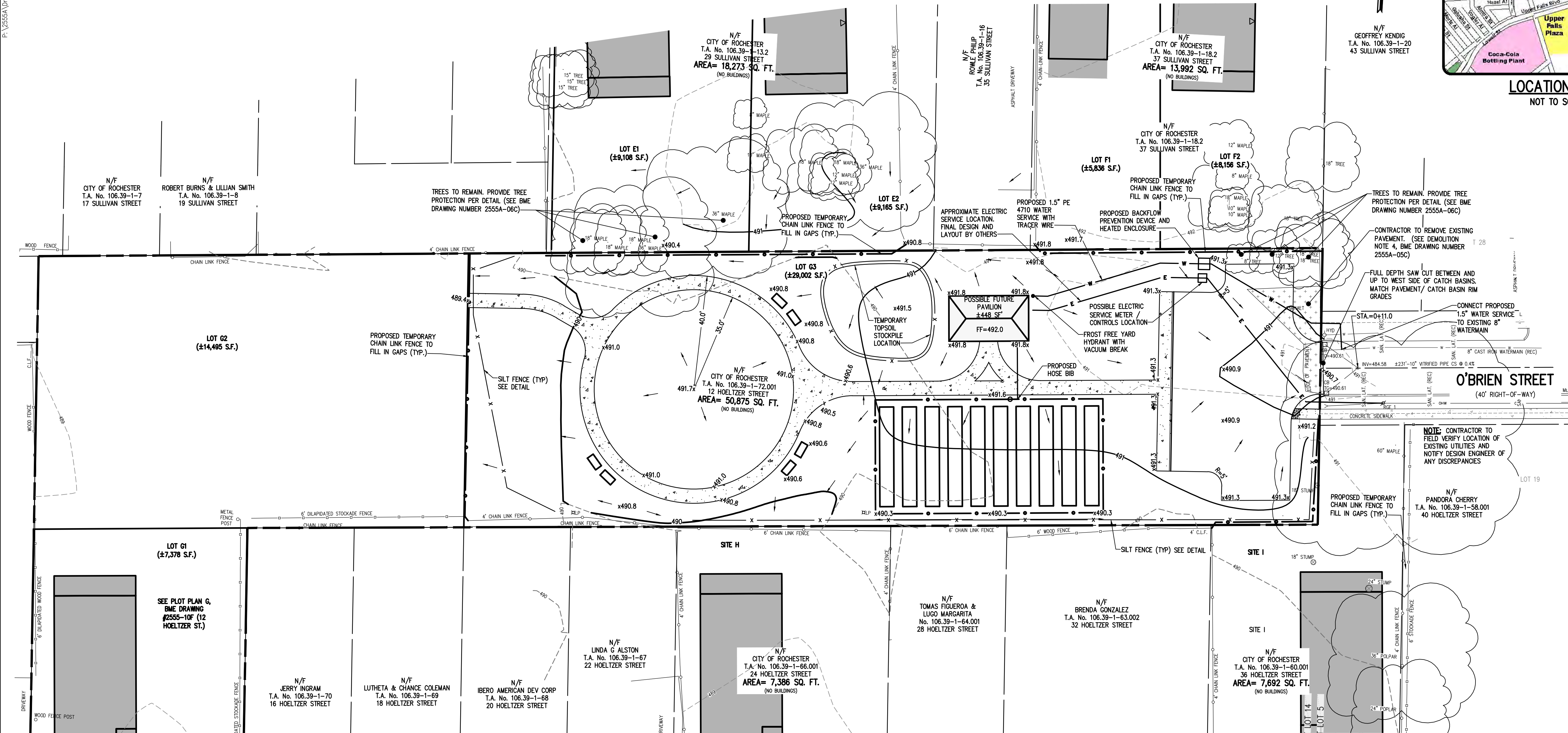


PUEBLO NUEVO HOUSING
O'BRIEN STREET COMMUNITY OPEN SPACE (LOT G3)
ROCHESTER, MONROE COUNTY, NEW YORK STATE
IBERO AMERICAN DEVELOPMENT
1545A W. 14TH STREET
ROCHESTER, NY 14621

PROJECT	LOCATION	CLIENT	DRAWING TITLE

PROJECT MANAGER	PROJECT ENGINEER
L. SWEDROCK	F. SHELLEY
DRAWN BY	J. JONES
SCALE	DATE ISSUED
1"=20'	MARCH 2018
PROJECT NO.	

DRAWING NO. **2555A**
01C



Drawing Alteration
The following is an exception from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way, if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation 'Altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

REVISIONS	DATE	BY
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10 LIFT BRIDGE LANE EAST
ROCHESTER, NY 14609
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FAX 585-377-7309
WWW.BME-CC.COM

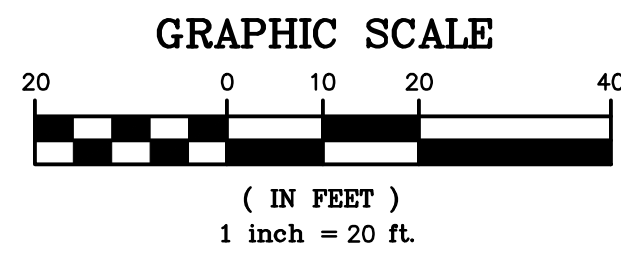


PUEBLO NUEVO HOUSING
OBRIEN STREET COMMUNITY OPEN SPACE
ROCHESTER, MONROE COUNTY, NEW YORK STATE
IBERO-AMERICAN DEVELOPMENT
1545A CANTON AVENUE
ROCHESTER, NY 14621
FINAL
UTILITY, GRADING AND CONSTRUCTION EROSION CONTROL PLAN

PROJECT: L. SWEDROCK
LOCATION: F. SHELLEY
CLIENT: J. JONES
DRAWN BY: J. JONES
SCALE: 1"=20'
DATE ISSUED: AUGUST 2018
PROJECT NO.: 2555A
DRAWING NO.: 02C

LEGEND

- BOUNDARY LINE
- PROPOSED LOT LINE
- CENTERLINE
- SETBACK LINE
- ADJOINER LINE
- PROPOSED EDGE OF PAVEMENT LINE
- EXISTING EASEMENT LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED FINISHED GRADE
- PROPOSED SILT FENCE
- EXISTING PAVEMENT AREAS TO BE REMOVED AT FULL DEPTH



SEE NOTE SHEET BME DWG NO 255A-05C FOR UTILITY, GRADING, CONSTRUCTION EROSION CONTROL, ROCHESTER WATER BUREAU AND ROCHESTER PURE WATER NOTES.

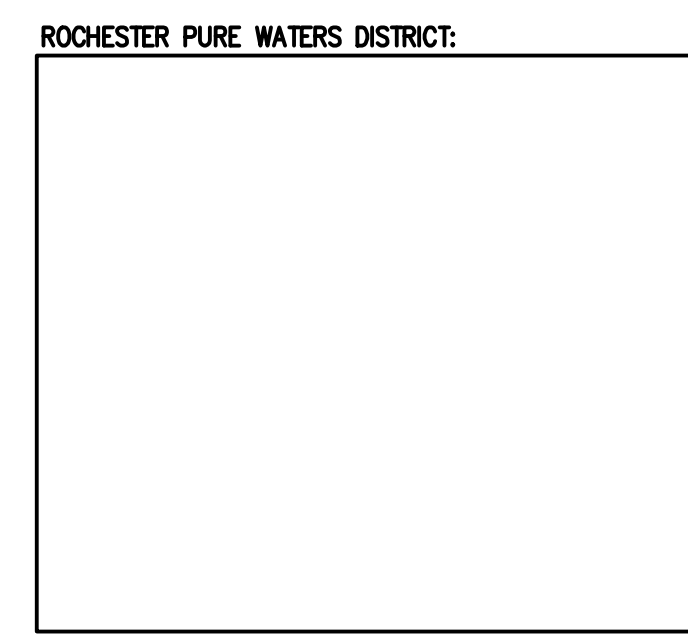
SEE DETAIL & NOTE SHEET BME DWG NO 255A-06C FOR SITE, UTILITY, GRADING, CONSTRUCTION EROSION CONTROL AND ROCHESTER WATER BUREAU DETAILS.

CITY OF ROCHESTER WATER BUREAU
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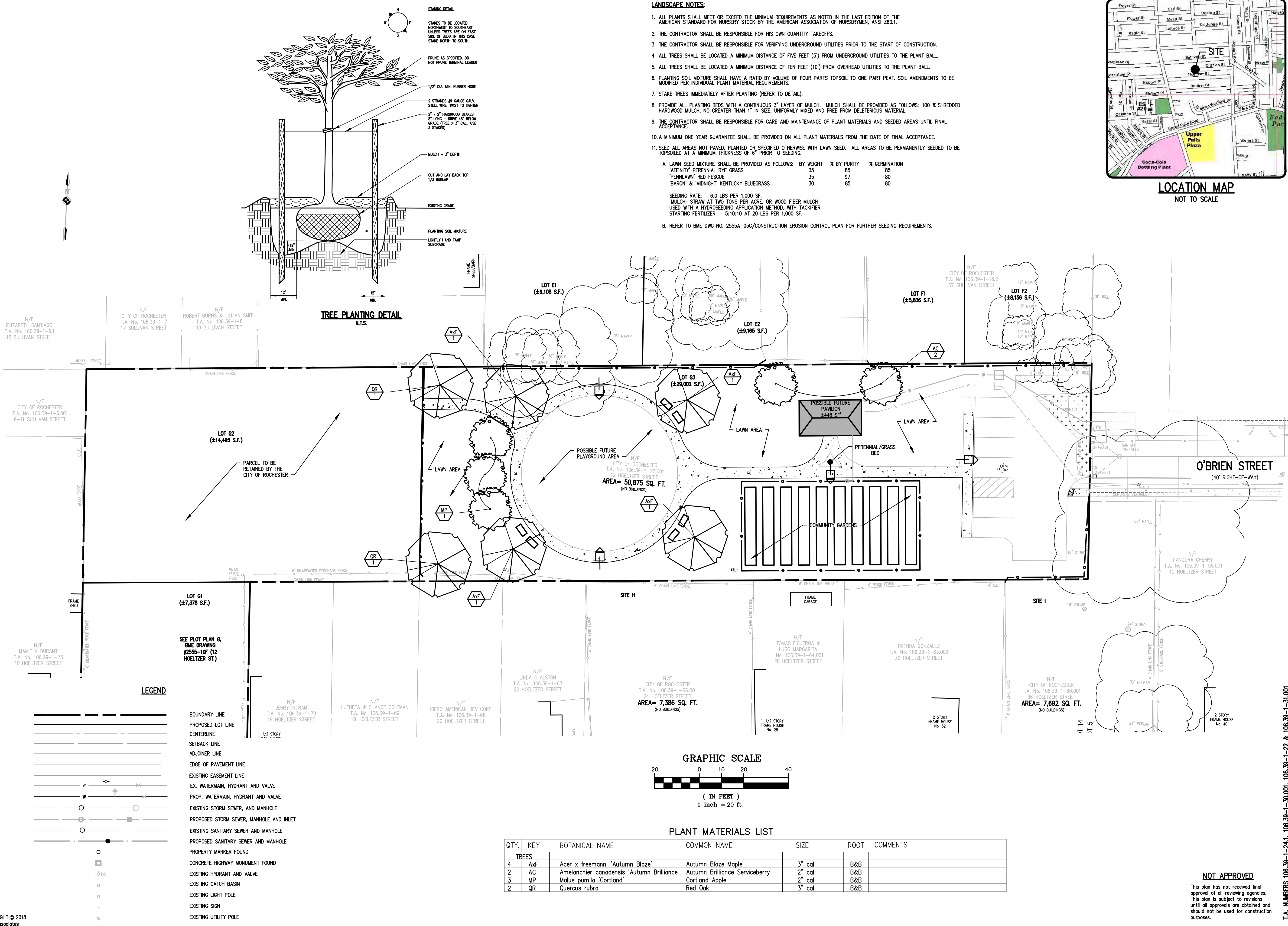
IF A BACKFLOW PREVENTION DEVICE IS REQUIRED, THE WATER BUREAU WILL NOT ISSUE A WATER SERVICE PERMIT UNTIL THE PLANS FOR THE BACKFLOW PREVENTION DEVICE HAVE BEEN APPROVED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.

☐ BACKFLOW DEVICE REQUIRED ☐ BACKFLOW DEVICE NOT REQUIRED

SIGNATURE _____ TITLE _____ DATE _____



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NO.	REVISIONS	DATE
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ROCHESTER, NEW YORK 14650
WWW.BME-ECORP.COM

REGISTERED LANDSCAPE ARCHITECT
NEW YORK

PUEBLO NUEVO HOUSING
O'BRIEN STREET COMMUNITY PARK
ROCHESTER, MONROE COUNTY, NEW YORK STATE
IBERO-AMERICAN DEVELOPMENT
1644 W. MONROE AVENUE
ROCHESTER, NY 14621

FINAL LANDSCAPE PLAN

PROJECT LOCATION CLIENT DRAWING TITLE

PROJECT MANAGER
L. SWEDROCK
PROJECT ENGINEER
F. SHELLEY
DRAWN BY
L. ROCKCASTLE

SCALE DATE ISSUED
AS SHOWN FEBRUARY 2018
PROJECT NO.

2555A
DRAWING NO. **03C**

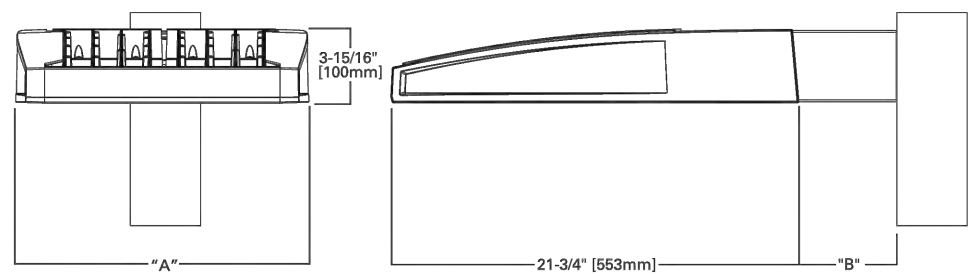
T.A. NUMBERS 106.39-1-24.1, 106.39-1-30.001, 106.39-1-22 & 106.39-1-31.001

NOT APPROVED
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LUMINAIRE SCHEDULE

TYPE SYMBOL	QTY	MANUFACTURER	CATALOGUE NUMBER	ARRANGEMENT	WATTAGE	LUMENS/LAMP	LLF	MH	POLE	DESCRIPTION
A	3	GLEON-AE-O4-LED-E1-SL4-HSS		Single	264	25468	1.0	12'	10'	GALLEON SERIES SINGLE LED POLE MOUNT FIXTURE WITH FULL CUT-OFF WIDE THROW OPTICS
B	1	GLEON-AE-O4-LED-E1-SL3		Single	264	25468	1.0	12'	10'	GALLEON SERIES SINGLE LED POLE MOUNT FIXTURE WITH FULL CUT-OFF WIDE THROW OPTICS

DIMENSIONS

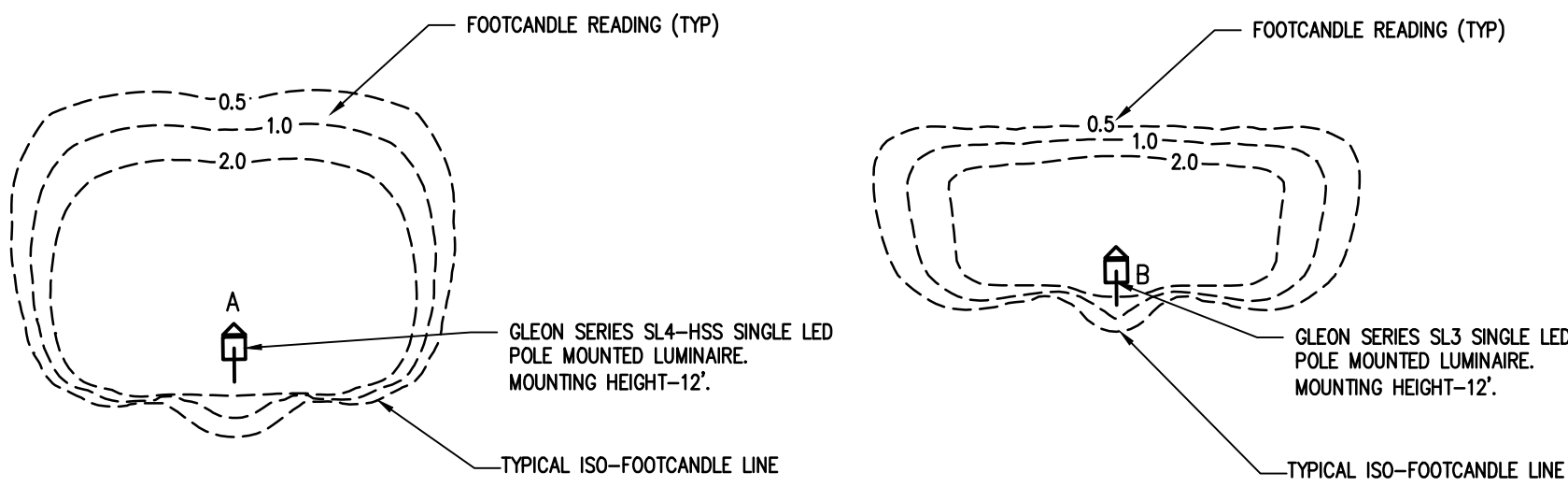
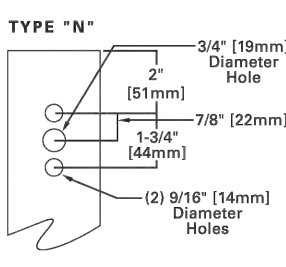


DIMENSION DATA

Number of Light Spheres	"A" Width (384mm)	"B" Standard Arm Length (178mm)	"B" Optional Arm Length (254mm)	Weight with Arm (lbs.) (15.0 kgs.)	EPA with Arm (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8" (548mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA calculated with optional arm length.

DRILLING PATTERN



TYPICAL FIXTURE DETAIL

N.T.S.

TYPICAL ISO-FOOTCANDLE PLOTS

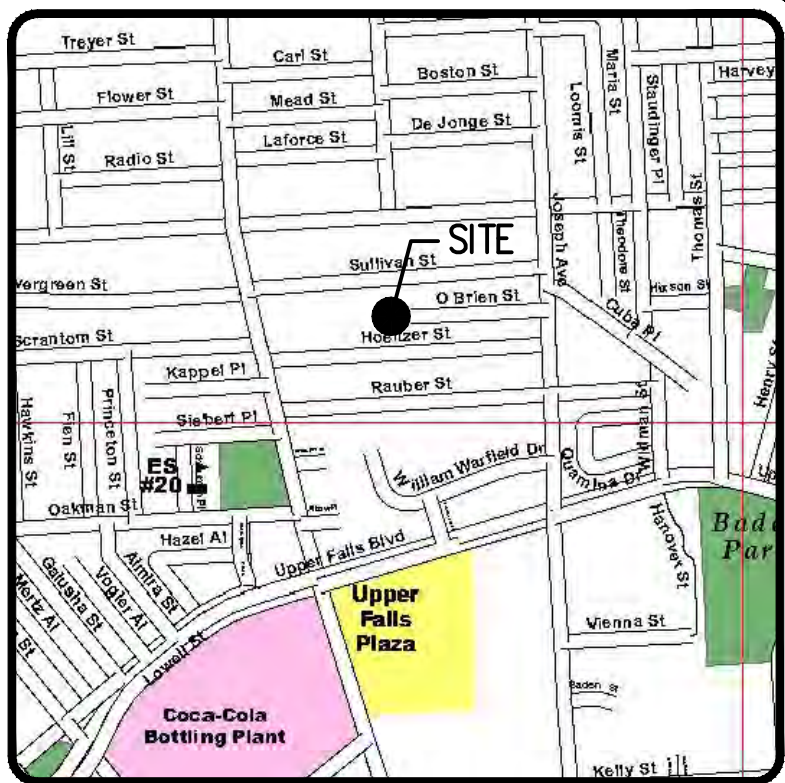
N.T.S.

12' MOUNTING HEIGHT LIGHT POLE DETAIL

N.T.S.

LIGHT POLE BASE DETAIL

N.T.S.



LOCATION MAP

NOT TO SCALE

Drawing Alteration
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REVISIONS	DATE	BY
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PUEBLO NUEVO HOUSING
O'BRIEN STREET COMMUNITY PARK OPEN SPACE
ROCHESTER, MONROE COUNTY, NEW YORK STATE
IBERO-AMERICAN DEVELOPMENT
1645A CASHA ROAD
ROCHESTER, NY 14621

FINAL LIGHTING PLAN
PROJECT: O'BRIEN STREET COMMUNITY PARK OPEN SPACE
LOCATION: ROCHESTER, MONROE COUNTY, NEW YORK STATE
CLIENT: IBERO-AMERICAN DEVELOPMENT
DRAWING TITLE: FINAL LIGHTING PLAN

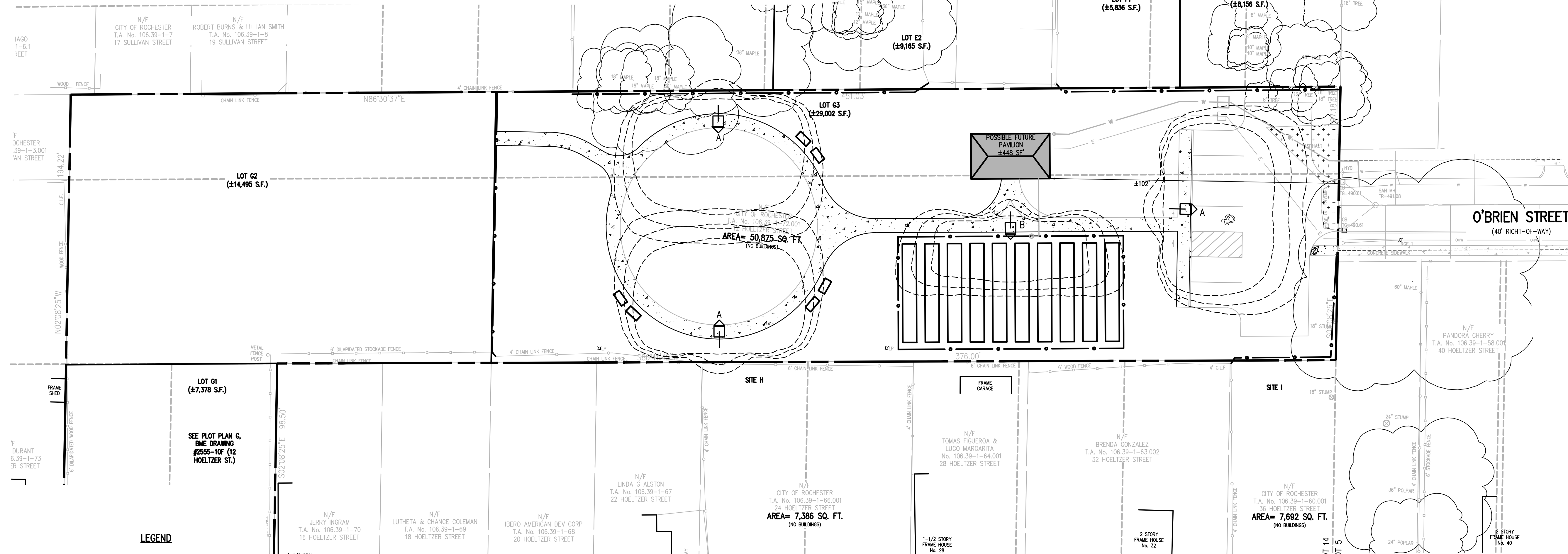
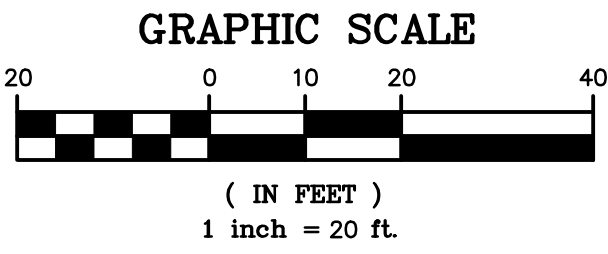
PROJECT MANAGER: L. SWEDROCK
PROJECT ENGINEER: F. SHELLEY
DRAWN BY: L. ROCKCASTLE
SCALE: AS SHOWN
DATE ISSUED: FEBRUARY 2018
PROJECT NO.: 2555A
DRAWING NO.: 04C

T.A. NUMBERS 106.39-1-24.1, 106.39-1-30.001, 106.39-1-22 & 106.39-1-31.001

NOT APPROVED
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

LIGHTING NOTES:

- SITE LIGHTING TO BE PROVIDED AS DETAILED IN PROVIDED LUMINAIRE SCHEDULE, OR APPROVED EQUIVALENT.
- ALL LIGHT POLES TO BE SQUARE ALUMINUM POLES, AND SUPPLIED WITH MATCHED POLE TOP AND BASE COVER.
COOPER LIGHTING CAT # GLEON-AF-1-LED-E1-SL4-HSS-BK (TYPE A: SINGLE) (# OF FIXTURES = 3)
GLEON-AF-1-LED-E1-SL3-BK (TYPE B: SINGLE) (# OF FIXTURES = 1)
*MOUNTING HEIGHT TO BE MAXIMUM OF 12' FOR WALKWAY AND PARKING AREAS (FIXTURE TYPE A AND B)
- ALL SITE LIGHTING TO BE DARK SKY COMPLIANT.
- ALL SITE LIGHTING TO BE CONTROLLED WITH DUSK TO DAWN PHOTO CONTROLS.
- CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES AND TAKEOFFS.
- CONTRACTOR TO PROVIDE FINAL CUT SHEET AND SHOP DRAWINGS OF PROPOSED LIGHT FIXTURES, POLES AND LIGHT BASES FOR REVIEW AND APPROVAL BY OWNER PRIOR TO INSTALLATION. CONTRACTOR RESPONSIBLE TO PROVIDE LIGHTING POINT PLOT FOR OWNER REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- OWNER / CONTRACTOR IS RESPONSIBLE FOR ELECTRICAL SERVICE DISTRIBUTION DESIGN AND LIGHTING CIRCUITRY DESIGN.



LEGEND

---	BOUNDARY LINE
---	PROPOSED LOT LINE
---	CENTERLINE
---	SETBACK LINE
---	ADJOINER LINE
---	EDGE OF PAVEMENT LINE
---	EXISTING EASEMENT LINE
---	EX. WATERMAIN, HYDRANT AND VALVE
---	PROP. WATERMAIN, HYDRANT AND VALVE
---	EXISTING STORM SEWER, AND MANHOLE
---	PROPOSED STORM SEWER, MANHOLE AND INLET
---	EXISTING SANITARY SEWER AND MANHOLE
---	PROPOSED SANITARY SEWER AND MANHOLE
---	PROPERTY MARKER FOUND
---	CONCRETE HIGHWAY MONUMENT FOUND
---	EXISTING HYDRANT AND VALVE
---	EXISTING CATCH BASIN
---	EXISTING LIGHT POLE
---	EXISTING SIGN
---	EXISTING UTILITY POLE

RWB WATER MAIN AND SERVICE NOTES

1. WATER MAINS AND APPURTENANCES TO BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE ROCHESTER WATER BUREAU. ALL PIPE PRODUCTS, FITTINGS AND ACCESSORIES SHALL CONFORM TO THE LATEST ROCHESTER WATER BUREAU (RWB) APPROVED PRODUCTS LIST WHICH CAN BE FOUND ON THE CITY WEBSITE: [HTTP://WWW.CITYOFROCHESTER.GOV/WATERDOCUMENTS/](http://www.cityofrochester.gov/waterdocuments/).
2. ALL NEW WATER MAINS AND SERVICES SHALL BE INSTALLED WITH A MINIMUM COVER DEPTH FROM PROPOSED FINISHED GRADE OF 4.5 FEET FOR DOMESTIC MAINS AND 5.0 FEET FOR HOLLY MAINS.
3. THE ROCHESTER WATER BUREAU REQUIRES THAT A HYDRANT USE PERMIT BE OBTAINED BY THE CONTRACTOR PRIOR TO USING ANY HYDRANT AS A SOURCE OF WATER SUPPLY. THE PERMIT REQUIRES THE USE OF A WATER METER AND A BACKFLOW PREVENTER. THE WATER BUREAU WILL SUPPLY A WATER METER AND BACKFLOW PREVENTER WITH THE PERMIT. THE PERMIT FEE INCLUDES A REFUNDABLE DEPOSIT FOR THE USE OF THE WATER METER AND BACKFLOW PREVENTER.
4. FOR EXISTING VALVES AND CURB STOPS THAT ARE LOCATED ON WATER MAIN AND WATER SERVICES WHICH ARE TO BE RETAINED, THE EXISTING VALVE AND CURB BOXES SHALL BE ADJUSTED TO GRADE OR REPLACED AS SHOWN ON THE PLANS OR DIRECTED BY THE PROJECT MANAGER.
5. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING NEAR WATER MAINS WHICH ARE TO BE RETAINED, NO VIBRATORY EQUIPMENT IS TO BE USED OVER OR ADJACENT TO EXISTING WATER MAINS.
6. APPROPRIATE MEASURES SHALL BE TAKEN TO PREVENT DIRT, DEBRIS, SURFACE AND GROUND, WATER FROM CONTAMINATING THE WATER MAIN AND WATER SERVICE. THE WATER LEVEL IN THE EXCAVATION AT OPEN PIPE ENDS SHALL NEVER BE LESS THAN 12 INCHES BELOW THE INVERT OF THE WATER MAIN. WHENEVER AN OPEN PIPE END IS LEFT UNATTENDED, IT SHALL BE COVERED IN A WATER TIGHT MANNER.
7. STAINLESS STEEL INSERTS ARE REQUIRED ON ALL POLYETHYLENE (PE) SERVICE FITTINGS.
8. TRACER WIRE IS REQUIRED ON ALL BURIED NON-METALLIC WATER MAINS AND WATER SERVICES.
9. A PRECONSTRUCTION MEETING IS REQUIRED WITH THE ROCHESTER WATER BUREAU AFTER THE ISSUING OF A PERMIT, BUT BEFORE CONSTRUCTION OF THE WATER MAIN OR SERVICE BEGIN. CONTACT THE ROCHESTER WATER BUREAU AT (585) 428-7500 AND REQUEST TO SPEAK TO WATER ENGINEERING TO SCHEDULE THE MEETING.

GRADING NOTES:

1. BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY. NO RESTRICTION IS INTENDED AS TO SIZE OR LOCATION OTHER THAN APPLICABLE ZONING REQUIREMENTS.
2. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER, THE APPROPRIATE AGENCIES (I.E. ROCHESTER PURE WATERS DISTRICT, CITY OF ROCHESTER WATER BUREAU, AND THE MONROE COUNTY HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
4. THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF EXISTING SURVEY MONUMENTS.
5. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, A FIELD SURVEY NEEDS TO BE COMPLETED AND THE CONTRACTOR SHALL CALL THE UPO HOTLINE AT (800)962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
6. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
7. THE OWNER AND THE CONTRACTOR SHALL HAVE COMPLETE KNOWLEDGE OF THE CURRENT BLASTING POLICY FOR THE CITY OF ROCHESTER, AND THEY WILL CONFORM TO THIS POLICY AT ALL TIMES.
8. THE SITE CONTRACTOR AND DEVELOPER SHALL BE RESPONSIBLE FOR IMPLEMENTING EROSION CONTROL MEASURES FOR SITE CONSTRUCTION. THE MEASURES ARE TO REMAIN IN PLACE UNTIL SITE CONSTRUCTION IS COMPLETE AND THE LAWN IS ESTABLISHED.
9. ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES--PERMIT OFFICE, 585-428-6848.
10. A PERMIT FOR THE WATER SERVICE INSTALLATION IS TO BE OBTAINED BY A PLUMBER, LICENSED BY THE CITY OF ROCHESTER. A PERMIT MAY BE OBTAINED THROUGH THE DEPARTMENT OF ENVIRONMENTAL SERVICES--PERMIT OFFICE, CITY HALL, 30 CHURCH STREET, ROOM 121B, 585-428-6848.
11. THE CONTRACTOR SHALL CONTROL DUST ONSITE AS DIRECTED BY THE CITY OF ROCHESTER.
12. FILL MATERIAL PLACED IN THE BUILDING AND PAVEMENT AREAS SHALL BE SELECT MATERIAL AND COMPACTED TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557) OR AS DIRECTED BY A GEOTECH. THE CONTRACTOR SHALL SUPPLY THE ENGINEER AND THE OWNER WITH COMPACTION TEST RESULTS PRIOR TO PLACING THE STONE SUBBASE.
13. CONTRACTOR SHALL INSTALL STONE SUBBASE AND THE ASPHALT CONCRETE BINDER COURSE, PRIOR TO PLACING THE BINDER COURSE, THE PARKING LOT/DRIVEWAY SHALL BE REVIEWED BY THE ENGINEER AND THE OWNER.
14. CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE TO INSPECT GROUND DURING TOPSOIL REMOVAL & CLEARING AND GRUBBING PROCESS. HOLES RESULTING FROM TREE ROOT REMOVAL SHOULD BE BACKFILLED AND COMPACTED WITH STRUCTURAL BACKFILL AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
15. CONTRACTOR TO REMOVE AND DISPOSE OF ALL TREES WITHIN THE AREAS IDENTIFIED TO BE CLEARED AND GRUBBED. TREES ADJACENT TO PROPOSED SITE DEVELOPMENT TO BE PROTECTED UNLESS OTHERWISE NOTED ON PLANS. SEE TREE PROTECTION DETAIL FOR FURTHER INFORMATION.
16. APPROXIMATE BEDROCK ELEVATION IS 482' BASED ON FOUNDATION DESIGN, P.C.'S DECEMBER 2017 GEOTECHNICAL EVALUATION REPORT FOR THE PUEBLO NUOVO HOUSING.

CONSTRUCTION EROSION CONTROL NOTES:

1. THE CONSTRUCTION EROSION CONTROL PLAN CONSISTS OF THE PROJECT PLANS, INCLUDING THE GRADING, CONSTRUCTION EROSION CONTROL PLAN, DETAIL SHEETS, AND THE CITY OF ROCHESTER DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL.
2. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED CONSTRUCTION EROSION CONTROL PLAN, THE OWNER'S CONTRACTOR, SUB-CONTRACTOR, AND ALL OTHERS ASSOCIATED WITH THE IMPLEMENTATION OF THE PLAN SHALL BE FAMILIAR WITH THE PLAN AND THE CONDITIONS OF THE CITY OF ROCHESTER FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
3. ANY MODIFICATIONS OR DEVIATIONS FROM THE PLANS INCLUDING EROSION CONTROL MEASURES AND STORMWATER MANAGEMENT AREAS, SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE DESIGN ENGINEER AND THE CITY OF ROCHESTER.
4. THE OWNER'S CONTRACTOR /REPRESENTATIVE SHALL IDENTIFY AT LEAST ONE INDIVIDUAL TO BE TRAINED FROM THEIR COMPANY THAT WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE CONSTRUCTION EROSION CONTROL PLAN. THE OWNER/OPERATOR SHALL ENSURE THAT AT LEAST ONE OF THE TRAINED INDIVIDUALS IS ON SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED.
5. FOR DISTURBANCES LESS THAN 5 ACRES, DISTURBED AREAS EXPOSED FOR 14 DAYS OR MORE MUST BE TEMPORARILY SEEDDED, IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY GROUNDCOVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL.
6. THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION.
7. ALL DISTURBED AREAS TO BE RECLAIMED WITH A MINIMUM OF 6" OF TOPSOIL.
8. TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:

THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENEED BY DISKING, RAKING, OR BACK-BLADING WITH A BULLDOZER. IMMEDIATELY FERTILIZE WITH 300 LBS PER ACRE (OR 7 LBS. PER 1000 SQ. FT.) OF 10-10-10 FERTILIZER. IMMEDIATELY SEED WITH THE FOLLOWING MIX:

	<u>LBS./ACRE</u>	<u>LBS./1000 SQ. FT.</u>
ANNUAL RYEGRASS	40	1
PERENNIAL RYEGRASS	40	1
OATS	40	1
WHITE CLOVER (+ INOCULANT)	4	0.1

SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.

9. DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:

	<u>LBS/ACRE</u>	<u>% BY PURITY</u>	<u>% GERM</u>
PERENNIAL RYE GRASS	35	85	85
RED FESCUE	35	97	80
KENTUCKY BLUEGRASS	30	85	80

MULCH: SEEDING RATE: 6.0 LBS PER 1,000 SQ. FT.
STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING METHOD
AT TWO TONS PER ACRE WITH TACKIFIER
STARTING FERTILIZER: 5-10-10 AT 20 LBS PER SQ. FT

10. ALL SEEDED AREAS ARE TO BE MONITORED FOR GERMINATION AND EROSION. ERODED AREAS ARE TO BE BACKFILLED, FINE GRADED AND RE-SEEDDED. AREAS THAT FAIL TO GERMINATE A MINIMUM OF 80% SHALL BE RE-SEEDDED.
11. ANY EXCAVATIONS THAT MUST BE DEWATERED SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE BEFORE ENTERING AN ACTIVE DRAINAGE SYSTEM OR DISPERSED TO AN UNDISTURBED AREA.
12. THE OWNER SHALL BE RESPONSIBLE FOR REMOVING EXISTING EROSION CONTROL MEASURES THAT ARE LOCATED WITHIN ESTABLISHED AREAS. MATERIALS ARE TO BE DISPOSED OF PROPERLY.

SEQUENCE OF CONSTRUCTION STEPS:

STEP 1: (SITE PREPARATION AND DEMOLITION)

- INSTALL AND MAINTAIN PERIMETER SECURITY FENCE, STABILIZED CONSTRUCTION ENTRANCE (SEE DETAIL), AND CONSTRUCTION STAGING AREA
- INSTALL PERIMETER SILT FENCE

STEP 2: (CONSTRUCTION ACTIVITY)

- STRIP TOPSOIL FROM THE SITE AND STOCKPILE IT IN THE DETERMINED AREAS. INSTALL SILT FENCE AROUND PERIMETER OF TOPSOIL PILE AND SEED WITH TEMPORARY SEEDING MIX.
- MAINTAIN AND REMOVE EXISTING ASPHALT FROM THE SITE AS REQUIRED. CONTRACTOR TO REMOVE EXISTING STRUCTURES, UTILITIES, FENCE, SIGNAGE, SIDEWALK ETC. (AS NOTED ON THE PLANS). CONTRACTOR TO PREPARE SITE AS NECESSARY.
- PEDESTRIAN AND VEHICLE ACCESS IS TO BE MAINTAINED.
- COMMENCE GRADING OPERATIONS. INSTALL ADDITIONAL EROSION CONTROL MEASURES. MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL GROUND COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE CITY/GOVERNING AGENCY. CONTRACTOR TO FINE GRADE, SEED, AND MULCH AREAS DISTURBED AREAS WITHIN 7 DAYS IF NOT WORKED WITHIN 7 DAYS. SEED WITH SEED MIX AS INDICATED, AND PROVIDE MULCH AS SPECIFIED IN THE CONSTRUCTION EROSION CONTROL NOTES.
- COMPLETE EARTHWORK, INCLUDING FINE GRADING OF SWALES.
- CONTRACTOR MAY INSTALL UTILITIES AND LATERALS DURING GRADING OPERATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STABILIZE THE SITE AND VERIFY GRADING ELEVATIONS PRIOR TO UTILITY CONSTRUCTION. ADDITIONAL EROSION CONTROL MEASURE SHALL BE PROVIDED AS SHOWN IN THE PLANS, OR AS DIRECTED.
- COMPLETE INSTALLATION OF UNDERGROUND UTILITIES.
- MAINTAIN SILT FENCE
- USE CONSTRUCTION EROSION CONTROL NOTES FOR REQUIRED SEED MIXES AND WINTER SITE STABILIZATION METHODOLOGY.
- DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE CITY OR OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE EXISTING ROADWAYS AND DRAINAGE CHANNELS FREE OF MUD, DIRT, AND DEBRIS. THE CONTRACTOR WILL CLEAN THESE AREAS AS NECESSARY OR AS REQUIRED BY THE OWNER OR CITY OF ROCHESTER.

FORESTRY GENERAL NOTES

1. CONTRACTOR IS TO BE AWARE OF AND FAMILIAR WITH REQUIREMENTS OF SECTIONS 89.9 TREES AND 89.12 PENALTIES OF CITY CODE AS THEY WILL BE STRICTLY ADHERED TO. CITY CODE CAN BE FOUND ON CITY OF ROCHESTER'S WEB SITE AT [http://www.cityofrochester.gov/services_under 'city charter and code online.'](http://www.cityofrochester.gov/services_under_city_charter_and_code_online)
2. CONTRACTOR IS TO PROVIDE PROTECTION FOR ALL EXISTING TREES WITHIN PROJECT LIMITS THROUGHOUT COURSE OF PROJECT TO MINIMIZE, AS MUCH AS POSSIBLE, ANY DAMAGE FROM OCCURRING TO EXISTING TREES AS RESULT OF CONTRACTOR'S OPERATIONS. TREE PROTECTION IS TO CONSIST OF ORANGE CONSTRUCTION SAFETY FENCING OR WOOD RAILS PLACED AROUND AND COMPLETELY ENCOMPASSING EACH EXISTING TREE AND IS TO BE IN PLACE BEFORE ANY WORK IS STARTED PER SECTION S617 TREE PROTECTION AND CONTRACT DOCUMENTS.
3. OVERALL EXISTING TREE ROOT SYSTEM MUST REMAIN STRUCTURALLY ADEQUATE FOR EXISTING TREE TO WITHSTAND HEAVY WINDSTORMS. IN AREAS OF CURB/CONCRETE, GUTTER/PAVEMENT WORK, ANY EXISTING TREE ROOTS THAT ARE 2 INCHES OR LARGER IN DIAMETER AND ARE IN CONFLICT WITH SUCH WORK, MUST BE INSPECTED BY CITY FORESTRY BEFORE CUTTING CAN OCCUR. CONTRACTOR MUST CONTACT CITY FORESTRY AT (585) 428-7581 TO MAKE ARRANGEMENTS FOR SUCH INSPECTION. EXISTING TREES THAT ARE SMALLER THAN 2 INCHES IN DIAMETER ARE TO BE CUT CLEANLY WITH SHARP IMPLEMENTS.
4. IN AREAS OF SIDEWALK CONSTRUCTION, EXISTING TREE ROOTS THAT ARE LOCATED UNDER AREA OF SIDEWALK CONSTRUCTION ARE NOT TO BE CUT. IF ANY OF EXISTING TREE ROOTS ARE 2 INCHES OR LARGER IN DIAMETER, SUB BASE COURSE MATERIAL IS NOT TO BE INSTALLED WITHIN 1 FOOT OF EXISTING TREE ROOT(S), AND CONCRETE IS TO BE POURED OVER EXISTING TREE ROOT(S).
5. IN AREAS OF DRIVEWAY, DRIVEWAY APPROACHES AND SIDEWALK ACCESS RAMP CONSTRUCTION, EXISTING TREE ROOTS ARE NOT TO BE CUT BY MEANS OF MECHANICAL TREE ROOT CUTTING MACHINES. IF ANY OF EXISTING TREE ROOTS MUST BE CUT, THEY ARE TO BE CUT MANUALLY WITH SHARP IMPLEMENTS.
6. IN AREAS WHERE EXISTING TREE ROOTS BECOME EXPOSED BY CONSTRUCTION ACTIVITIES, THEY ARE TO BE COVERED WITH MULCH, TOPSOIL OR MOISTENED BURLAP, AND WATERED STRONGLY IMMEDIATELY AFTER EXPOSURE AND CONTINUING UNTIL EXCAVATED AREA IS RESTORED.
7. IF HEAVY EQUIPMENT MUST BE DRIVEN ON TREE LAWN OVER TREE ROOT ZONE, PLYWOOD MUST BE PLACED ON GROUND/TREE LAWN AREA SO AS TO DISPERSE COMPACTION AND PREVENT SOIL RUTTING.

UTILITY NOTES:

1. BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY. NO RESTRICTION IS INTENDED AS TO SIZE OR LOCATION OTHER THAN APPLICABLE ZONING REQUIREMENTS.
 2. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER, THE APPROPRIATE AGENCIES (I.E. ROCHESTER PURE WATERS DISTRICT, CITY OF ROCHESTER WATER BUREAU, AND THE MONROE COUNTY HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
 3. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
 4. THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
 5. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, A FIELD SURVEY NEEDS TO BE COMPLETED AND THE CONTRACTOR SHALL CALL THE DGS SAFELY NY HOTLINE AT (800)962-7392 FOR STAKE-OUT OF EXISTING UTILITIES.
 6. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
 7. ALL SERVICES SHALL AS BE NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS.
- WATER: 1"= 6710 FROM THE PUBLIC WATERMAIN TO THE BUILDING.
8. THE OWNER AND THE CONTRACTOR SHALL HAVE COMPLETE KNOWLEDGE OF THE CURRENT BLASTING POLICY FOR THE CITY OF ROCHESTER, AND THEY WILL CONFORM TO THIS POLICY AT ALL TIMES.
 9. THE SITE CONTRACTOR AND DEVELOPER SHALL BE RESPONSIBLE FOR IMPLEMENTING EROSION CONTROL MEASURES FOR SITE CONSTRUCTION. THE MEASURES ARE TO REMAIN IN PLACE UNTIL SITE CONSTRUCTION IS COMPLETE AND THE LAWN IS ESTABLISHED.
 10. ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES--PERMIT OFFICE, 585-428-6848.
 11. A PERMIT FOR THE WATER SERVICE INSTALLATION IS TO BE OBTAINED BY A PLUMBER, LICENSED BY THE CITY OF ROCHESTER. A PERMIT MAY BE OBTAINED THROUGH THE DEPARTMENT OF ENVIRONMENTAL SERVICES--PERMIT OFFICE, CITY HALL, 30 CHURCH STREET, ROOM 121B, 585-428-6848.
 12. HYDRANT FLOW TEST PERFORMED BY CITY OF ROCHESTER WATER BUREAU ON O'BRIEN STREET

START PRESSURE:	22.0 PSI
RESIDUAL PRESSURE:	22.0 PSI
FLOW AT 20 PSI:	1,797 GPM
OBSERVED FLOW:	1,743 GPM
DATE:	2/20/18

7			
6			
5			
4			
3			
2			
1			
REVISIONS		DATE	BY

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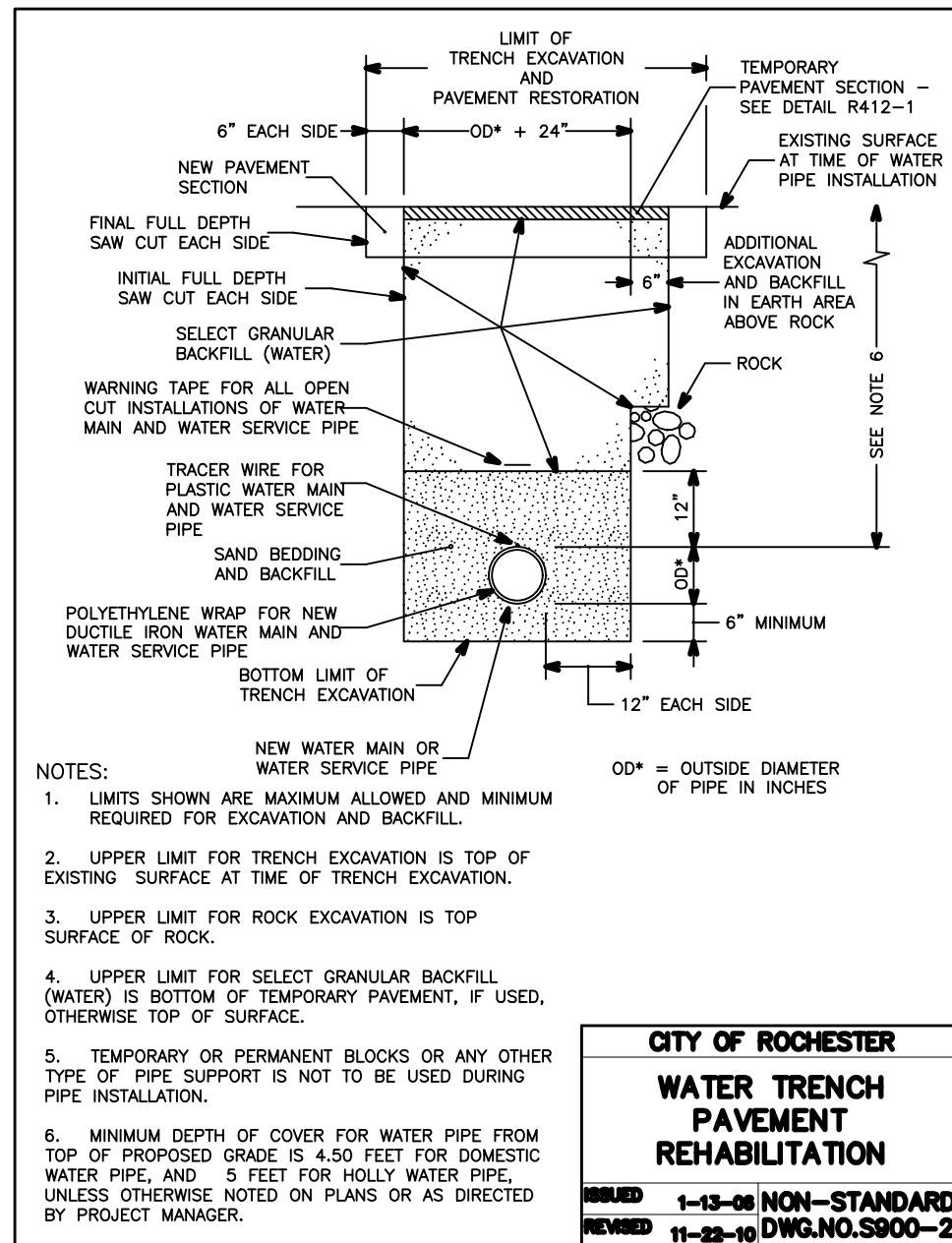
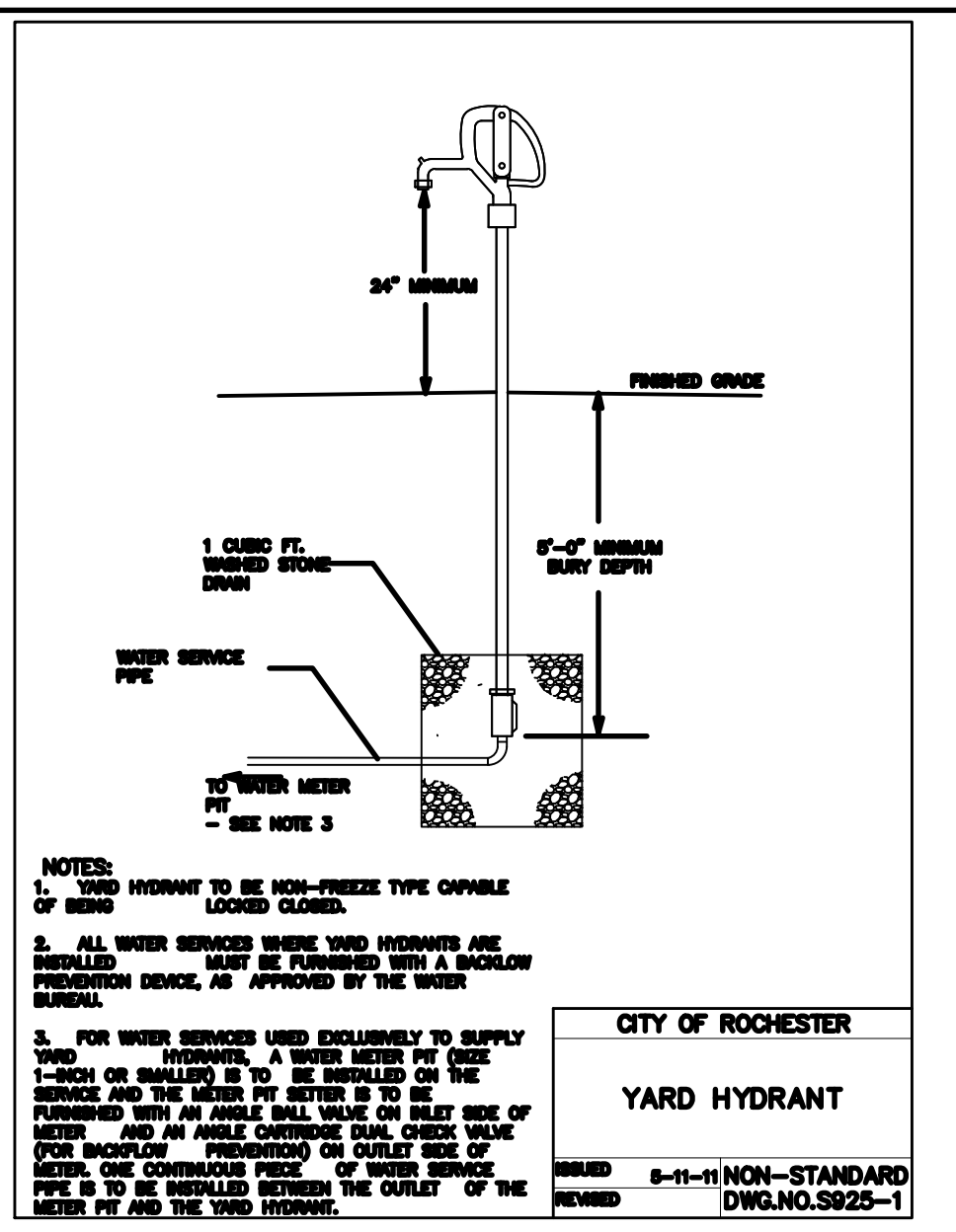
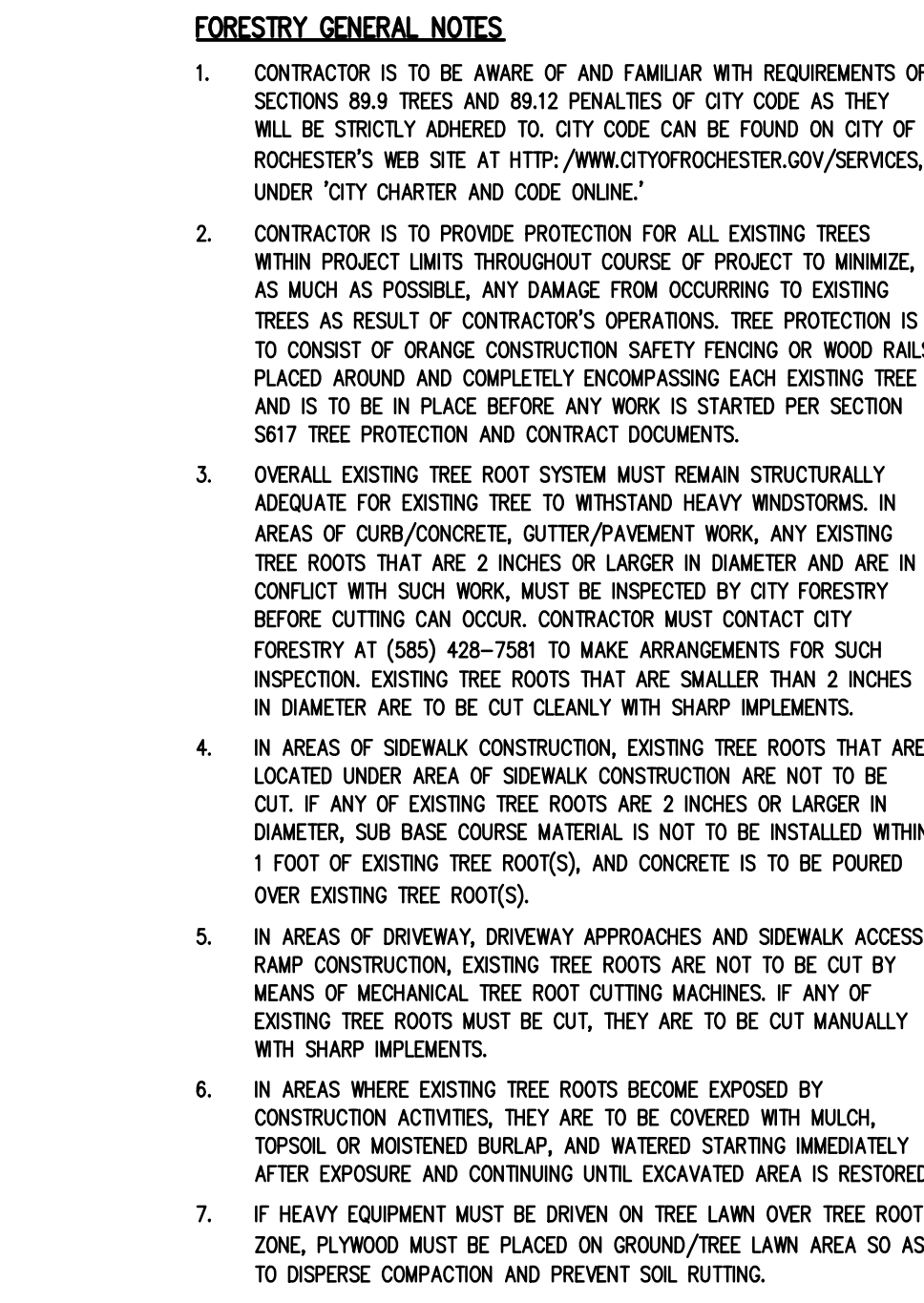
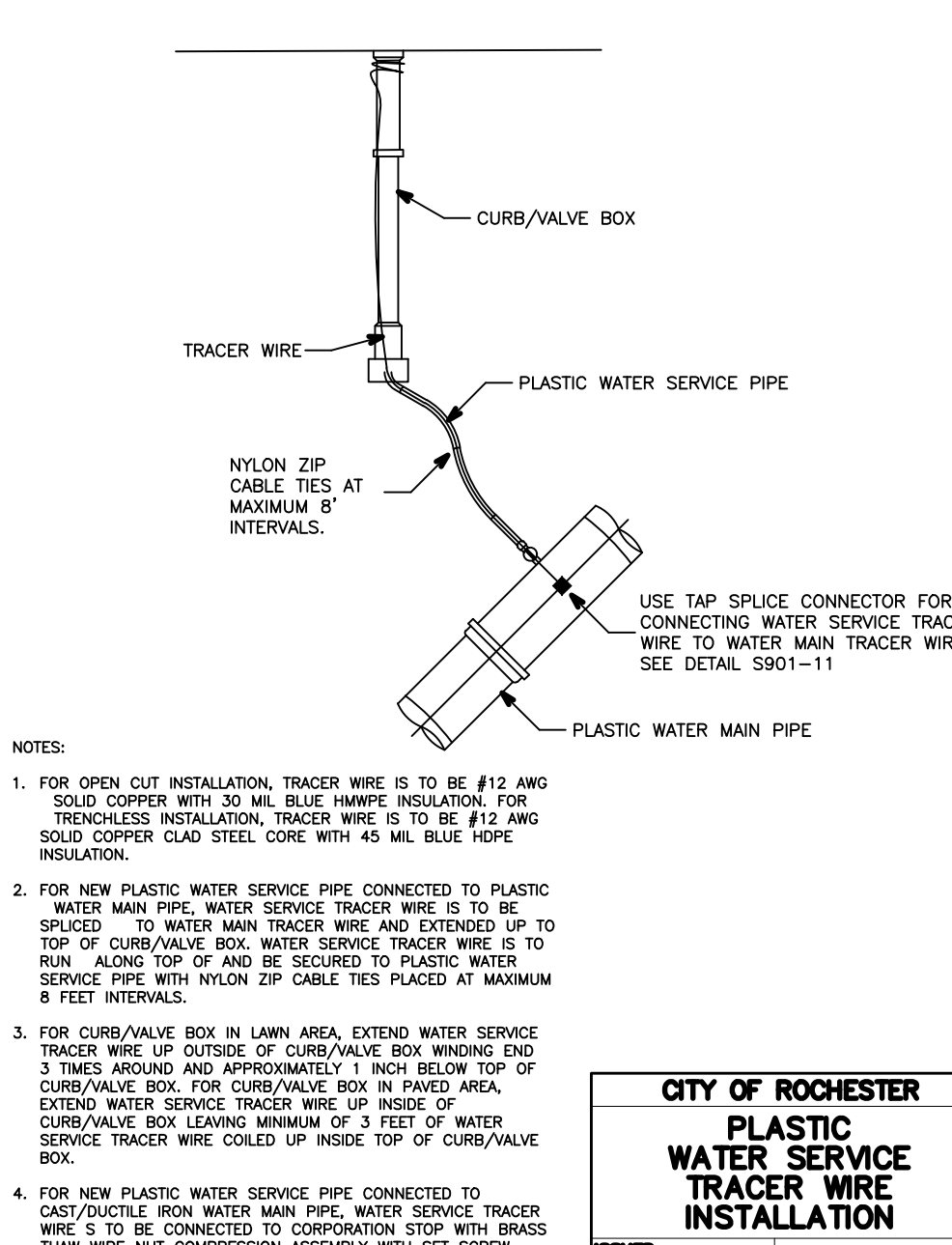
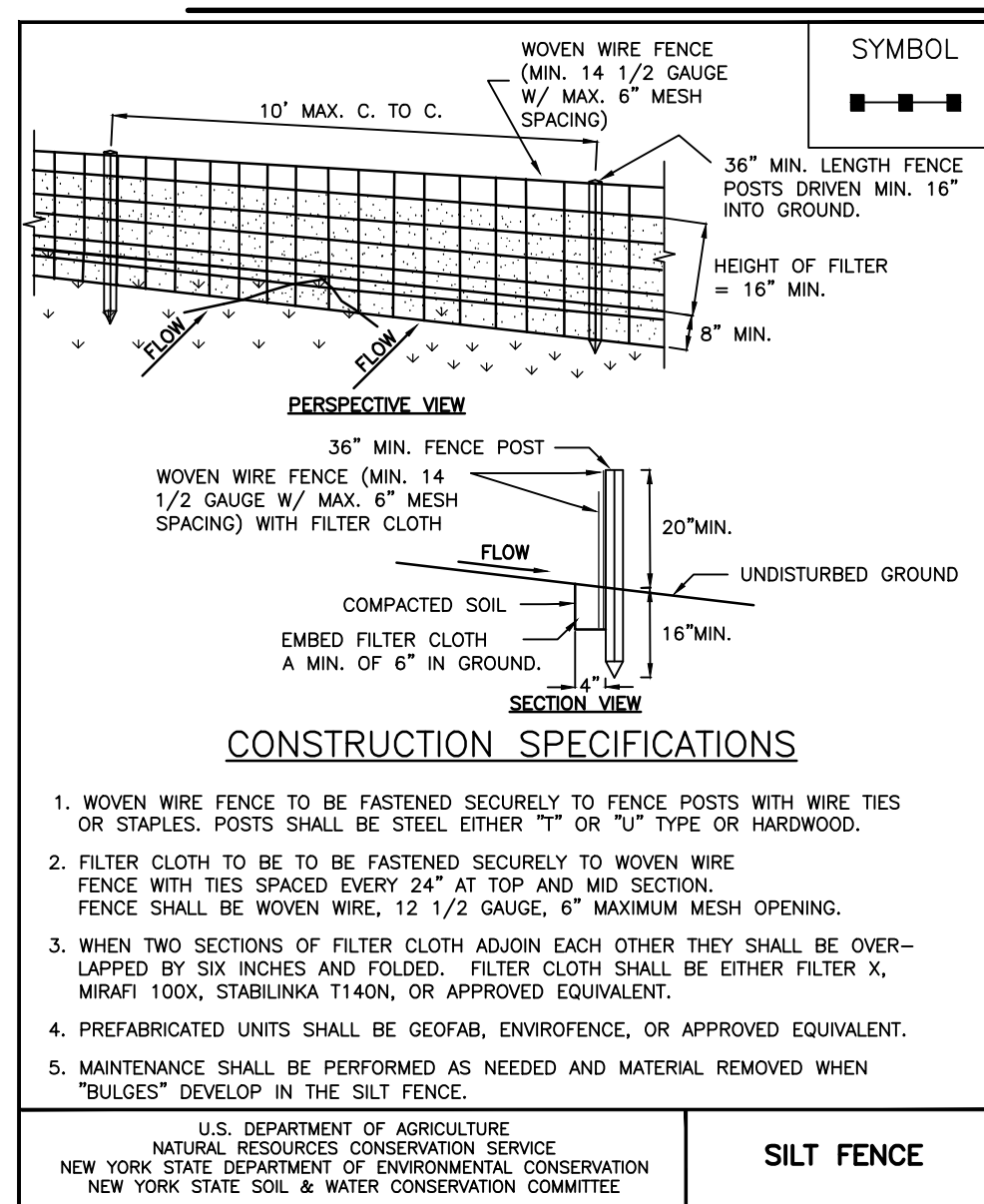
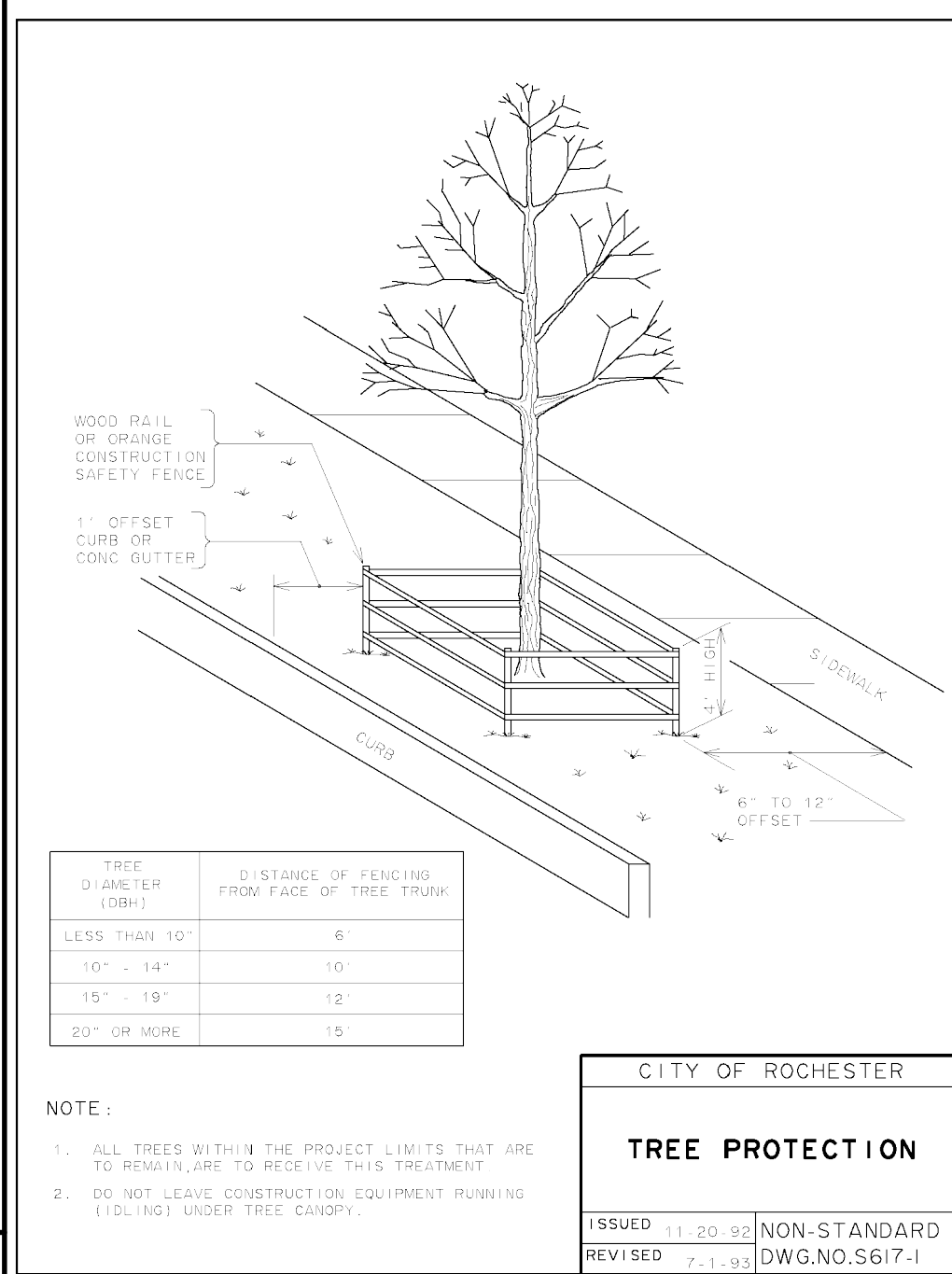
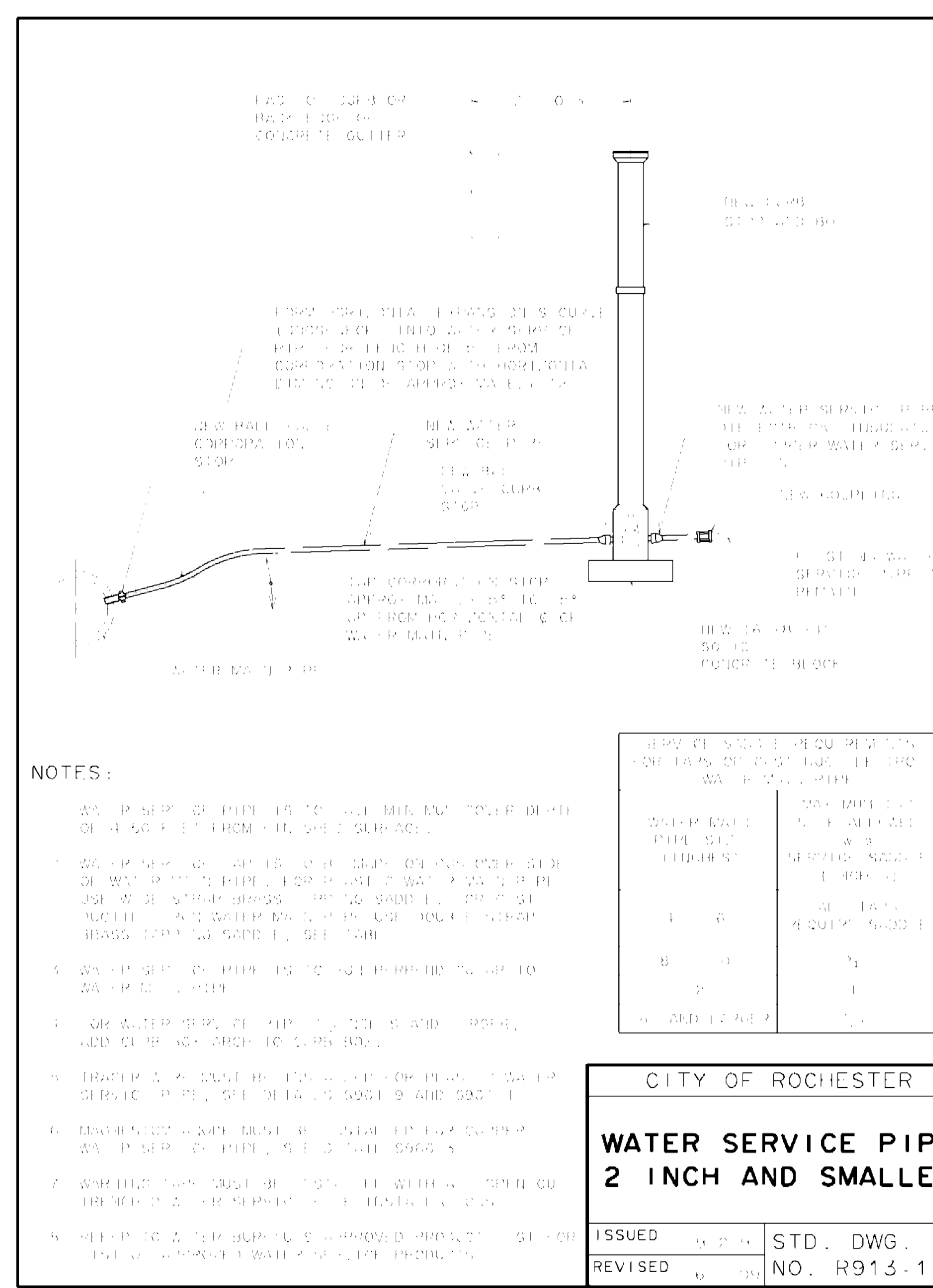
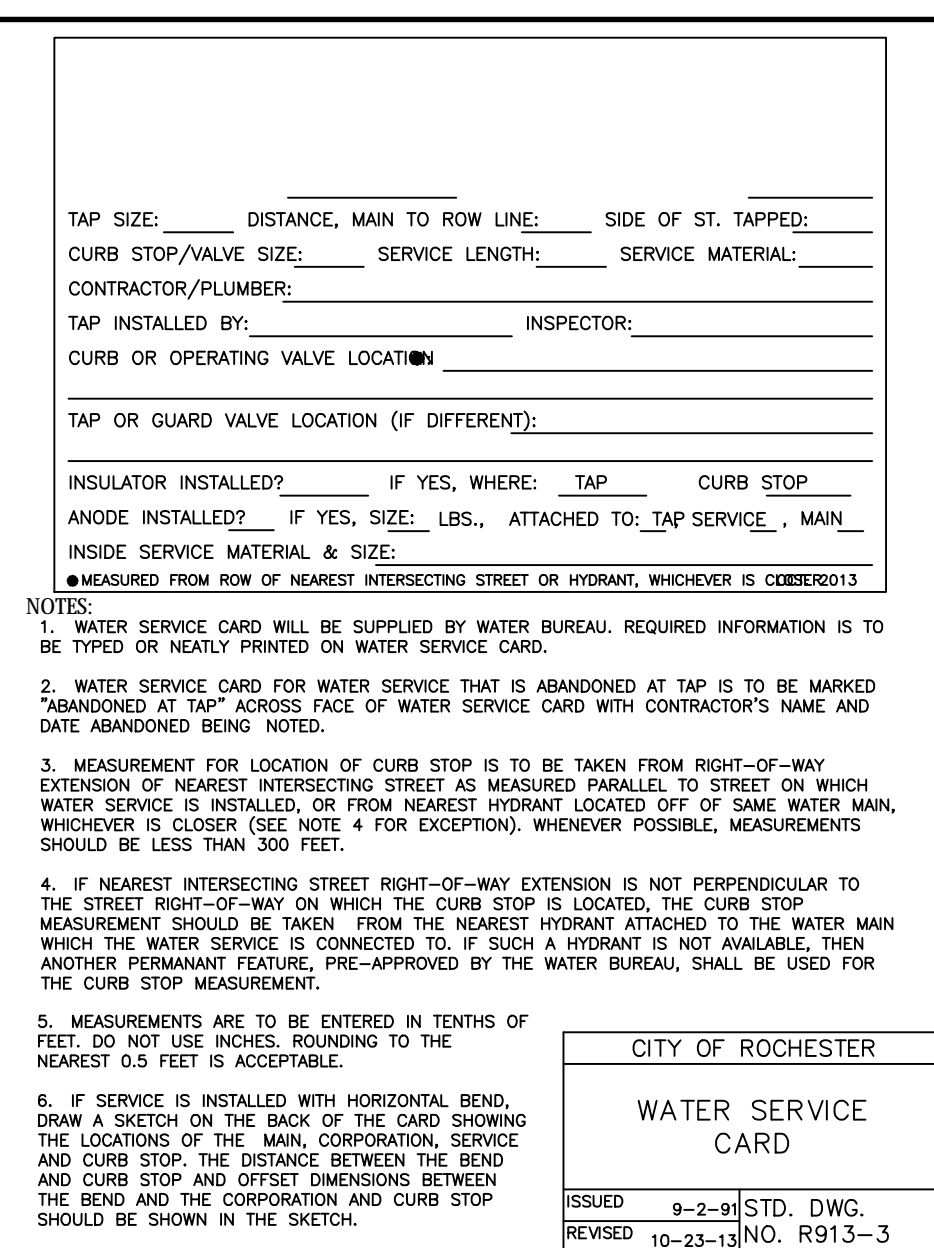
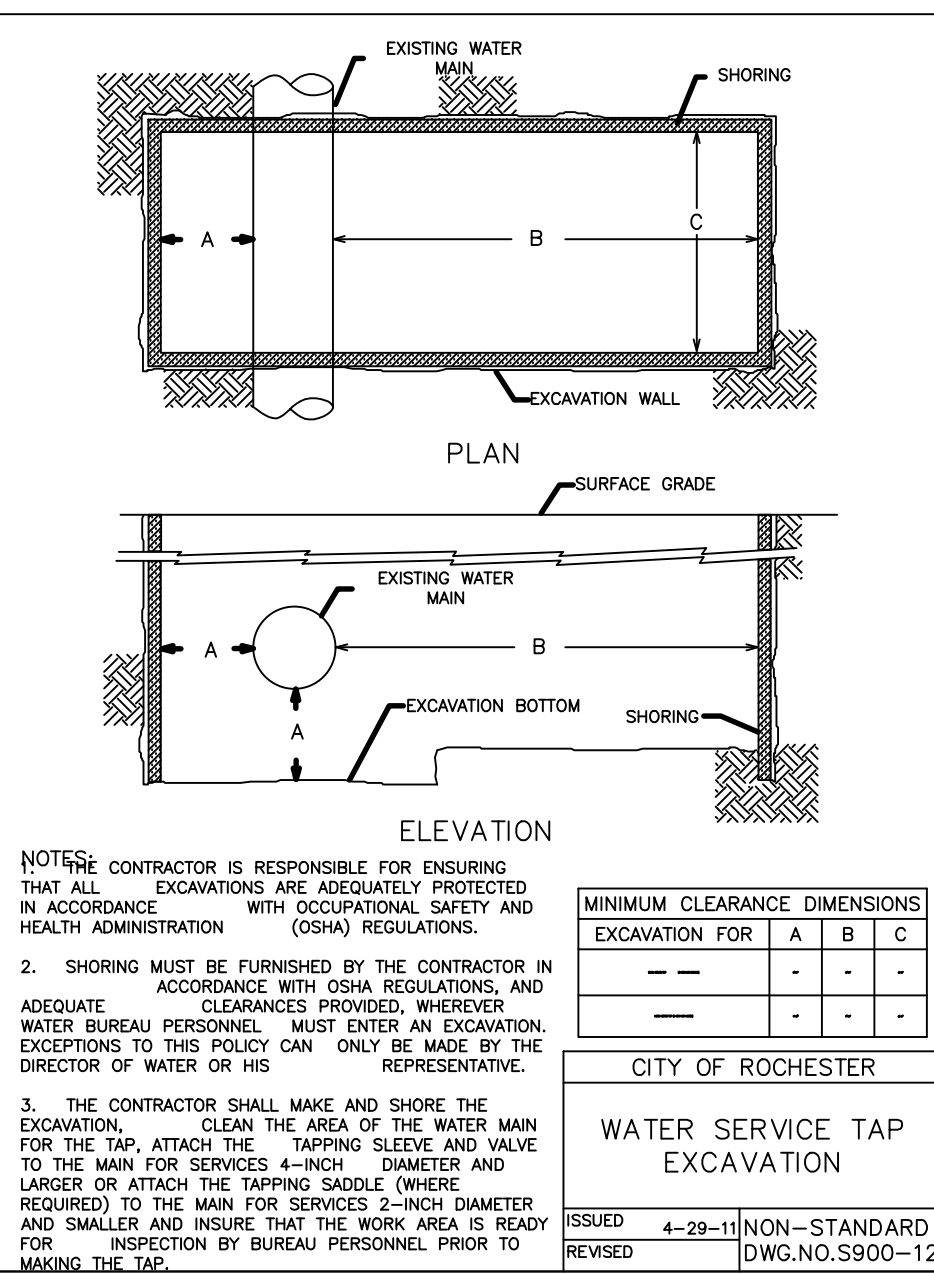
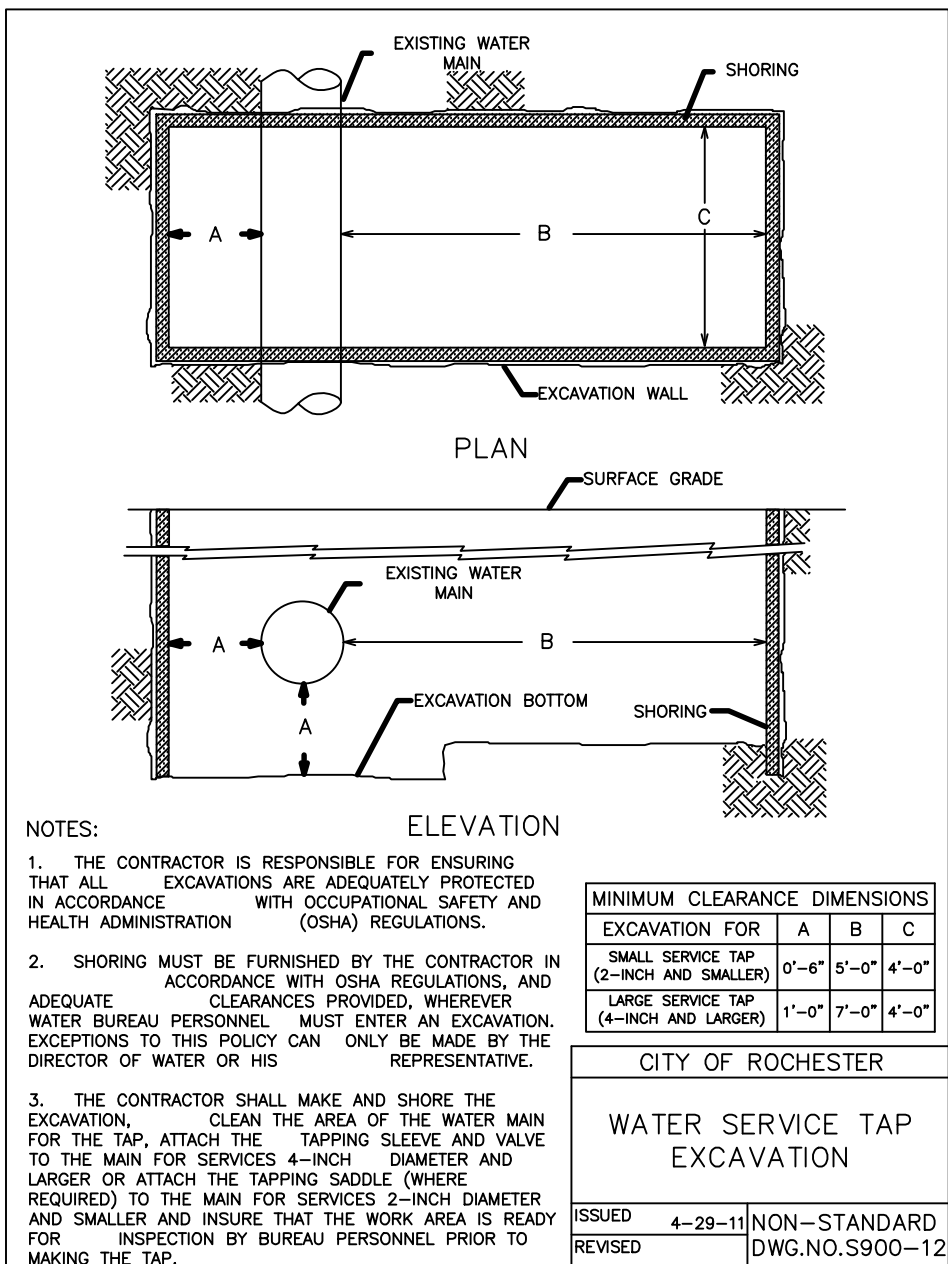
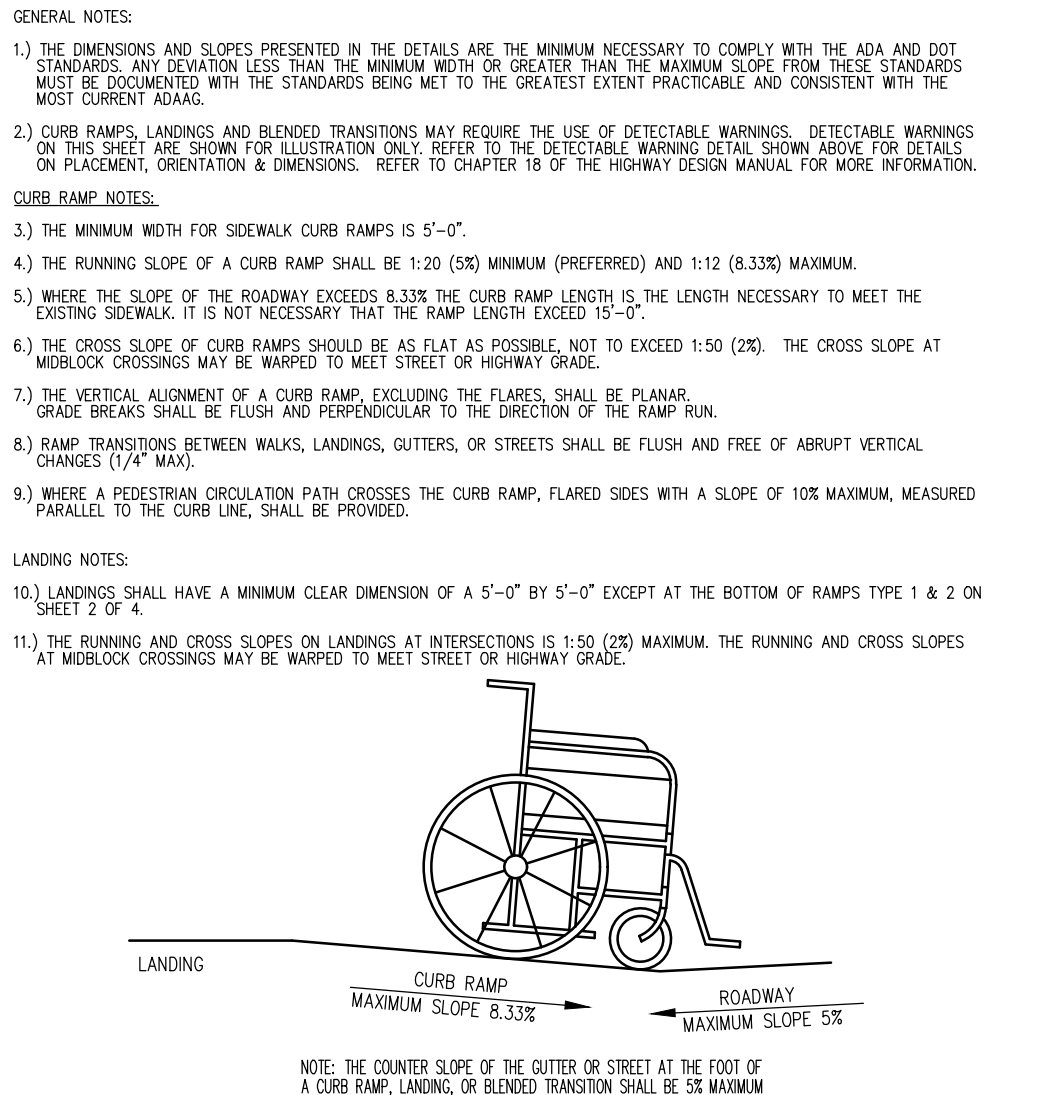
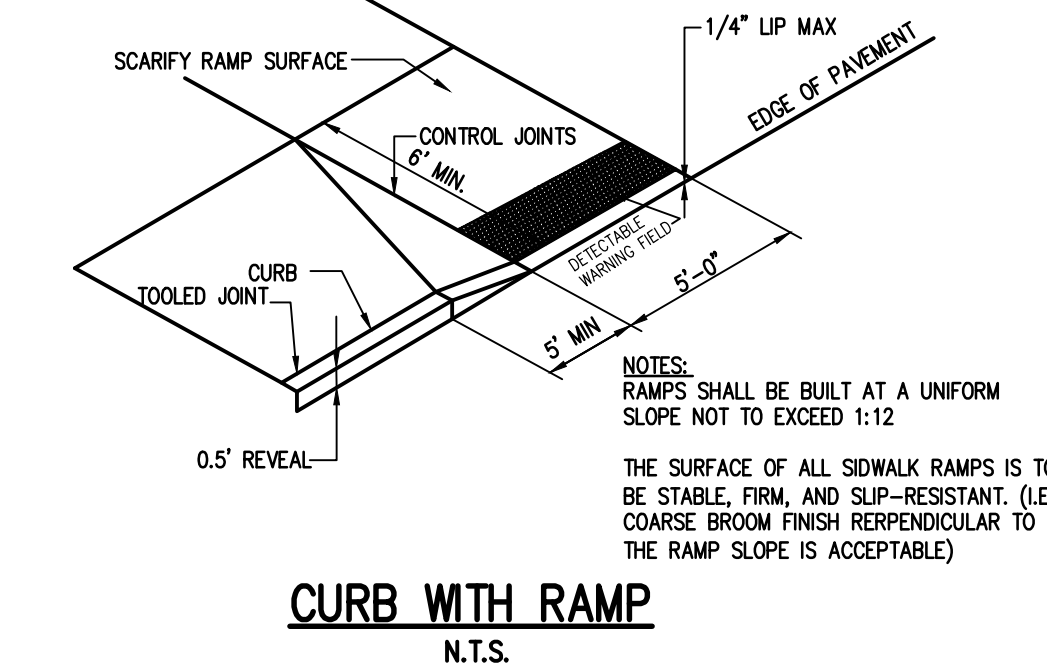
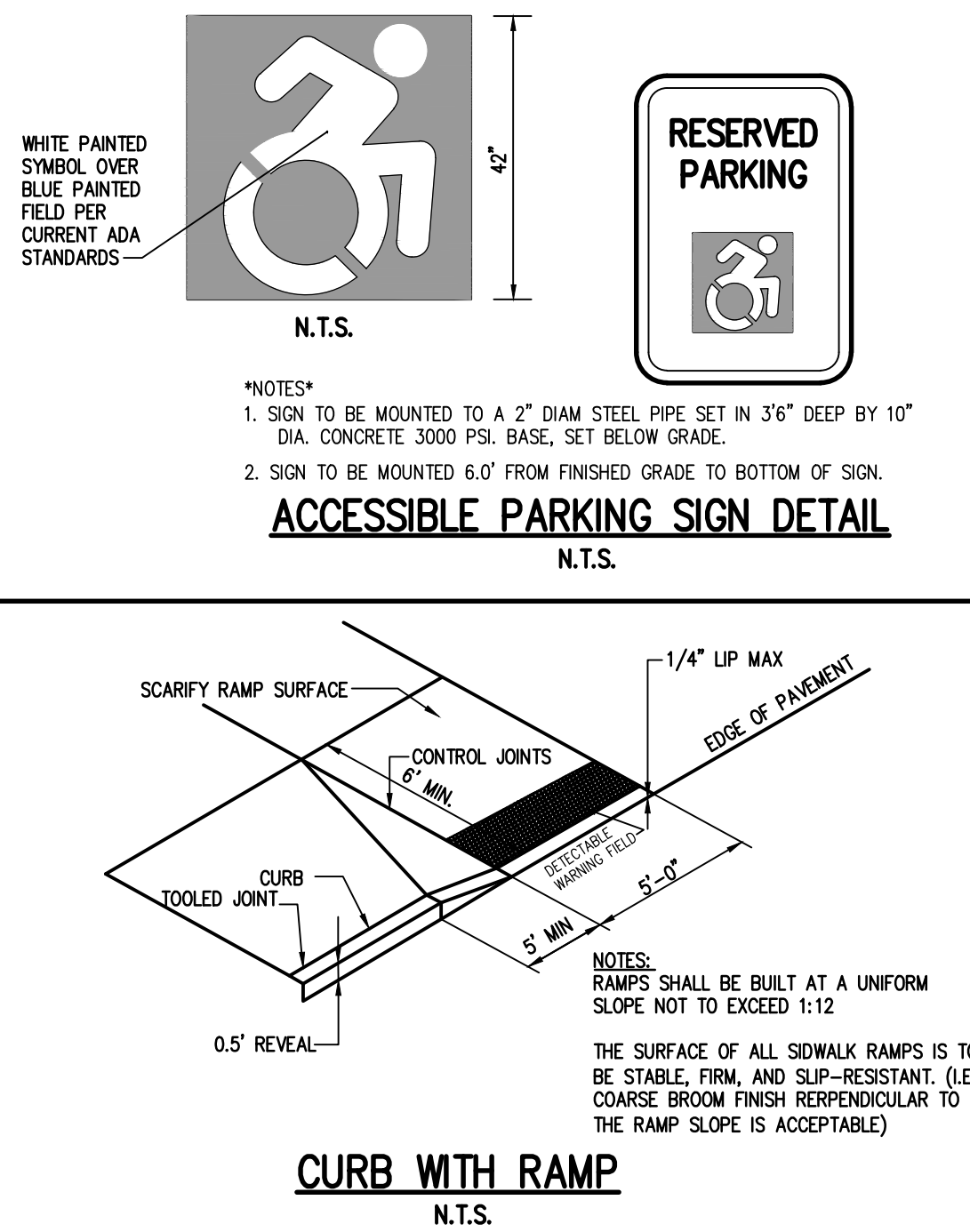
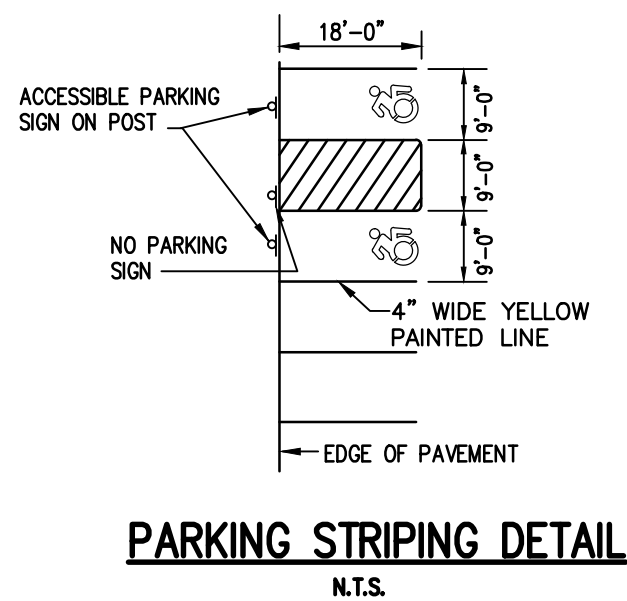
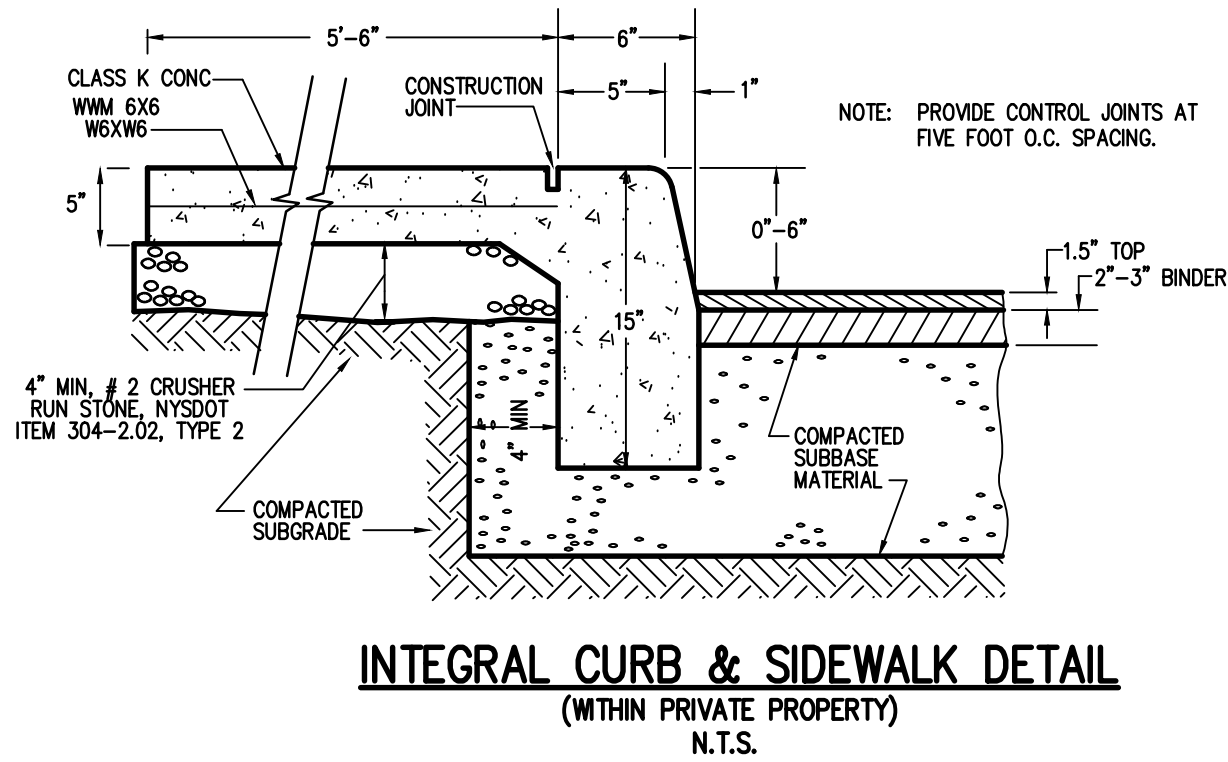
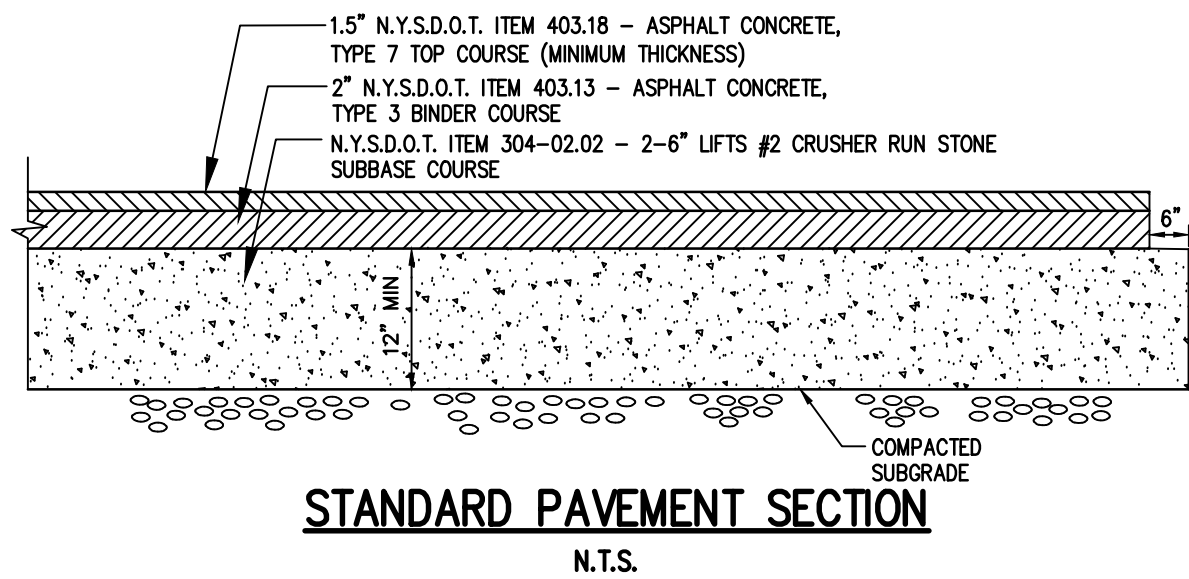
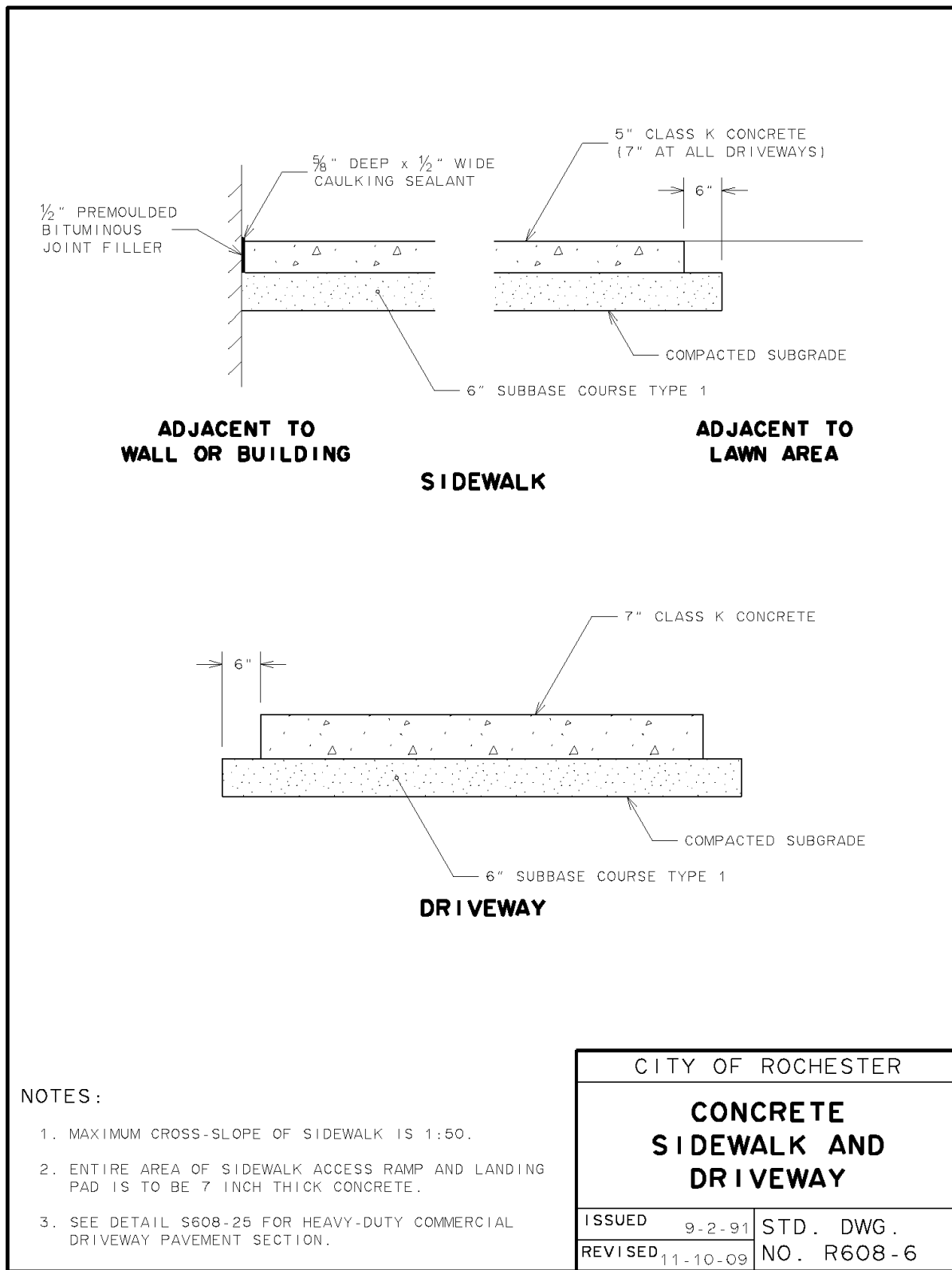
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O'BRIEN STREET COMMUNITY OPEN SPACE
ROCHESTER, MONROE COUNTY, NEW YORK STATE
IBERO-AMERICAN DEVELOPMENT
954 CLIFORD AVENUE
ROCHESTER, NY 14621

FINAL

NOTES SHEET

PROJECT
LOCATION
CLIENT
DRAWING TITLE

PROJECT MANAGER	
L. SWEDROCK	
PROJECT ENGINEER	
F. SHELLEY	
DRAWN BY	
J. JONES	
SCALE	DATE ISSUED
1"=20"	AUGUST 2018
PROJECT NO.	
2555A	
DRAWING NO.	
05C	



Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the seal of an engineer or land surveyor is obtained, the altering engineer or land surveyor shall affix to the item his seal and the notation 'altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

DATE	REVISIONS	BY
7		
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4		
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2		
1		

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BERKSHIRE AMERICAN DEVELOPMENT
NEW YORK, NY 14621

FINAL DETAIL SHEET

PROJECT LOCATION CLIENT DRAWING TITLE

PROJECT MANAGER
L. SWEDROCK

PROJECT ENGINEER
F. SHELLEY

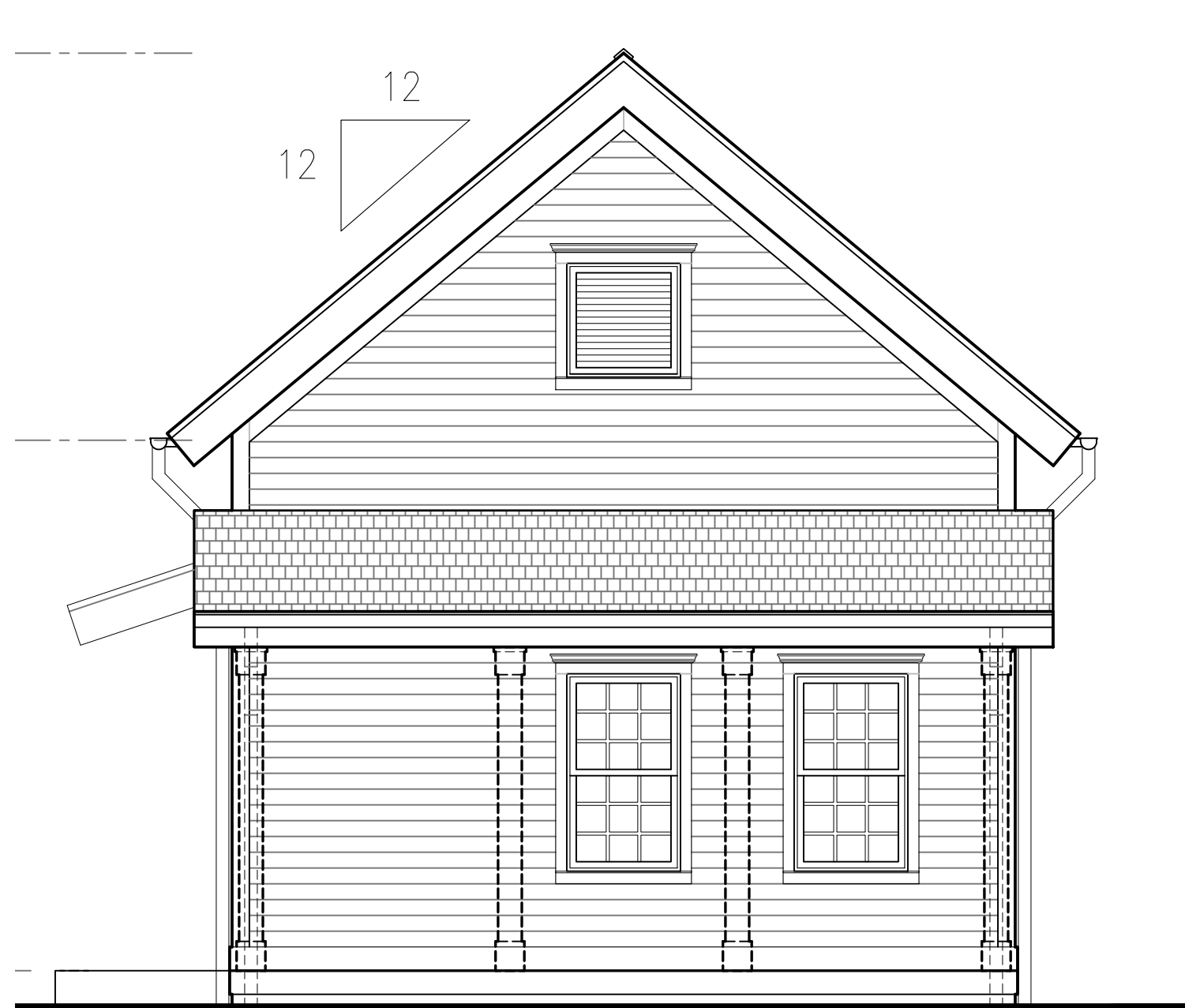
DRAWN BY
J. JONES

SCALE
1"=20'

DATE ISSUED
AUGUST 2018

PROJECT NO.
2555A

DRAWING NO.
06C



3 CONCEPT BACK ELEVATION
1/4"=1'-0"

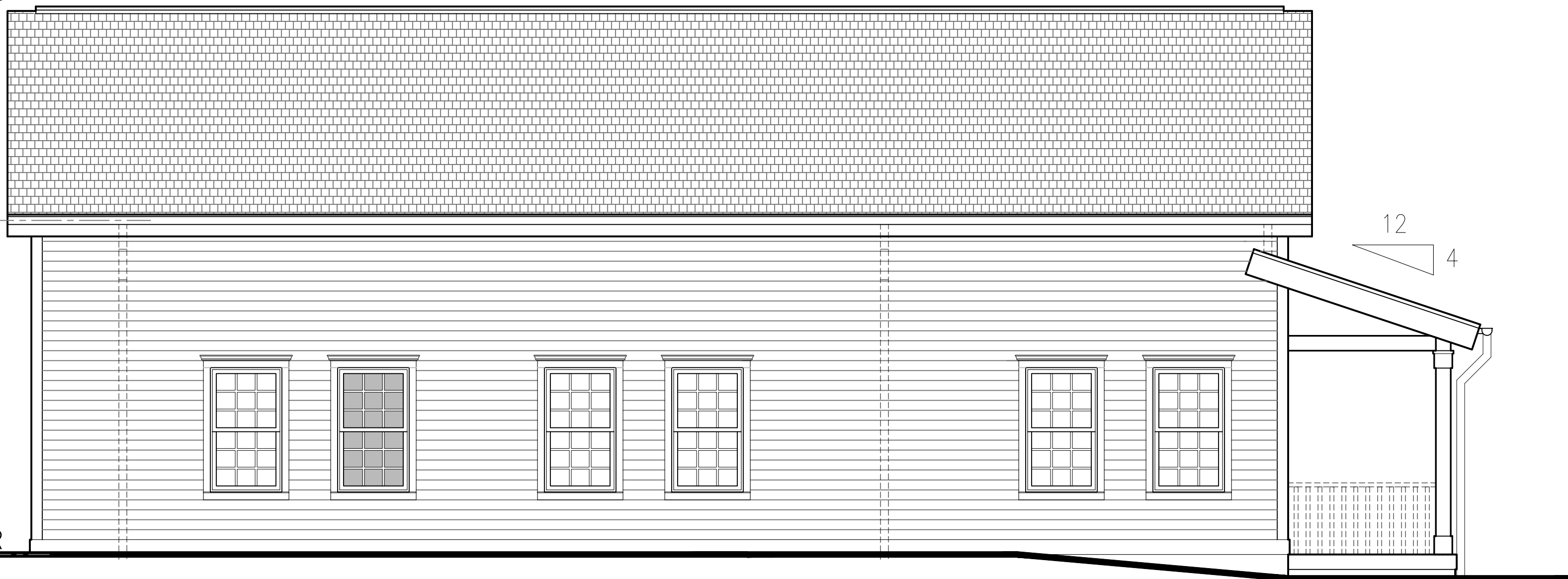


2 CONCEPT FRONT ELEVATION
1/4"=1'-0"

RIDGE
ELEV: +/24-2 1/2"

TRUSS BEARING
ELEV: +16'-0"

FINISH FIRST FLOOR
ELEV: +0'-0"



4 CONCEPT SIDE ELEVATION
1/4"=1'-0"

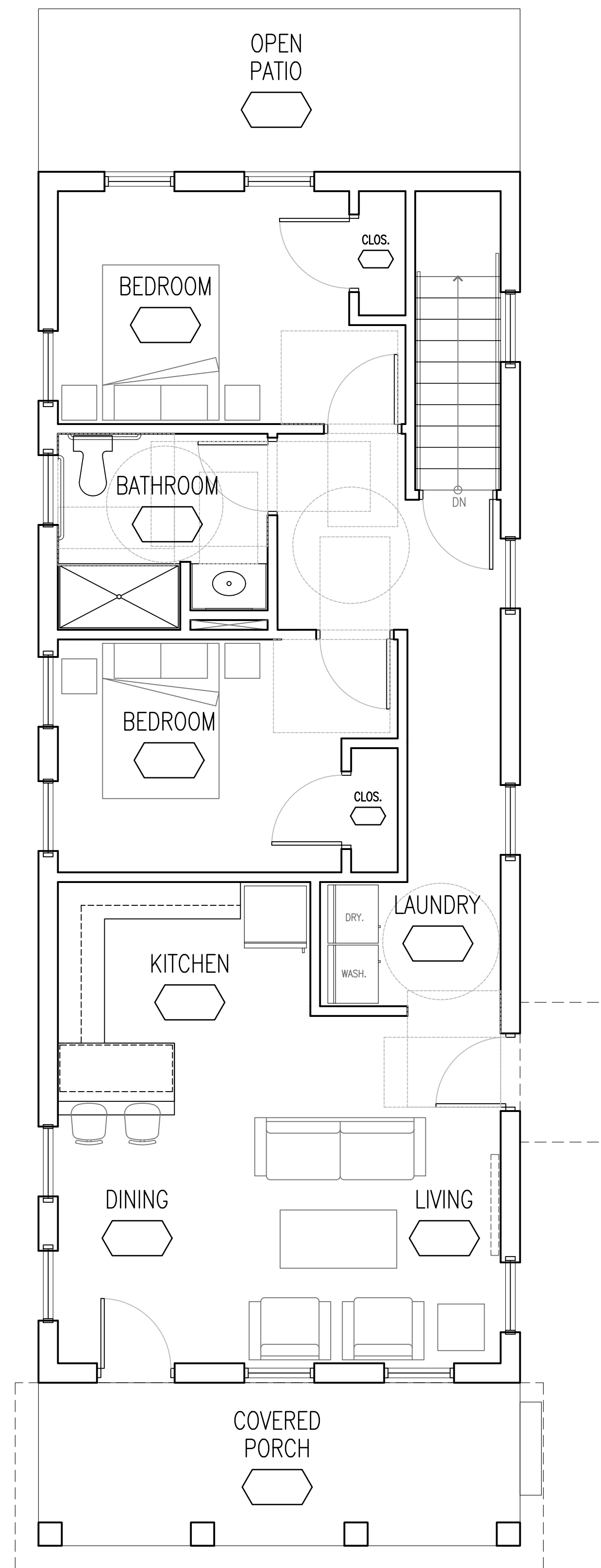
RIDGE
ELEV: +/24-2 1/2"

TRUSS BEARING
ELEV: +16'-0"



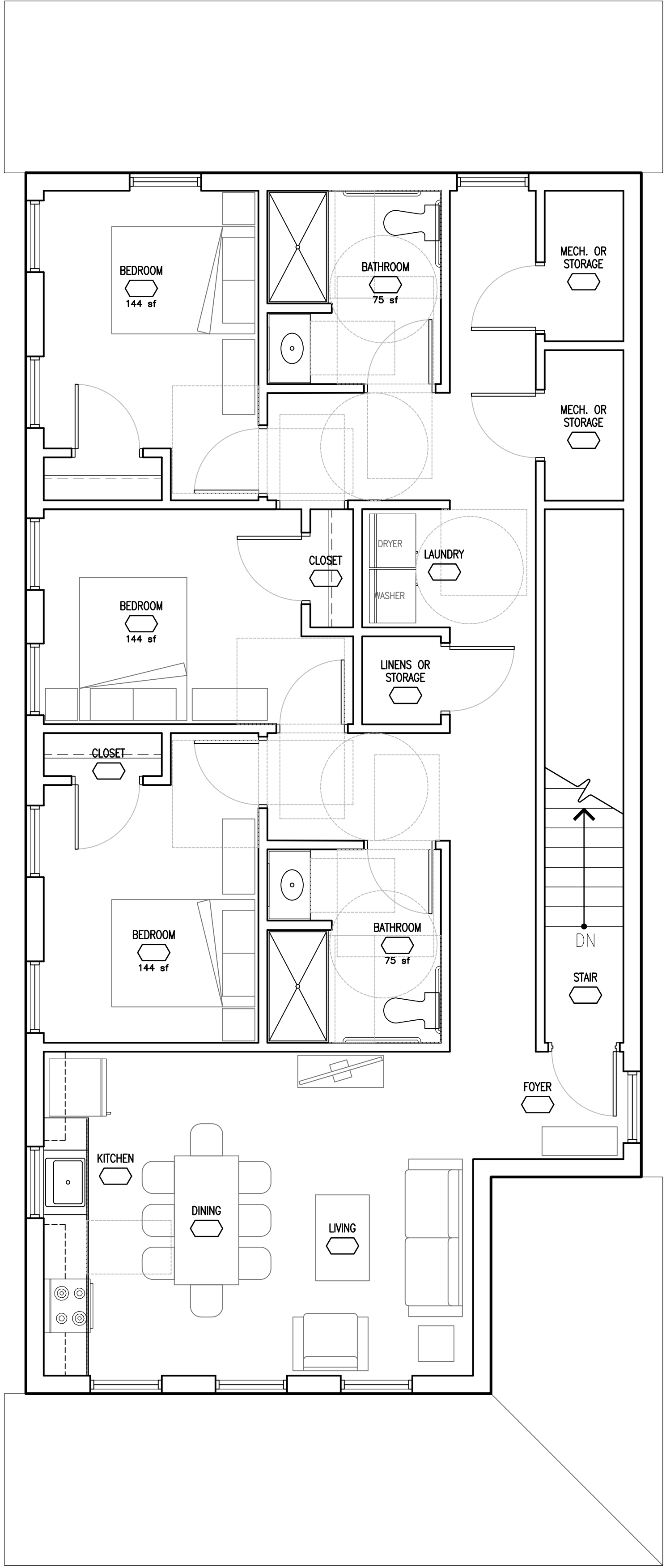
FINISH FIRST FLOOR
ELEV: +0'-0"

5 CONCEPT SIDE ELEVATION
1/4"=1'-0"



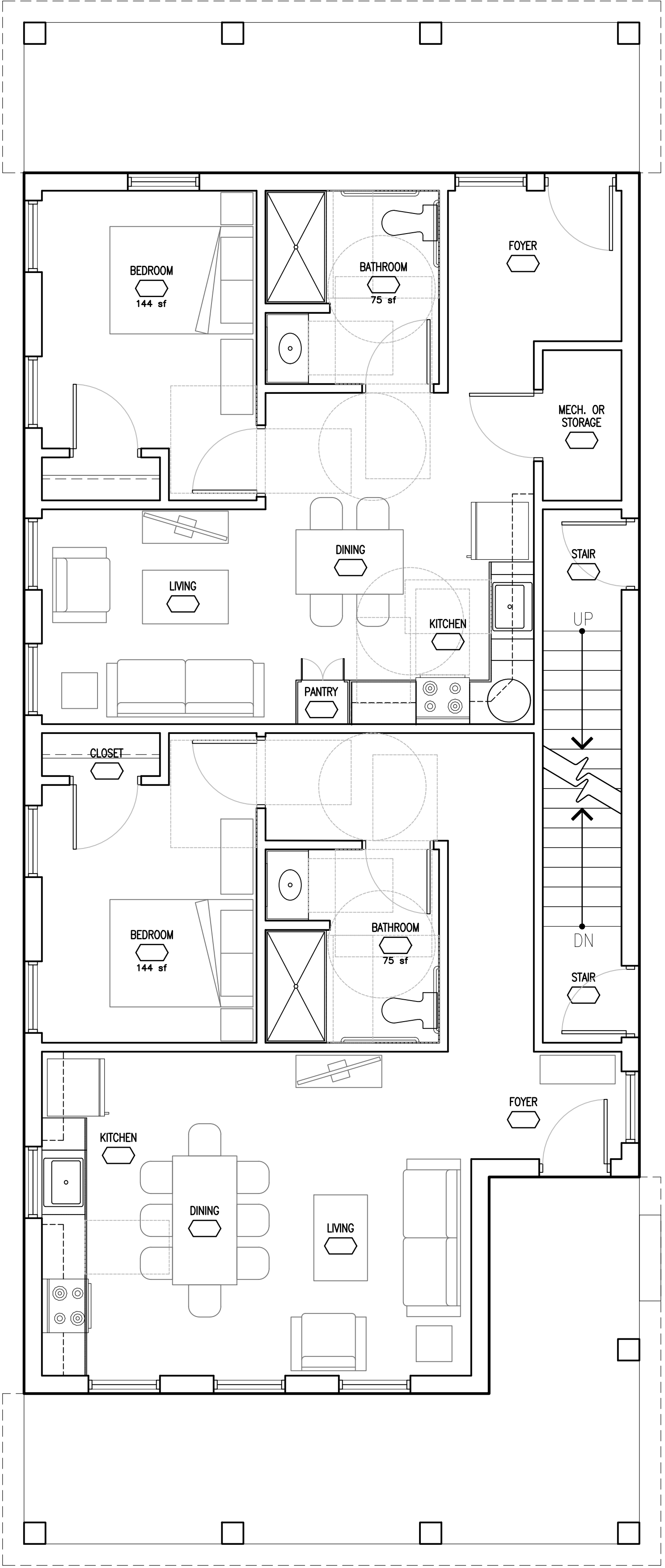
ONE-FAMILY
DWELLING
(1ST FLOOR)
1,088 GSF

1 CONCEPT FIRST FLOOR PLAN
1/4"=1'-0"



2 CONCEPT SECOND FLOOR PLAN
1/4"=1'-0"

THREE-FAMILY
DWELLING
(2ND FLOOR)
1,560 GSF



1 CONCEPT FIRST FLOOR PLAN
1/4"=1'-0"

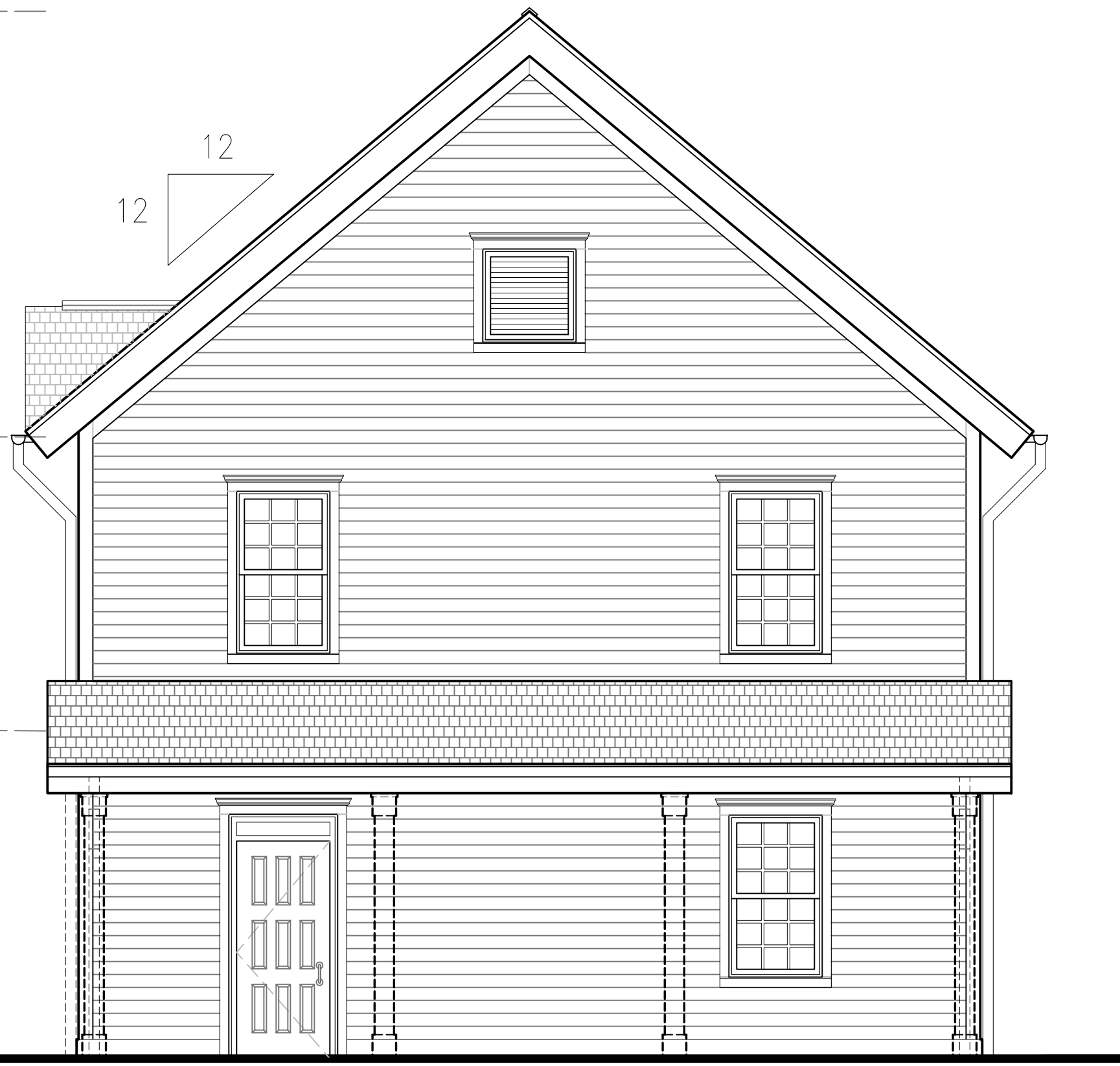
THREE-FAMILY
DWELLING
(1ST FLOOR)
1,560 GSF

RIDGE
ELEV: +/33'-8 1/4"

TRUSS BEARING
ELEV: +20'-0"

FINISH SECOND FLOOR
ELEV: +10'-8"

FINISH FIRST FLOOR
ELEV: +0'-0"



2 CONCEPT BACK ELEVATION
1/4"=1'-0"

RIDGE
ELEV: +/33'-8 1/4"

TRUSS BEARING
ELEV: +20'-0"

FINISH SECOND FLOOR
ELEV: +10'-8"

FINISH FIRST FLOOR
ELEV: +0'-0"



1 CONCEPT FRONT ELEVATION
1/4"=1'-0"

RIDGE
ELEV: +/33'-8 1/4"

TRUSS BEARING
ELEV: +20'-0"

FINISH SECOND FLOOR
ELEV: +10'-8"

FINISH FIRST FLOOR
ELEV: +0'-0"



3 CONCEPT SIDE ELEVATION
1/4"=1'-0"



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and the notation altered by followed
by his/her signature and a specific
description of alterations.

PLAN PROJECT No.
101.16.01.01

DATE
03.23.18

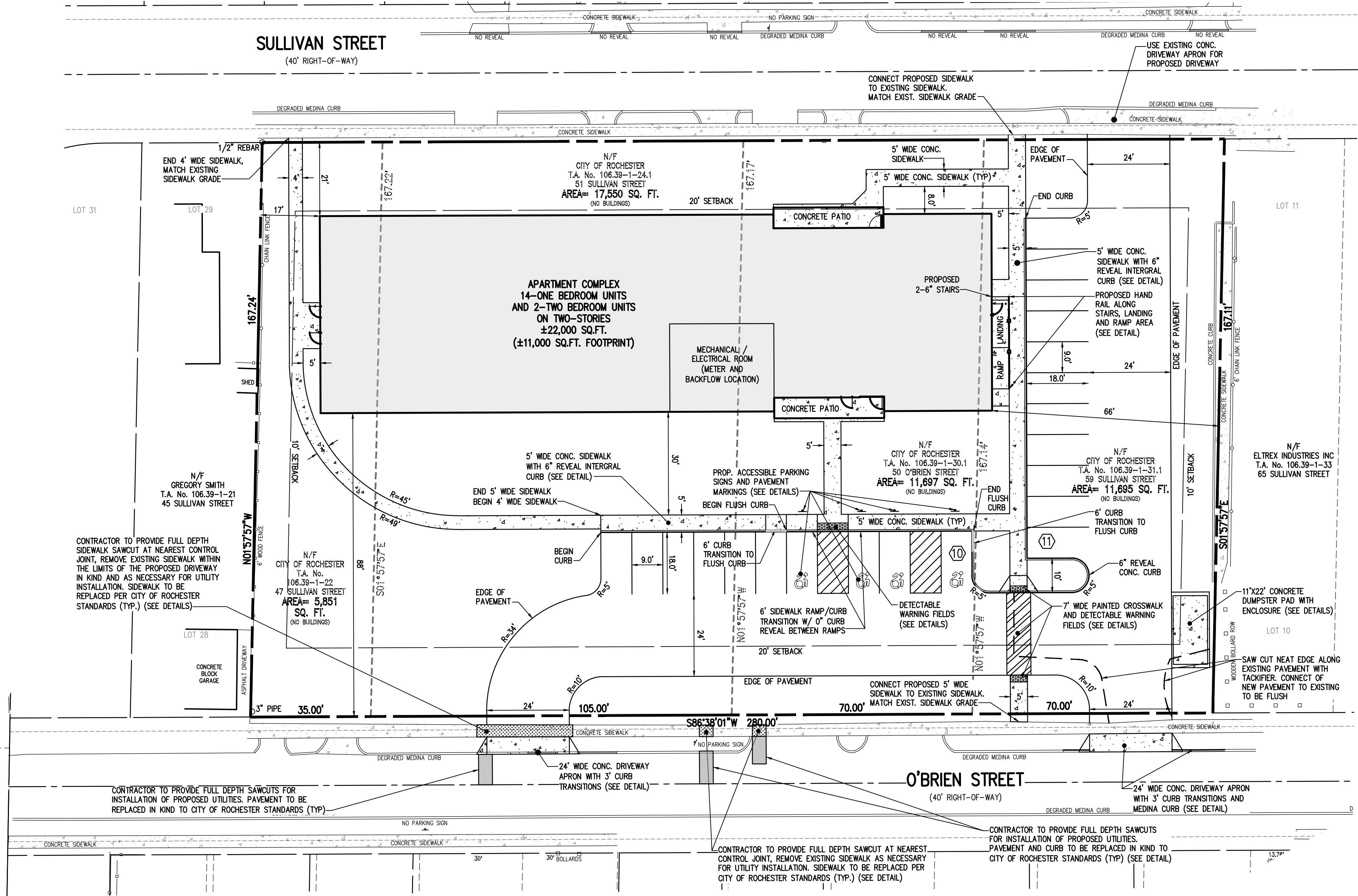
a201

SURVEY REFERENCES:

1. A PLAN ENTITLED "MAP OF A SUBDIVISION OF LOT 12 AND PORTION OF L13 OF THE LEE TRACT IN THE CITY OF ROCHESTER 1873," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 3 OF MAPS, PAGE 58.
2. A PLAN ENTITLED "9 FAULDERS SUBDIVISION- PART OF LOT 13," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 5 OF MAPS, PAGE 48.
3. CITY OF ROCHESTER DISTRICT 14, MAP 17 & 18.
4. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.
5. A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT NO. COR-217-21053, EFFECTIVE DATE MARCH 2, 2017.
6. A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT NO. COR-217-21053-(A), EFFECTIVE DATE JULY 7, 2017.
7. FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY NO. 360431, MAP NO. 36055C0211G, EFFECTIVE DATE AUGUST 28, 2008.

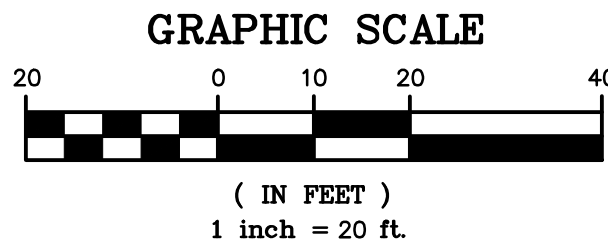
SURVEY NOTES:

- CURRENT ZONING CLASSIFICATION: R-2
1. PARCELS LIE WITHIN ZONE X PER REFERENCE 7.
 2. NO WETLAND DELINEATION MARKERS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
 3. PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE 6" WOOD FENCE, SHED, AND CHAIN LINK FENCE ALONG THE WESTERLY BOUNDARY LINE OF T.A. No. 106.39-1-22 AS SHOWN HEREON
 4. BOUNDARY CORNERS WERE NOT SET IN THE PROCESS OF CONDUCTING THE FIELDWORK. EXTERIOR BOUNDARY CORNERS OF THE "APARTMENT PARCEL" SITE WILL BE SET WITH CAPPED 5/8" REBAR PRIOR TO ISSUANCE OF FINAL SURVEY MAPS.
 5. THE BEARING BASE SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD '83), WESTERN ZONE.



LEGEND

---	BOUNDARY LINE
---	PROPOSED LOT LINE
---	CENTERLINE
---	SETBACK LINE
---	ADJOINER LINE
---	EDGE OF PAVEMENT LINE
---	EXISTING EASEMENT LINE
○	PROPERTY MARKER FOUND
□	CONCRETE HIGHWAY MONUMENT FOUND



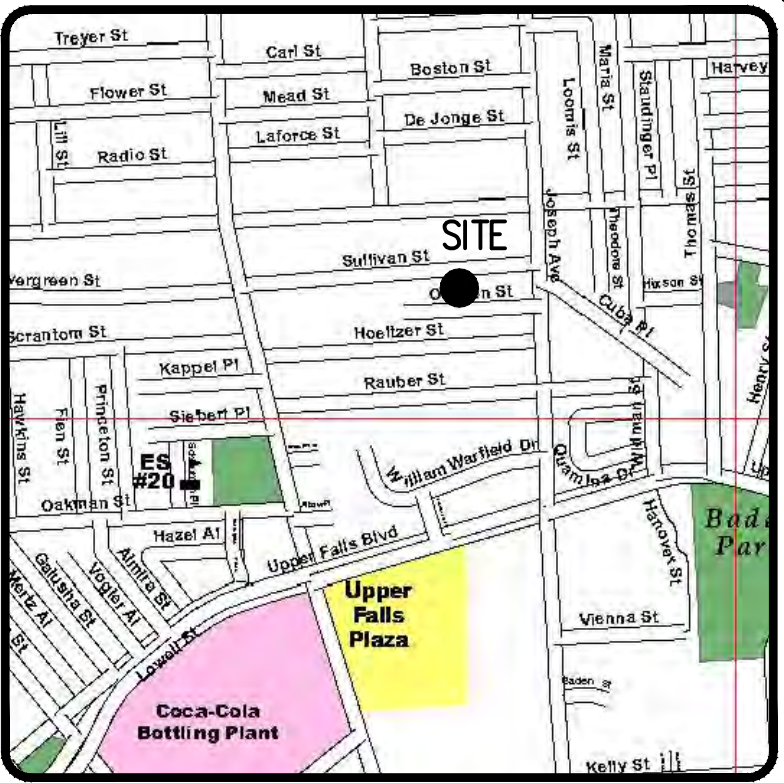
CITY OF ROCHESTER WATER BUREAU

APPROVED ONLY FOR WATER FACILITY WORK SHOWN WITHIN THE PUBLIC RIGHT-OF-WAY, UP TO AND INCLUDING THE CURB VALVE, AND INCLUDING THE WATER METER VAULT NEAR THE RIGHT-OF-WAY, IF APPLICABLE. THE OWNER, DEVELOPER OR THEIR PLUMBER IS RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS FROM THE CITY BEFORE BEGINNING ANY WORK.

IF A BACKFLOW PREVENTION DEVICE IS REQUIRED, THE WATER BUREAU WILL NOT ISSUE A WATER SERVICE PERMIT UNTIL THE PLANS FOR THE BACKFLOW PREVENTION DEVICE HAVE BEEN APPROVED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.

☐ BACKFLOW DEVICE REQUIRED ☐ BACKFLOW DEVICE NOT REQUIRED

SIGNATURE _____ TITLE _____ DATE _____



LOCATION MAP
NOT TO SCALE

SITE NOTES:

1. EXISTING ZONING: R-2 (PROJECT AREA WAS REZONED ON 12/20/17 BY THE COUNCIL OF THE CITY OF ROCHESTER)
 2. TOTAL SITE AREA IS ± 46,793 S.F. (±1.1 ACRES)
 3. LOT DIMENSIONS ARE AS FOLLOWS:
- | | REQUIRED | PROPOSED |
|---------------------|---|--|
| MIN. LOT AREA | 3,000 SF/UNIT
(46,000 SF REQ'D TOTAL) | 2,924 SF/UNIT
(46,793 SF EXISTING*) |
| MIN. LOT WIDTH | N/A | N/A |
| FRONT YARD SETBACKS | AVG. BLDG. DEPTH OR 20' | >20' (21') |
| REAR YARD | 5' MIN | >5' (17') |
| MAX. BLDG. COVERAGE | 35% | 24% |
| MAX. LOT COVERAGE | 50% | 56%** |
| PARKING | 16.4 (1 PER 1-BEDROOM UNIT)
(1.2 PER 2-BEDROOM UNIT) | 21*** (INCLUDING 4 HC SPACES) |
- THIS PROJECT WILL REQUIRE A SPECIAL PERMIT AND SITE PLAN REVIEW/APPROVAL FROM THE CITY BUREAU OF BUILDINGS AND ZONING. AS SUCH, VARIANCE FROM THE CITY CODE WILL BE REQUIRED FOR THE FOLLOWING:
- * CHAPTER 120, SECTION 20B(1)(C)(1) - 48,000 SF LOT AREA REQUIRED WHERE 46,793 SF IS EXISTING OR 3,000 SF PER UNIT REQUIRED WHERE 2,924 SF PER UNIT PROPOSED.
 - ** CHAPTER 120, SECTION 20B(1)(C)(3) - 50% MAXIMUM LOT COVERAGE WHERE 56% IS PROPOSED
 - *** CHAPTER 120, SECTION 173(C)(1) - 1 PER 1-BEDROOM UNIT AND 1.2 PER 2-BEDROOM UNIT (16.4 SPACES) WHERE 21 SPACES ARE PROPOSED.
4. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
 5. THE EXISTING PARCELS NEED TO BE ADMINISTRATIVELY RE-SUBDIVIDED INTO ONE LOT BY THE CITY OF ROCHESTER.
 6. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY SURVEY OFFICE.
 7. THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.

DRAWING SCHEDULE

2555A-01	SITE PLAN
2555A-02	CONSOLIDATION PLAT
2555A-03	DEMO/EXISTING CONDITIONS PLAN
2555A-04	UTILITY PLAN
2555A-05	GRADING & CONSTRUCTION
2555A-06	EROSION CONTROL PLAN
2555A-07	LANDSCAPE PLAN
2555A-08	LIGHTING PLAN
2555A-09	DETAIL SHEET (1 OF 5)
2555A-10	DETAIL SHEET (2 OF 5)
2555A-11	DETAIL SHEET (3 OF 5)
2555A-12	DETAIL SHEET (4 OF 5)
	DETAIL SHEET (5 OF 5)

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

BME ASSOCIATES
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WWW.BME-CCON.COM

PHONE: 585-377-7360
FAX: 585-377-7369



PUEBLO NUEVO HOUSING
APARTMENT PARCEL
MONROE COUNTY, NEW YORK STATE
IBERO-AMERICAN DEVELOPMENT
ROCHESTER, NY 14621

PROJECT LOCATION CLIENT

PUEBLO NUEVO HOUSING
APARTMENT PARCEL
MONROE COUNTY, NEW YORK STATE
IBERO-AMERICAN DEVELOPMENT
ROCHESTER, NY 14621

PROJECT LOCATION CLIENT

FINAL SITE PLAN

47, 51, 59 SULLIVAN ST. & 50 O'BRIEN ST.

PROJECT MANAGER
L. SWEDROCK
PROJECT ENGINEER
F. SHELLEY
DRAWN BY
F. SHELLEY

SCALE
1"=20'
DATE ISSUED
FEBRUARY 2018

PROJECT NO.
2555A

DRAWING NO.
01

"CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."

THIS MAP AND THE INFORMATION SHOWN HEREON IS NOT TO BE USED WITH AN "AFFIDAVIT OF NO CHANGE," BME ASSOCIATES ASSUMES NO LIABILITY TO THE PARTIES NOTED HEREON OR TO ANY FUTURE OWNER, TITLE COMPANY, GOVERNMENTAL AGENCY, ATTORNEY OR LENDING INSTITUTION IN THE EVENT THAT THIS MAP IS USED WITH AN "AFFIDAVIT OF NO CHANGE," OR SIMILAR INSTRUMENT.

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S ORIGINAL INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

"UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209, OF THE NEW YORK STATE EDUCATION LAW."

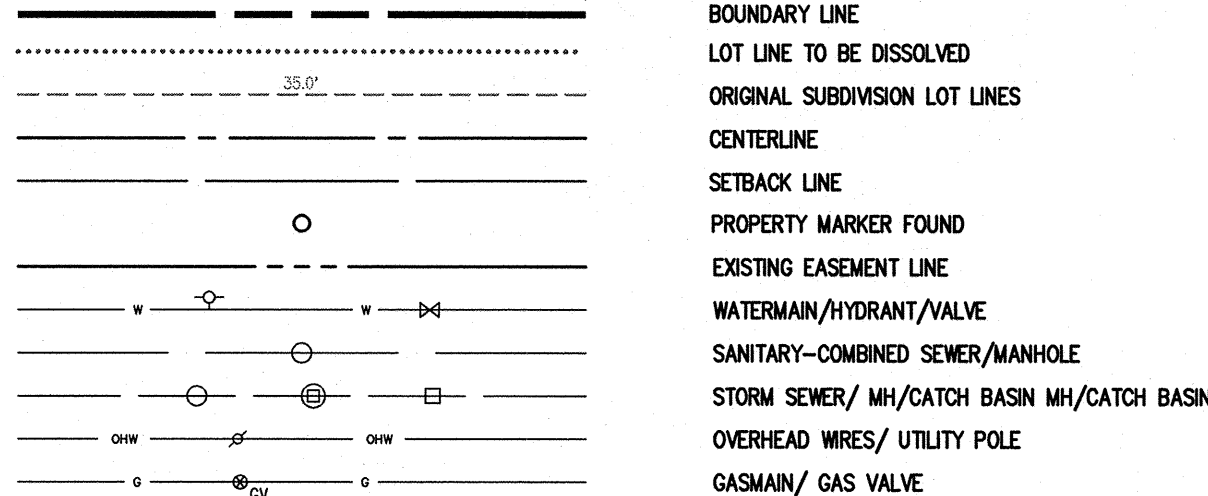
SITE NOTES:

- EXISTING ZONING: R-2 (PROJECT AREA WAS REZONED ON 12/20/17 BY THE COUNCIL OF THE CITY OF ROCHESTER)
 - TOTAL SITE AREA IS $\pm 46,793$ S.F. (± 1.1 ACRES)
 - PROPOSED USE: TWO STORY APARTMENT COMPLEX WITH 16 1-BEDROOM UNITS
 - LOT DIMENSIONS ARE AS FOLLOWS:
- | | REQUIRED | PROPOSED |
|---------------------|--|--|
| MIN. LOT AREA | 3,000 SF/UNIT
(48,000 SF REQ'D TOTAL) | 2,924 SF/UNIT
(46,793 SF EXISTING*) |
| MIN. LOT WIDTH | N/A | N/A |
| SETBACKS | | |
| FRONT YARD | AVG. BLDG. DEPTH OR 20' | >20' (21') |
| SIDE YARD | 5' MIN | >5' (17') |
| REAR YARD | 15' TOTAL | >15' (83') |
| | 20' OR EXISTING | N/A |
| MAX. BLDG. COVERAGE | 35% | 24% |
| MAX. LOT COVERAGE | 50% | 56%** |
| PARKING | 16 (1 PER 1-BEDROOM UNIT) | 22*** (INCLUDING 2 HC SPACES) |

THIS PROJECT WILL REQUIRE A SPECIAL PERMIT AND SITE PLAN REVIEW/APPROVAL FROM THE CITY BUREAU OF BUILDINGS AND ZONING. AS SUCH, VARIANCE FROM THE CITY CODE WILL BE REQUIRED FOR THE FOLLOWING:

- * CHAPTER 120, SECTION 208(1)(C)(1) - 48,000 SF LOT AREA REQUIRED WHERE 46,793 SF IS EXISTING OR 3,000 SF PER UNIT REQUIRED WHERE 2,924 SF PER UNIT PROPOSED.
- ** CHAPTER 120, SECTION 208(1)(C)(3) - 50% MAXIMUM LOT COVERAGE WHERE 56% IS PROPOSED
- *** CHAPTER 120, SECTION 173(c)(1) - 1 PER 1-BEDROOM UNIT (16 SPACES) WHERE 22 SPACES ARE PROPOSED.

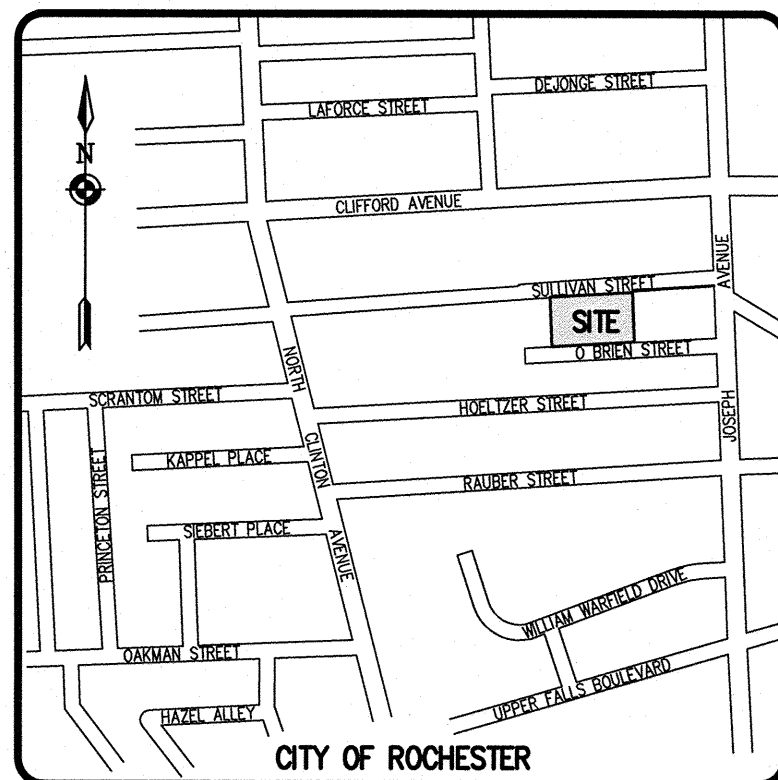
LEGEND



APPROVALS

BY: _____ DATE: _____
CITY PLANNING COMMISSION

BY: _____ DATE: _____
DIRECTOR OF ZONING



LOCATION MAP
NOT TO SCALE

Drawing Alteration

The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:

"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if on item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

REVISIONS	DATE	BY
7		
6		
5		
4		
3		
2		
1		

BME ASSOCIATES
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WWW.BMEPC.COM

PHONE 565-377-7360
FAX 565-377-7369



PUEBLO NUEVO HOUSING
APARTMENT PARCEL
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK

IBERO-AMERICAN DEVELOPMENT
AND AVENUE
ROCHESTER, NY 14621

PRELIMINARY/FINAL
CONSOLIDATION PLAT

PROJECT: PUEBLO NUEVO HOUSING
LOCATION: APARTMENT PARCEL
CLIENT: CITY OF ROCHESTER, MONROE COUNTY, NEW YORK

PROJECT MANAGER: J.L. SWEDROCK
PROJECT SURVEYOR: DN ZACHARIAS
DRAWN BY: KA MOTT
SCALE: 1"=20'
DATE ISSUED: MARCH 2018

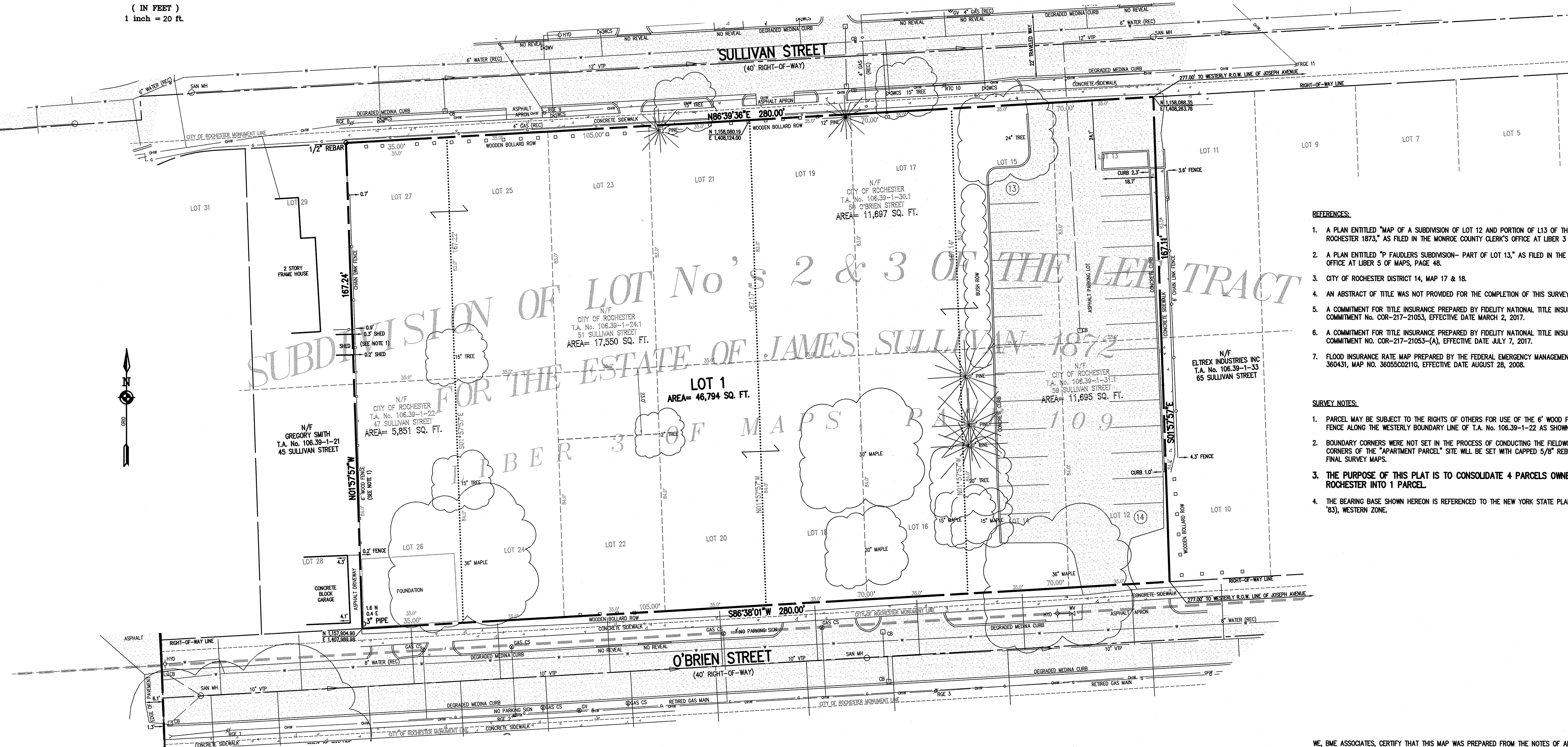
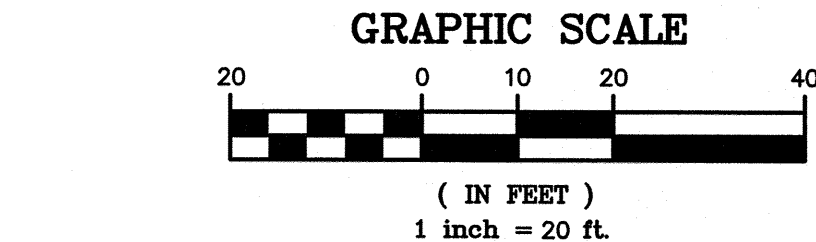
PROJECT NO. 2555A
DRAWING NO. 02

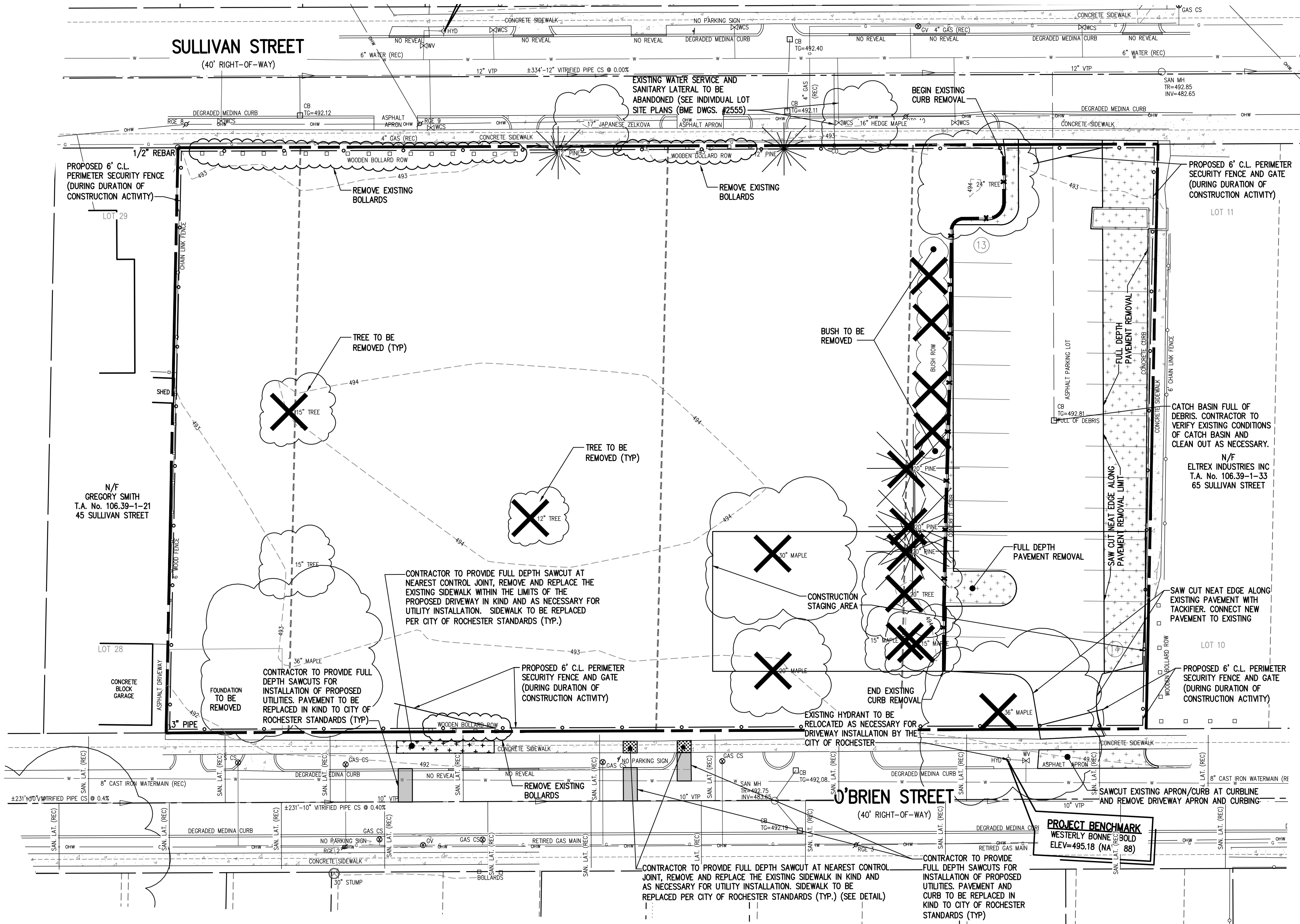
PHELPS & GORHAM PURCHASE, TOWNSHIP 13, RANGE 7, TOWN LOT 72, WARD 13, T.A. No.'s 106.39-1-22, 106.39-1-24.1, 106.39-1-30.1 & 106.39-1-31.1

WE, BME ASSOCIATES, CERTIFY THAT THIS MAP WAS PREPARED FROM THE NOTES OF AN INSTRUMENT SURVEY COMPLETED BY US ON JANUARY 25, 2018 AND FROM THE REFERENCES NOTED HEREON, THIS MAP OR PLAT AND THE SURVEY UPON WHICH IT WAS BASED MEETS THE GWSA 2017 MINIMUM STANDARDS FOR A SURVEY MAP.

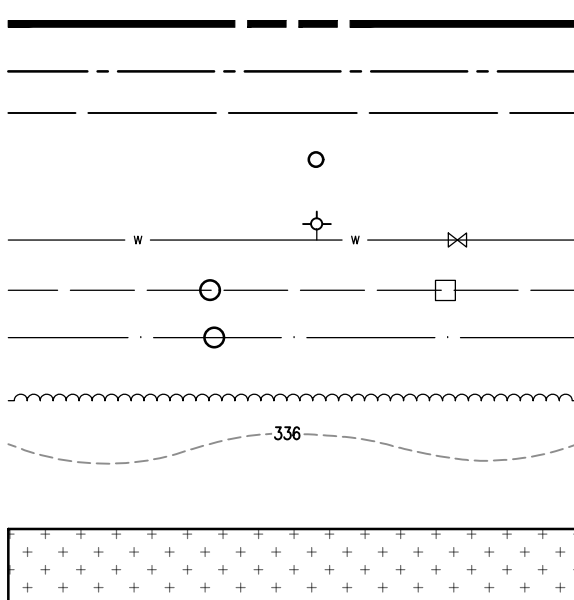
THIS MAP IS SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY SOURCES OTHER THAN THOSE REFERENCED HEREON.

BY: _____
DAVID N. ZACHARIAS NYSPLS NO. 89940





LEGEND



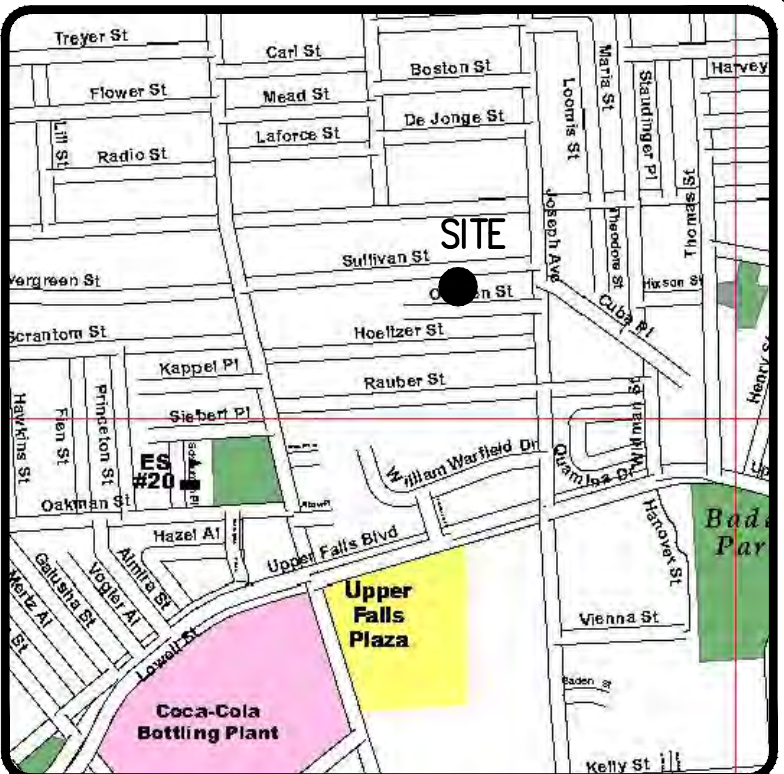
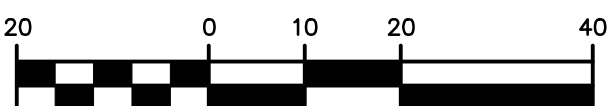
- BOUNDARY LINE
CENTERLINE
SETBACK LINE
PROPERTY MARKER FOUND

EX. WATERMAIN, HYDRANT AND VALVE
EXISTING STORM SEWER, AND MANHOLE
EXISTING SANITARY SEWER AND MANHOLE
EXISTING TREELINE
EXISTING CONTOUR

EXISTING PAVEMENT AREAS TO BE REMOVED AT FULL DEPTH

EXISTING TREE TO BE REMOVED

GRAPHIC SCALE



LOCATION MAP
NOT TO SCALE

DEMOLITION NOTES:

- CONTRACTOR SHALL ABANDON AND/OR REMOVE EXISTING UTILITIES, STRUCTURES, AND APPURTENANCES AS SHOWN ON THE PLANS AND/OR AS DIRECTED. THE CONTRACTOR SHALL COORDINATE THE WORK WITH THE ENGINEER AND THE AGENCY HAVING JURISDICTION, PRIOR TO COMMENCING WITH ABANDONMENTS AND REMOVALS. THE CONTRACTOR SHALL DISPOSE OF MATERIALS OFF-SITE IN ACCORDANCE WITH ALL CURRENT REGULATIONS AND REQUIREMENTS.
- EXISTING UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORDS PLANS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE UFPO HOTLINE AT 1-800-962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET THE EXISTING CONDITIONS.
- ALL MATERIALS TO BE REMOVED FROM THE SITE AND DISPOSED OF AS NECESSARY AT AN APPROVED LOCATION.
- CONTRACTOR TO COORDINATE SUPPORTING, ABANDONING, AND REMOVING UTILITIES WITH THE APPLICABLE UTILITY PROVIDERS AS NECESSARY.
- ALL NECESSARY UTILITY PERMITS SHALL BE OBTAINED BEFORE STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY SURVEY OFFICE.
- CONSTRUCTION/CONTRACTOR STAGING AREA TO BE COORDINATED WITH THE OWNER.
- CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE TO INSPECT GROUND DURING TOPSOIL REMOVAL & CLEARING AND GRUBBING PROCESS. HOLES RESULTING FROM TREE ROOT REMOVAL SHOULD BE BACKFILLED AND COMPACTED WITH STRUCTURAL BACKFILL AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- CONTRACTOR TO REMOVE AND DISPOSE OF ALL TREES WITHIN THE AREAS IDENTIFIED TO BE CLEARED AND GRUBBED.
- SIDEWALK CLOSURE/DETOUR PLAN IF NECESSARY WILL BE PROVIDED BY THE CONTRACTOR AND ARE FOR SIDEWALKS THAT ARE TO BE CLOSED FOR ANY TIME DURING CONSTRUCTION.
- TREES ADJACENT TO PROPOSED SITE DEVELOPMENT TO BE PROTECTED UNLESS OTHERWISE NOTED ON PLANS. SEE TREE PROTECTION DETAIL FOR FURTHER INFORMATION.
- SIDEWALKS SHALL REMAIN CLOSED DURING SIDEWALK DEMOLITION ACTIVITIES AND APPROPRIATE SIDEWALK DETOURS SHALL BE PROVIDED. IF SIDEWALK IS REOPENED PRIOR TO CONCRETE REPLACEMENT, THE SIDEWALK SHALL BE TEMPORARILY PAVED. IN NO CASE SHALL THE SIDEWALK BE LEFT WITH A STONE SURFACE WHEN REOPENED.
- CONTRACTOR TO REPLACE ANY DAMAGED SIDEWALK AND/OR CURBING WITHIN THE R.O.W. BY CONSTRUCTION ACTIVITIES.
- PAVEMENT SAW CUTS ARE TO BE FULL DEPTH, EXTEND THROUGH THE PAVEMENT BASE COURSE.
- RECYCLED MATERIALS, PULVERIZED, OR RECYCLED CONCRETE AGGREGATE AND BRICK, AND RECLAIMED ASPHALT PAVEMENT ARE UNACCEPTABLE MATERIALS FOR USE AS BACKFILL AND SUBBASE COURSES WITHIN THE R.O.W.
- THE DRIVEWAY OPENING AND THE PUBLIC SIDEWALKS ARE TO BE FULLY ACCESSIBLE FOR PERSONS WITH DISABILITIES IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE PROPOSED GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT-OF-WAY (PROWAG). ANY SIDEWALK OR DRIVEWAY AREAS REMOVED OR DAMAGED DURING CONSTRUCTION SHALL BE RESTORED PER CITY OF ROCHESTER SIDEWALK DETAIL.
- CONTRACTOR TO PERFORM EXPLORATORY EXCAVATIONS TO LOCATE EXISTING SANITARY SEWER LATERALS AS NECESSARY. IF EXISTING SANITARY LATERALS ARE LOCATED THE CONTRACTOR SHOULD REVIEW THE CONDITION OF THE EXISTING SANITARY SEWER LATERAL WITH THE DEVELOPER AND MOPW. IF A USABLE SANITARY LATERAL IS NOT FOUND, THE CONTRACTOR SHOULD INSTALL A NEW 6\"/>

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS



PUEBLO NUEVO HOUSING
APARTMENT PARCEL
ROCHESTER, MONROE COUNTY, NEW YORK STATE
BERGAMERICAN DEVELOPMENT
ROCHESTER, NY 14621

EXISTING CONDITIONS & DEMOLITION PLAN
FINAL

PROJECT LOCATION CLIENT DRAWING TITLE

PROJECT MANAGER
L. SWEDROCK
PROJECT ENGINEER
F. SHELLEY
DRAWN BY
R. GLITCH
SCALE DATE ISSUED
1\"/>

DRAWING NO. 2555A
03

- UTILITY NOTES:**

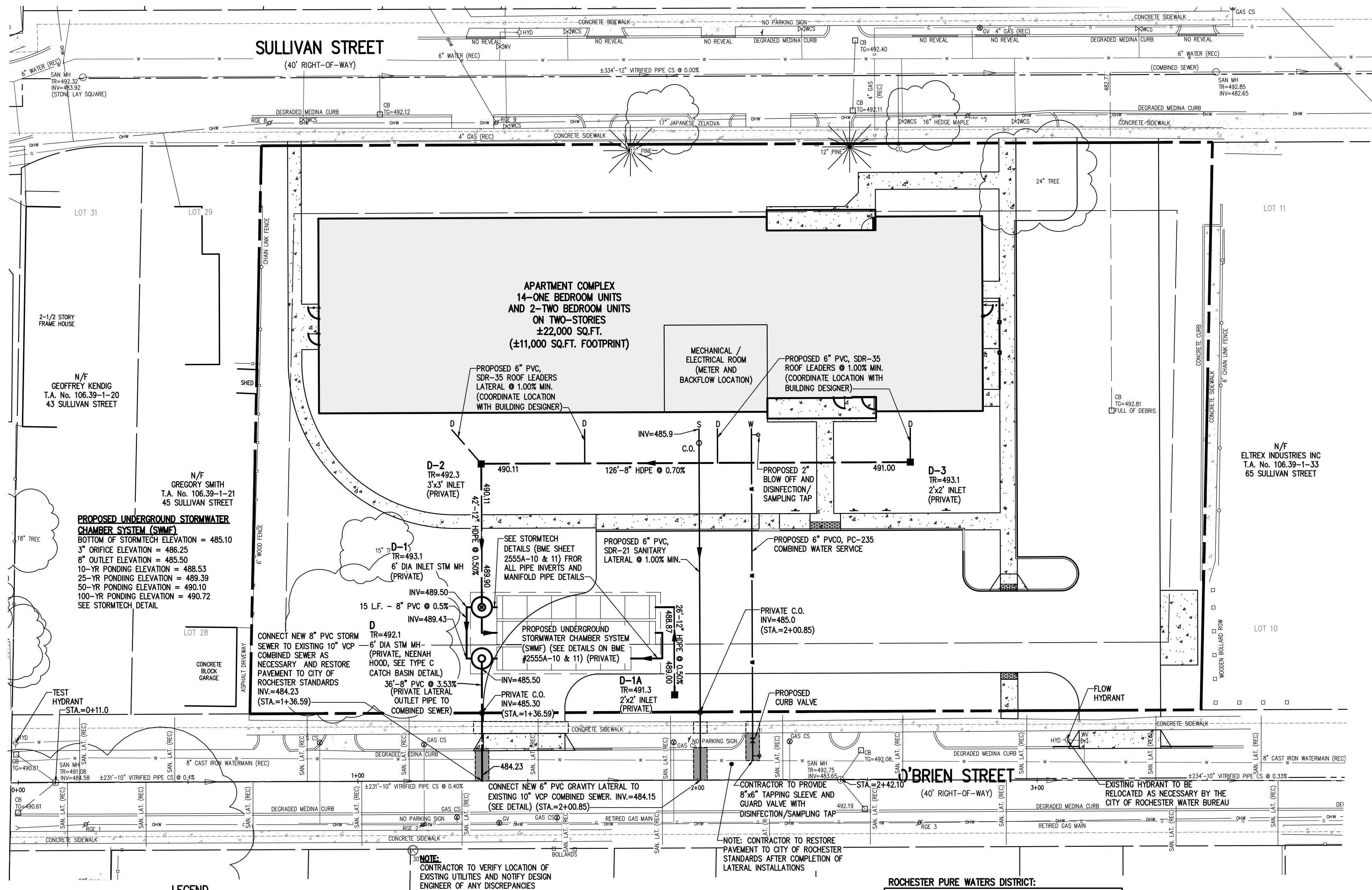
- ## RWB WATER MAIN AND SERVICE NOTES

- MCPW – ROCHESTER PURE WATERS DISTRICT SEWER NOTES FOR SEWER LATERAL CONNECTIONS:

- MCPW - ROCHESTER PURE WATERS DISTRICT SEWER NOTES FOR SEWER LATERAL CONNECTIONS:

-

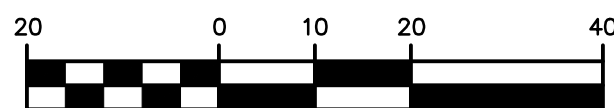
LOCATION MAP
NOT TO SCALE



LEGEND

- BOUNDARY LINE
PROPOSED LOT LINE
CENTERLINE
SETBACK LINE
ADJOINER LINE
EDGE OF PAVEMENT LINE
EXISTING EASEMENT LINE
EX. WATERMAIN, HYDRANT AND VALVE
PROP. WATERMAIN, HYDRANT AND VALVE
EXISTING STORM SEWER, AND MANHOLE
PROPOSED STORM SEWER, MANHOLE AND INLET
EXISTING SANITARY SEWER AND MANHOLE

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

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BME Associates

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter an item in any way. If an item bearing seal of an engineer or land surveyor altered, the altering engineer or land surveyor shall affix to the item his name and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

7			
6			
5			
4			
3			
2	REVISED PER MODES-PW COMMENTS DATED 5/2/18	8/14/18	FAS
1	REVISED PER ARCHITECTURAL PLANS	4/5/18	FAS
	REVISIONS	DATE	BY

BME ASSOCIATES

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FAIRPORT, NEW YORK 14450

PHONE 585-377-7360
FAX 585-377-7309



**PUEBLO NUEVO HOUSING
APARTMENT PARCEL**
ROCHESTER, MONROE COUNTY, NEW YORK STATE

IBERO-AMERICAN DEVELOPMENT
OF A CULTURAL MOVEMENT

934 CLIFFORD AVENUE
ROCHESTER, NY 14621

FINAL UTILITY PLAN

UTILITY PLAN

UTILITY PLAN

PROJECT	LOCATION
---------	----------

CLIENT

DRAWING T

PROJECT MANAGER
L. SWEDROCK

PROJECT ENGINEER
F. SHELLEY

DRAWN BY
R. GLITCH

SCALE
1"=20'

25

DRAWING NO.

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

1. THE CONSTRUCTION EROSION CONTROL PLAN CONSISTS OF THE PROJECT PLANS, INCLUDING THE GRADING, CONSTRUCTION EROSION CONTROL PLAN, DETAIL SHEETS, AND THE CITY OF ROCHESTER DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL.
2. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED CONSTRUCTION EROSION CONTROL PLAN. THE OWNER'S CONTRACTOR, SUB-CONTRACTOR, AND ALL OTHERS ASSOCIATED WITH THE IMPLEMENTATION OF THE PLAN SHALL BE FAMILIAR WITH THE PLAN AND THE CONDITIONS OF THE CITY OF ROCHESTER FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
3. ANY MODIFICATIONS OR DEVIATIONS FROM THE PLANS INCLUDING EROSION CONTROL MEASURES AND STORMWATER MANAGEMENT AREAS, SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE DESIGN ENGINEER AND THE CITY OF ROCHESTER.
4. THE OWNER'S CONTRACTOR /REPRESENTATIVE SHALL IDENTIFY AT LEAST ONE INDIVIDUAL TO BE TRAINED FROM THEIR COMPANY THAT WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE CONSTRUCTION EROSION CONTROL PLAN. THE OWNER/OPERATOR SHALL ENSURE THAT AT LEAST ONE OF THESE INDIVIDUALS IS ON SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED.

5. FOR DISTURBANCES LESS THAN 5 ACRES, DISTURBED AREAS EXPOSED FOR 14 DAYS OR MORE MUST BE TEMPORARILY SEEDDED. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY GROUNDCOVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL.
6. THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION.
7. ALL DISTURBED AREAS TO BE RECLAIMED WITH A MINIMUM OF 6" TOPSOIL.
8. TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:

THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENED BY DISKING, RAKING, OR BACK-BLADING WITH A BULLDOZER. IMMEDIATELY FERTILIZE WITH 300 LBS PER ACRE (OR 7 LBS. PER 1000 SQ. FT.) OF 10-10-10 FERTILIZER. IMMEDIATELY SEED WITH THE FOLLOWING MIX:

	<u>LBS./ACRE</u>	<u>LBS./1000 SQ. FT.</u>
ANNUAL RYEGRASS	40	1
PERENNIAL RYEGRASS	40	1
OATS	40	1
WHITE CLOVER (+ INOCULANT)	4	0.1

SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.

9. DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:

	<u>LBS/ACRE</u>	<u>% BY PURITY</u>	<u>% GERM</u>
PERENNIAL RYE GRASS	35	85	85
RED FESCUE	35	97	80
KENTUCKY BLUEGRASS	30	85	80

SEEDING RATE: 6.0 LBS PER 1,000 SQ FT.
MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING METHOD.

AT TWO TONS PER ACRE WITH TACKIFIER
STARTING FERTILIZER: 5-10-10 AT 20 LBS PER SQ. F.

10. ALL SEEDED AREAS ARE TO BE MONITORED FOR GERMINATION AND EROSION. ERODED AREAS ARE TO BE BACKFILLED, FINE GRADED AND RE-SEEDED. AREAS THAT FAIL TO GERMINATE A MINIMUM OF 80% SHALL BE RE-SEEDED.

11. ANY EXCAVATIONS THAT MUST BE DEWATERED SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE BEFORE ENTERING AN ACTIVE DRAINAGE SYSTEM OR DISPERSED TO AN UNDISTURBED AREA

12. THE OWNER SHALL BE RESPONSIBLE FOR REMOVING EXISTING EROSION CONTROL MEASURES THAT ARE LOCATED WITHIN ESTABLISHED AREAS. MATERIALS ARE TO BE DISPOSED OF PROPERLY.

BOUNDARY LINE
PROPOSED LOT LINE
CENTERLINE
SETBACK LINE
ADJOINER LINE
EDGE OF PAVEMENT LINE
EXISTING EASEMENT LINE
EX. WATERMAIN, HYDRANT AND VALVE
PROP. WATERMAIN, HYDRANT AND VALVE
EXISTING STORM SEWER, AND MANHOLE
PROPOSED STORM SEWER, MANHOLE AND INLET
EXISTING SANITARY SEWER AND MANHOLE
PROPOSED SANITARY SEWER AND MANHOLE
EXISTING CONTOUR
PROPOSED CONTOUR
EXISTING SPOT ELEVATION
PROPOSED SPOT ELEVATION
PROPOSED FINISHED GRADE
PROPERTY MARKER FOUND
CONCRETE HIGHWAY MONUMENT FOUND
EXISTING HYDRANT AND VALVE
EXISTING CATCH BASIN
EXISTING LIGHT POLE
EXISTING SIGN
EXISTING UTILITY POLE
PROPOSED INLET PROTECTION
PROPOSED SILT FENCE
PROPOSED LIMIT OF DISTURBANCE
PROPOSED PERIMETER SECURITY FENCE

STEP 1: (SITE PREPARATION AND DEMOLITION)

- INSTALL AND MAINTAIN PERIMETER SECURITY FENCE, STABILIZED CONSTRUCTION ENTRANCE (SEE DETAIL), AND CONSTRUCTION STAGING AREA
- INSTALL PERIMETER SILT FENCE

- STRIP TOPSOIL FROM THE SITE AND STOCKPILE IT IN THE DETERMINED AREAS. INSTALL SILT FENCE AROUND PERIMETER OF TOPSOIL PILE AND SEED WITH TEMPORARY SEEDING MIX.
- SAWCUT AND REMOVE EXISTING ASPHALT FROM THE SITE AS REQUIRED. CONTRACTOR TO REMOVE EXISTING STRUCTURES, UTILITIES, FENCE, SIGNAGE, SIDEWALK ETC. (SEE DEMOLITION PLAN). CONTRACTOR TO PREPARE SITE AS NECESSARY.
- PEDESTRIAN AND VEHICLE ACCESS IS TO BE MAINTAINED.

- COMMENCE GRADING OPERATIONS. INSTALL ADDITIONAL EROSION CONTROL MEASURES. MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL GROUND COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE CITY/GOVERNING AGENCY. CONTRACTOR TO FINE GRADE, SEED, AND MULCH DISTURBED AREAS WITHIN 7 DAYS IF NOT WORKED WITHIN 7 DAYS. SEED WITH SEED MIX AS INDICATED, AND PROVIDE MULCH AS SPECIFIED IN THE CONSTRUCTION EROSION CONTROL NOTES.

- COMPLETE EARTHWORK, INCLUDING FINE GRADING OF SWALES.

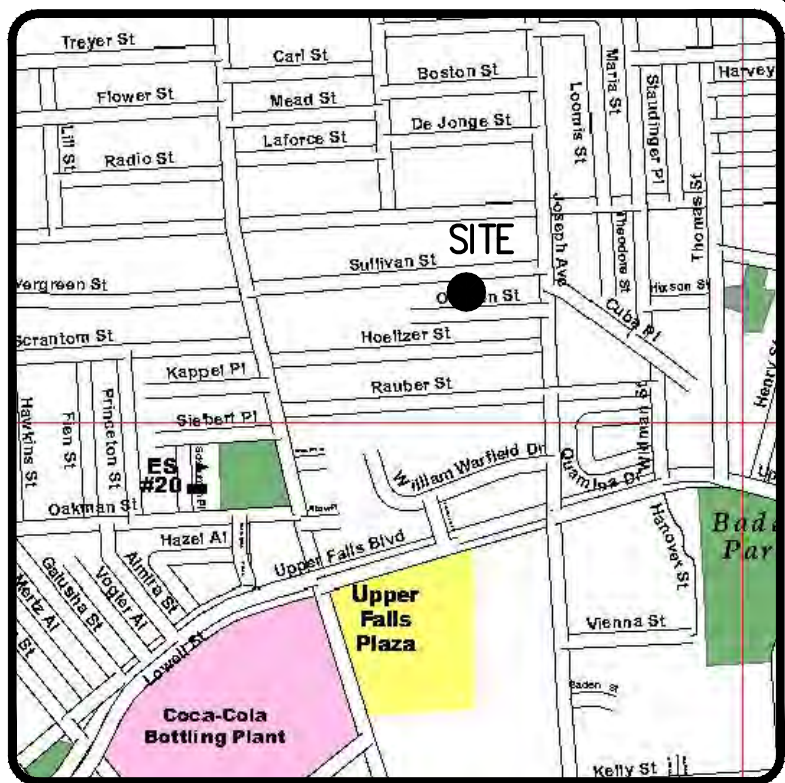
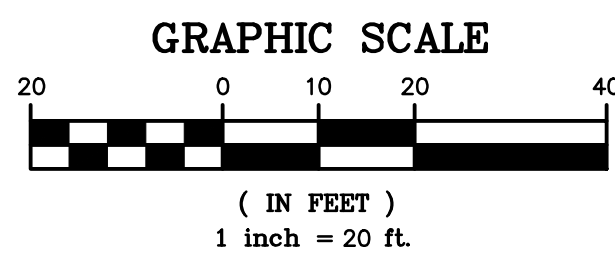
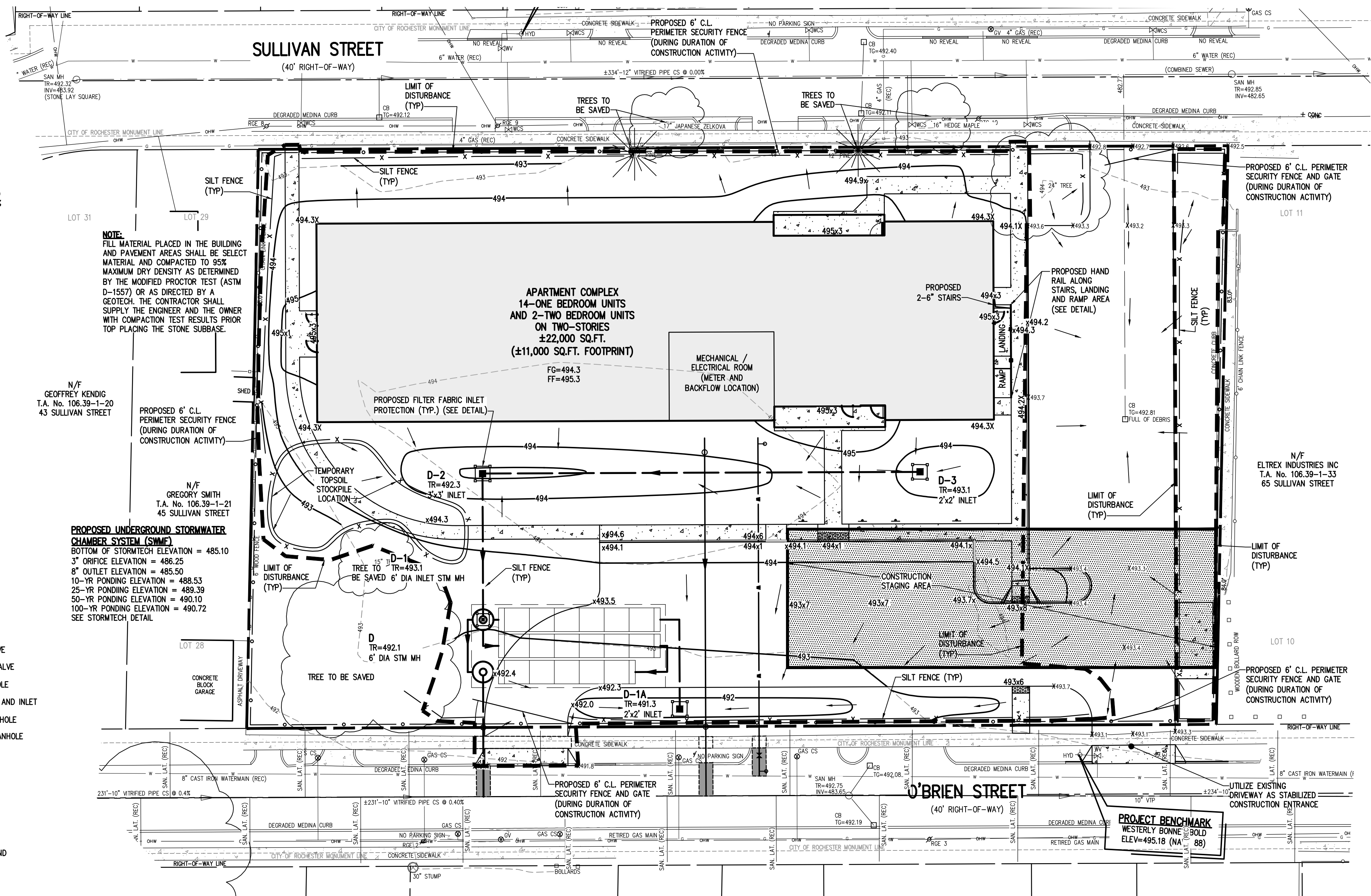
- CONTRACTOR MAY INSTALL UTILITIES AND LATERALS DURING GRADING OPERATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STABILIZE THE SITE AND VERIFY GRADING ELEVATIONS PRIOR TO UTILITY CONSTRUCTION. THE STORMTECH CHAMBER SYSTEM TO BE INSTALLED PRIOR TO STABILIZATION OF THE SITE. ADDITIONAL EROSION CONTROL MEASURES SHALL BE PROVIDED AS SHOWN IN THE PLANS, OR AS DIRECTED.

STEP 3: (STABILIZATION & MONITORING)

- COMPLETE INSTALLATION OF UNDERGROUND UTILITIES.
- MAINTAIN SILT FENCE
- SEE CONSTRUCTION EROSION CONTROL NOTES FOR REQUIRED SEED MIXES AND WINTER SITE STABILIZATION METHODOLOGY.

- DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE CITY OR OWNER.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE EXISTING ROADWAYS AND DRAINAGE CHANNELS FREE OF MUD, DIRT, AND DEBRIS. THE CONTRACTOR WILL CLEAN THESE AREAS AS NECESSARY OR AS REQUIRED BY THE OWNER OR CITY OF ROCHESTER.



GRADING NOTES:

1. BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY. NO RESTRICTION IS INTENDED AS TO SIZE OR LOCATION OTHER THAN APPLICABLE ZONING REQUIREMENTS.
2. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER. THE APPROPRIATE AGENCIES (IE, ROCHESTER PURE WATERS DISTRICT, CITY OF ROCHESTER WATER BUREAU, AND THE MONROE COUNTY HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
4. THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
5. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, A FIELD SURVEY NEEDS TO BE COMPLETED AND THE CONTRACTOR SHALL CALL THE UPFO HOTLINE AT 1(800)962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
6. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE OCCASIONAL EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
7. THE OWNER AND THE CONTRACTOR SHALL HAVE COMPLETE KNOWLEDGE OF THE CURRENT BLASTING POLICY FOR THE CITY OF ROCHESTER, AND THEY WILL CONFORM TO THIS POLICY AT ALL TIMES.
8. THE SITE CONTRACTOR AND DEVELOPER SHALL BE RESPONSIBLE FOR IMPLEMENTING EROSION CONTROL MEASURES FOR SITE CONSTRUCTION. THE MEASURES ARE TO REMAIN IN PLACE UNTIL SITE CONSTRUCTION IS COMPLETE AND THE LAWN IS ESTABLISHED.
9. ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES--PERMIT OFFICE, 585-428-6648.
10. A PERMIT FOR THE WATER SEWER INSTALLATION IS TO BE OBTAINED BY A PLUMBER, LICENSED BY THE CITY OF ROCHESTER. A PERMIT MAY BE OBTAINED FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES--PERMIT OFFICE, CITY HALL, 30 CHURCH STREET, ROOM 1218, 585-428-6848.
11. THE CONTRACTOR SHALL CONTRACT DUST ONSITE AS DIRECTED BY THE CITY OF ROCHESTER.
12. FILL MATERIAL PLACED IN THE BUILDING AND PAVEMENT AREAS SHALL BE SELECT MATERIAL COMPACTED TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557) OR AS DIRECTED BY A GEOTECH. THE CONTRACTOR SHALL SUPPLY THE ENGINEER AND THE OWNER WITH COMPACTION TEST RESULTS PRIOR TO TOP LAYING THE STONE SUBBASE.
13. CONTRACTOR SHALL INSTALL STONE SUBBASE AND THE ASPHALT CONCRETE BINDER COURSE. PRIOR TO PLACING THE BINDER COURSE, THE PARKING LOT/DRIVEWAY SHALL BE REVIEWED BY THE ENGINEER AND THE OWNER.
14. CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE TO INSPECT GRAD DURING TOPSOIL REMOVAL & CLEARING AND GRUBBING PROCESS. HILLS RESULTING FROM TREE ROOT REMOVAL SHOULD BE BACKFILLED AND COMPACTED WITH STRUCTURAL BACKFILL AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
15. CONTRACTOR TO REMOVE AND DISPOSE OF ALL TREES WITHIN THE AREAS IDENTIFIED TO BE CLEARED AND GRUBBED. TREES ADJACENT TO PROPOSED SITE DEVELOPMENT TO BE PROTECTED UNLESS OTHERWISE NOTED ON PLANS. SEE TREE PROTECTION DETAIL FOR FURTHER INFORMATION.
16. APPROXIMATE BEDROCK ELEVATION IS 482' BASED ON FOUNDATION DESIGN, P.C.'S DECEMBER 2017 GEOTECHNICAL EVALUATION REPORT FOR THE PUEBLO NUCLEO HOUSING.

NOT APPROVED

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7			
6			
5			
4			
3			
2	REVISED PER MODES-PW COMMENTS DATED 5/2/18	8/14/18	FAS
1	REVISED PER ARCHITECTURAL PLANS	4/5/18	FAS
	REVISIONS	DATE	BY

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
WWW.BMEPCOM

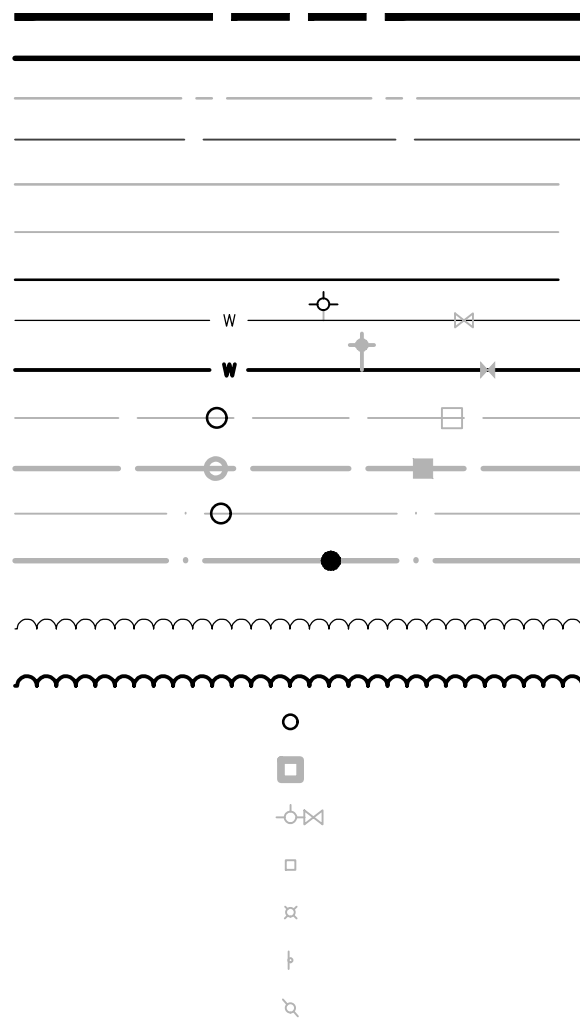
PHONE 585.377-7360
FAX 585.377-7309



PROJECT	PUEBLO NUEVO HOUSING
LOCATION	APARTMENT PARCEL
CLIENT	ROCHESTER, MONROE COUNTY, NEW YORK STATE URBAN-AMERICAN DEVELOPMENT 954 GLENDON AVENUE ROCHESTER, NY 14621
DRAWING TITLE	GRADING & CONSTRUCTION EROSION CONTROL PLAN
	FINAL

PROJECT MANAGER	
L. SWEDROCK	
PROJECT ENGINEER	
F. SHELLEY	
DRAWN BY	
R. GLUTCH	
SCALE	DATE ISSUED
1"=20'	FEBRUARY 2018
PROJECT NO.	
2555A	
DRAWING NO.	
05	

LEGEND



PLANT MATERIALS LIST

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
TREES						
2	AXF	Acer x freemantli 'Autumn Blaze'	Autumn Blaze Maple	3" cal	B&B	
4	AC	Amelanchier canadensis 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2" cal	B&B	
1	CO	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	3" cal	B&B	
2	QR	Quercus rubra	Red Oak	3" cal	B&B	
SHRUBS						
12	CA	Clethra alnifolia	Summersweet	18"	cont	
14	CS	Cornus sericea 'Isanti'	Isanti Redosier Dogwood	24"	B&B	
2	HQ	Hydrangea quercifolia	Oakleaf Hydrangea	2 gal	cont	
19	JV	Juniperus virginiana 'Cupressifolia'	Hillspire Eastern Red-cedar	4"	cont	
5	RA	Rhus aromatic 'Gro-low'	Gro-low Sumac	2 gal	cont	
4	VD	Viburnum dentatum 'Blue Muffin'	Blue Muffin Arrowwood viburnum	2 gal	cont	

LANDSCAPE NOTES:

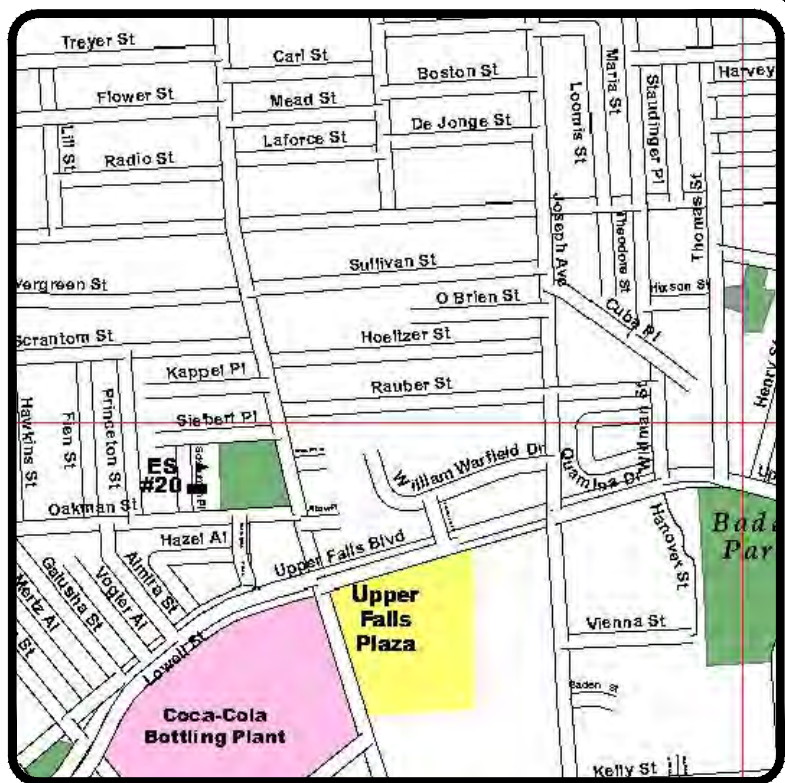
- ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LAST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z601.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFFS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF FIVE FEET (5') FROM UNDERGROUND UTILITIES TO THE PLANT BALL.
- ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF TEN FEET (10') FROM OVERHEAD UTILITIES TO THE PLANT BALL.
- PLANTING SOIL MIXTURE SHALL HAVE A RATIO BY VOLUME OF FOUR PARTS TOPSOIL TO ONE PART PEAT. SOIL AMENDMENTS TO BE MODIFIED PER INDIVIDUAL PLANT MATERIAL REQUIREMENTS.
- STAKE TREES IMMEDIATELY AFTER PLANTING (REFER TO DETAIL).
- PROVIDE ALL PLANTING BEDS WITH A CONTINUOUS 3" LAYER OF MULCH. MULCH SHALL BE PROVIDED AS FOLLOWS: 100% SHREDED HARDWOOD MULCH, NO GREATER THAN 1" IN SIZE, UNIFORMLY MIXED AND FREE FROM DELETERIOUS MATERIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF PLANT MATERIALS AND SEEDED AREAS UNTIL FINAL ACCEPTANCE.
- A MINIMUM ONE YEAR GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM THE DATE OF FINAL ACCEPTANCE.
- SEED ALL AREAS NOT PAVED, PLANTED OR SPECIFIED OTHERWISE WITH LAWN SEED. ALL AREAS TO BE PERMANENTLY SEEDED TO BE TOPSOILED AT A MINIMUM THICKNESS OF 6" PRIOR TO SEEDING.

A. LAWN SEED MIXTURE SHALL BE PROVIDED AS FOLLOWS:

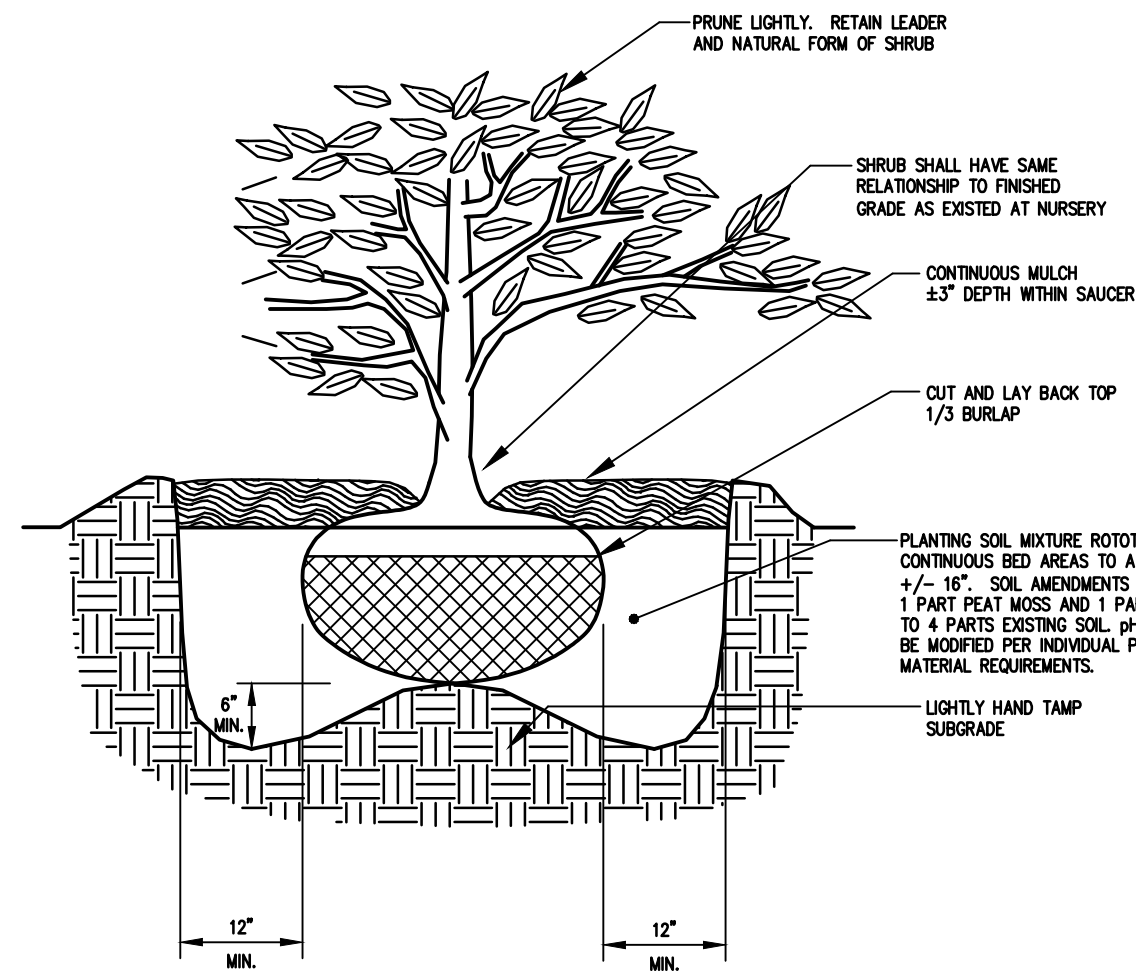
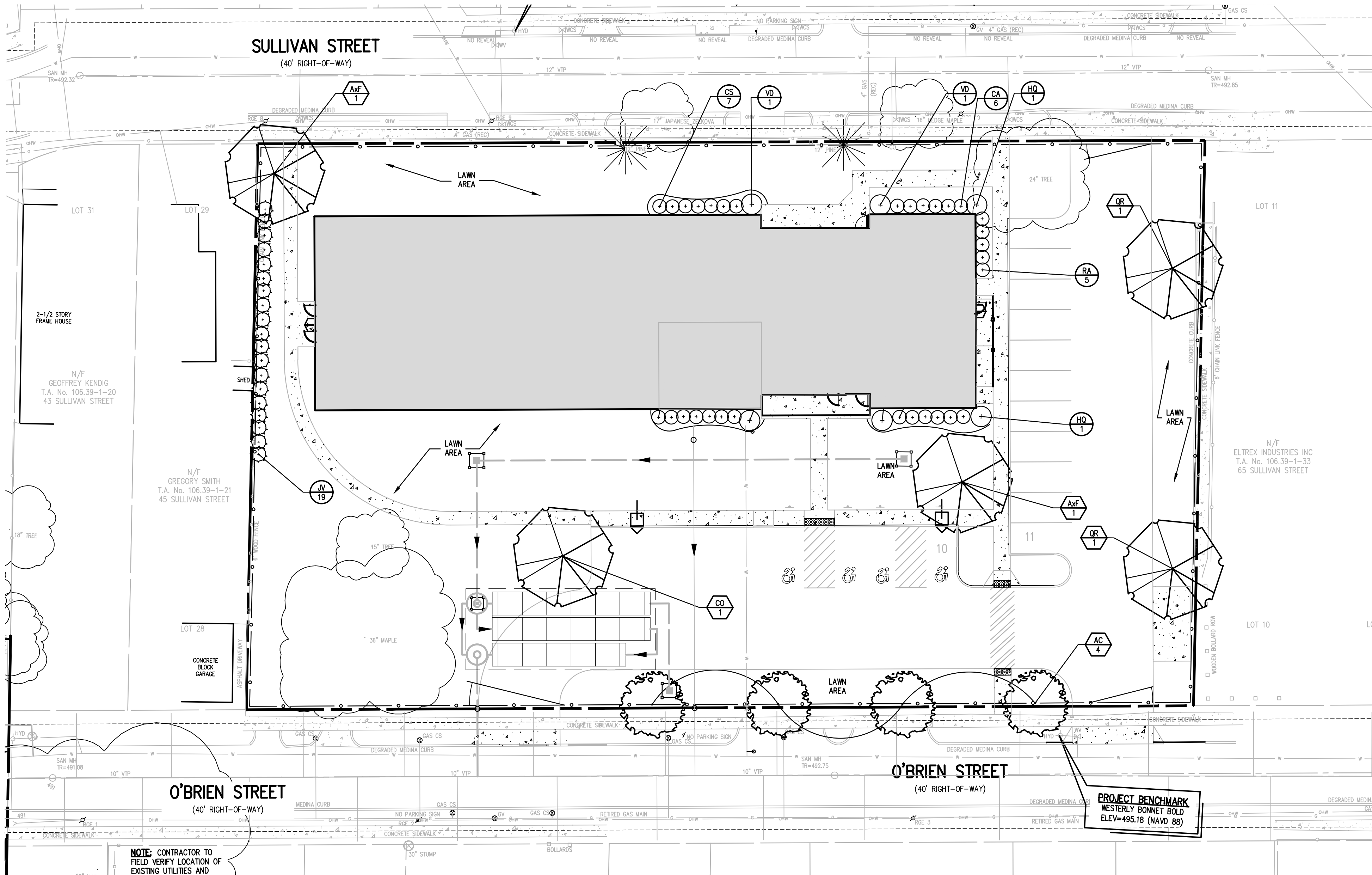
% BY WEIGHT	% BY PURITY	% GERMINATION
35	85	85
35	97	80
30	85	80

SEEDING RATE: 6.0 LBS PER 1,000 SF.
MULCH: STRAW AT TWO TONS PER ACRE, OR WOOD FIBER MULCH
USED WITH A HYDROSEEDING APPLICATION METHOD, WITH TACKIFIER.
STARTING FERTILIZER: 5:10:10 AT 20 LBS PER 1,000 SF.

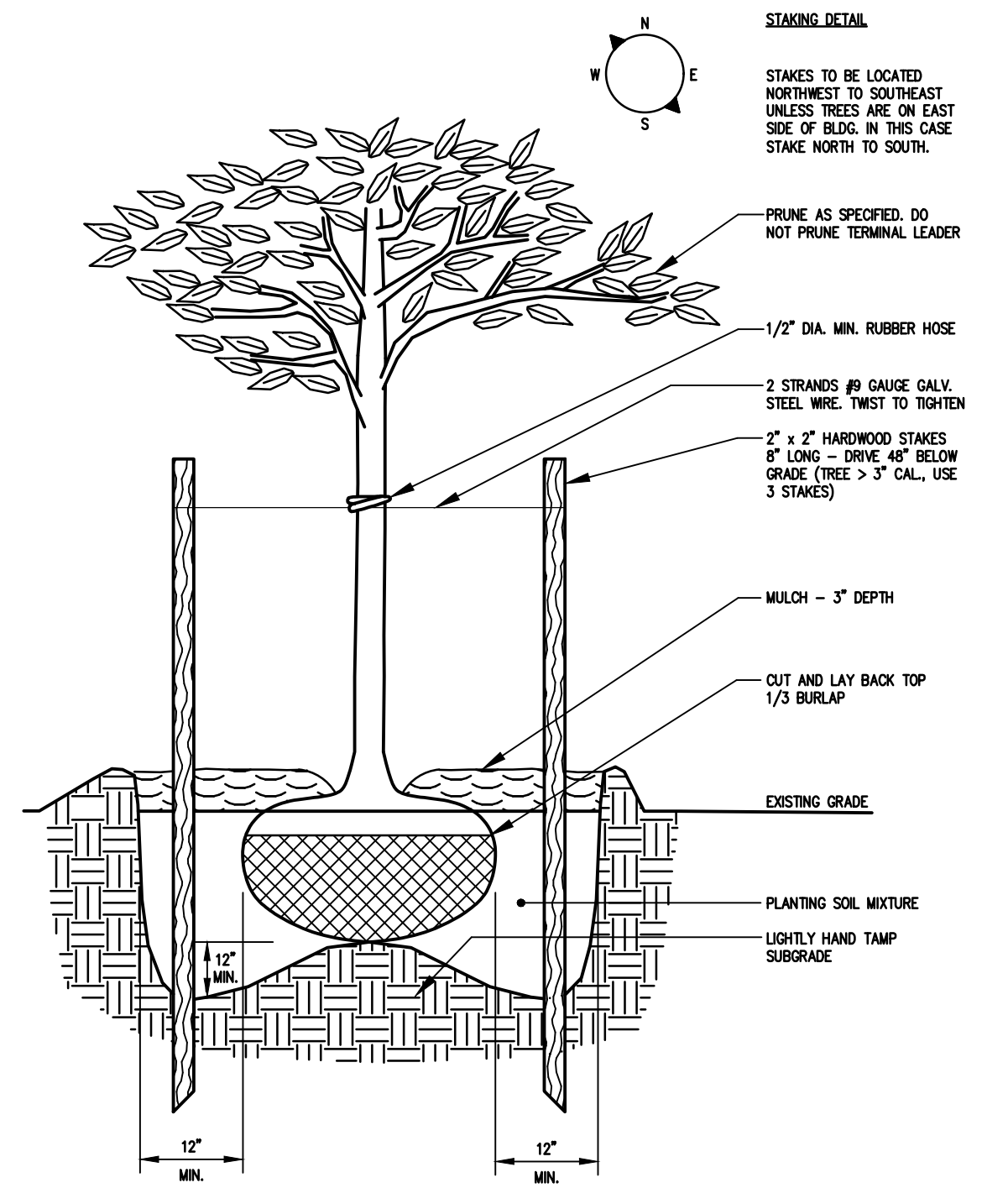
B. REFER TO BME DWG NO. 2555A-04/CONSTRUCTION EROSION CONTROL PLAN FOR FURTHER SEEDING REQUIREMENTS.



LOCATION MAP
NOT TO SCALE



SHRUB PLANTING DETAIL
N.T.S.



TREE PLANTING DETAIL
N.T.S.

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BME ASSOCIATES
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NEW YORK, NY 10001
WWW.BMEARCH.COM



PUEBLO NUEVO HOUSING
APARTMENT PARCEL
TOWN OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
IBERCO AMERICAN DEVELOPMENT
ROCHESTER, NY 14621
FINAL
LANDSCAPE PLAN
47, 51, 59 SULLIVAN ST. & 50 O'BRIEN ST.

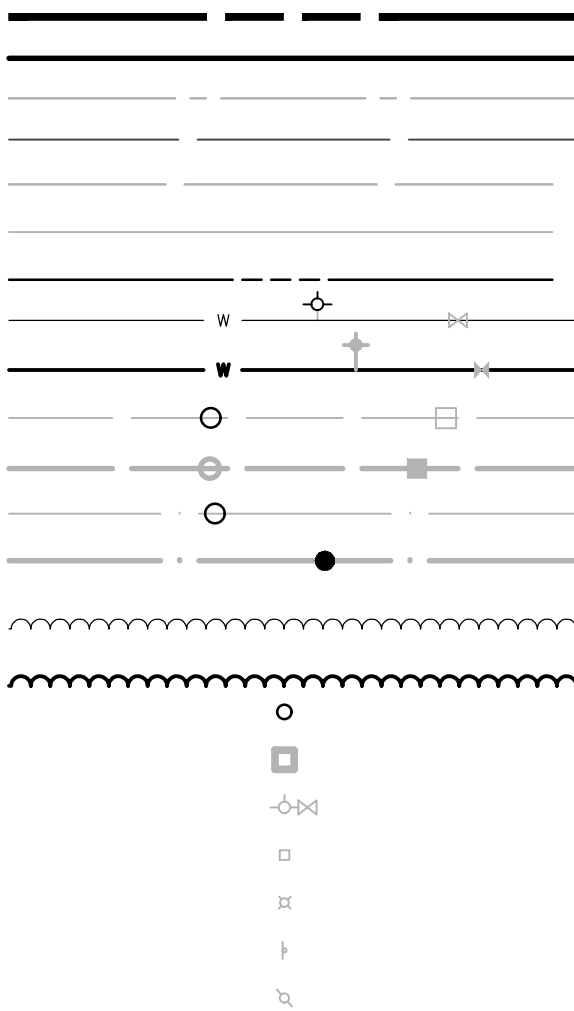
PROJECT MANAGER
L. SWEDROCK
PROJECT ENGINEER
F. SHELLEY
DRAWN BY
L. ROCKCASTLE
SCALE
AS SHOWN
DATE ISSUED
FEBRUARY 2018
PROJECT NO.

2555A

DRAWING NO.

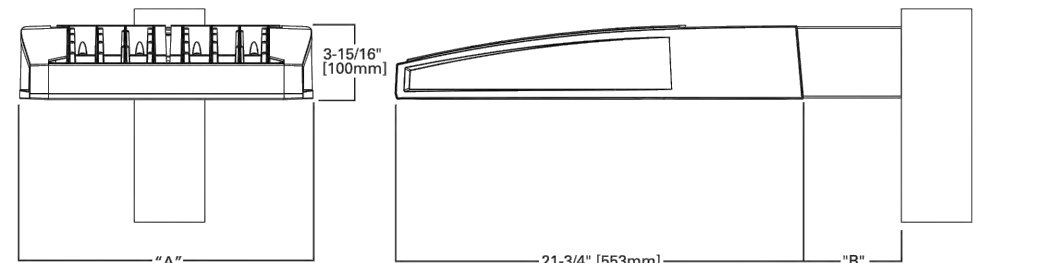
06

LEGEND



- BOUNDARY LINE
PROPOSED LOT LINE
CENTERLINE
SETBACK LINE
ADJOINER LINE
EDGE OF PAVEMENT LINE
EXISTING EASEMENT LINE
EX. WATERMAIN, HYDRANT AND VALVE
PROP. WATERMAIN, HYDRANT AND VALVE
EXISTING STORM SEWER, AND MANHOLE
PROPOSED STORM SEWER, MANHOLE AND INLET
EXISTING SANITARY SEWER AND MANHOLE
PROPOSED SANITARY SEWER AND MANHOLE
EXISTING TREELINE
PROPOSED TREE LINE
PROPERTY MARKER FOUND
CONCRETE HIGHWAY MONUMENT FOUND
EXISTING HYDRANT AND VALVE
EXISTING CATCH BASIN
EXISTING LIGHT POLE
EXISTING SIGN
EXISTING UTILITY POLE

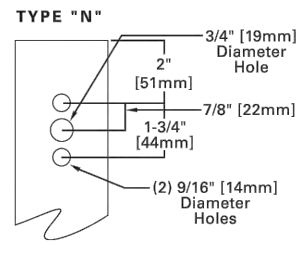
DIMENSIONS



DIMENSION DATA					
Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length	Weight with Arm (lbs.)	EPA with Arm (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	23 (10.0 kgs.)	0.96
5-6	21-5/8" (544mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	12" (300mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA calculated with optional arm length.

DRILLING PATTERN

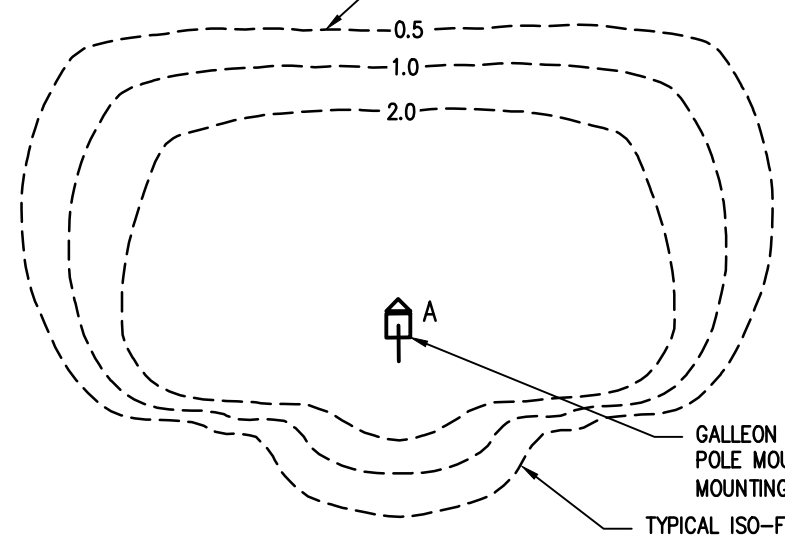


TYPICAL POLE MOUNTED FIXTURE
DETAIL
N.T.S.

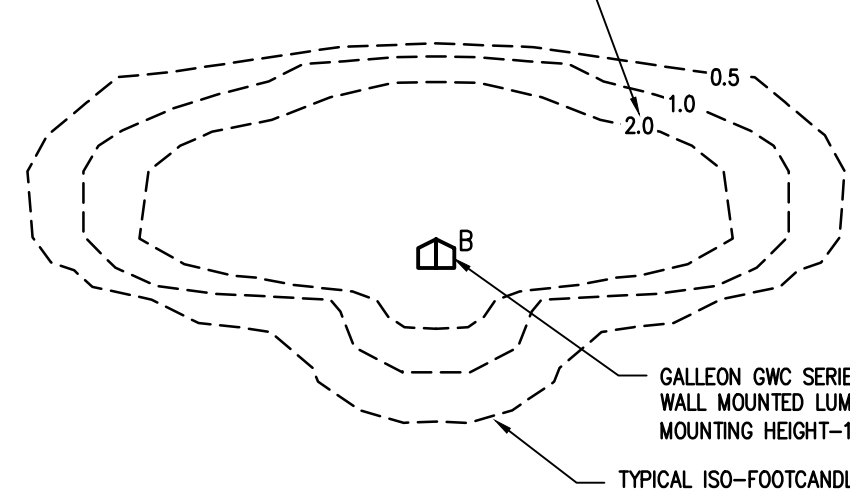
LUMINAIRE SCHEDULE

TYPE	SYMBOL	QTY	MANUFACTURER	CATALOGUE NUMBER	ARRANGEMENT	WATTAGE	LUMENS/LAMP	LLF	MH	POLE	DESCRIPTION
A		2	GLEON-AE-04-LED-E1-T4W		Single	264	25468	1.0	18'	16'	GALLEON SERIES SINGLE LED POLE MOUNT FIXTURE WITH FULL CUT-OFF WIDE THROW OPTICS
B		2	GWC-AF-01-LED-E1-T2		Single	59	6238	1.0	12'	N/A	GALLEON SERIES SINGLE LED WALL MOUNT FIXTURE WITH FULL CUT-OFF TYPE II DISTRIBUTION

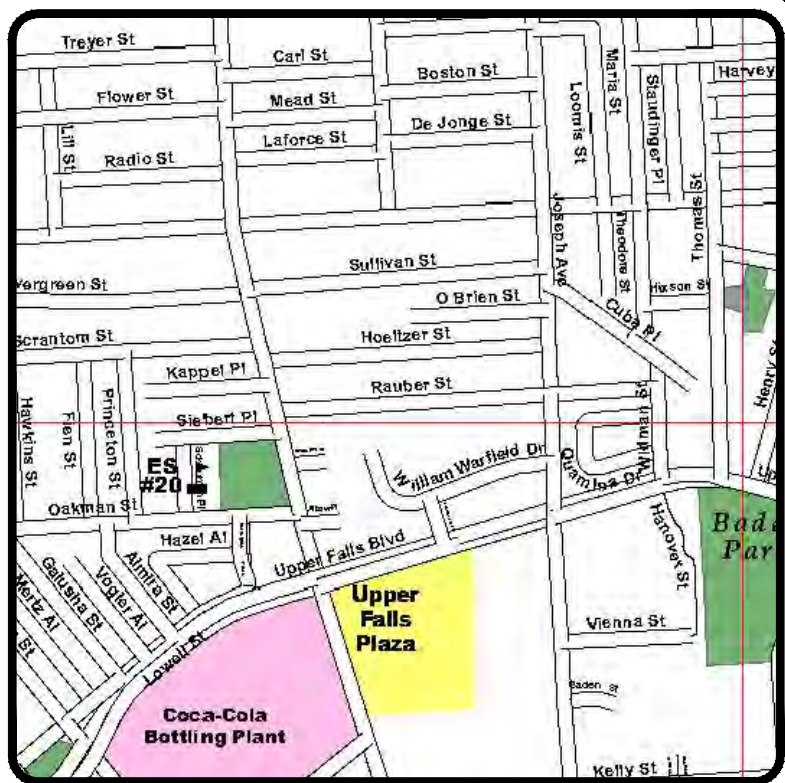
FOOTCANDLE READING (TYP)



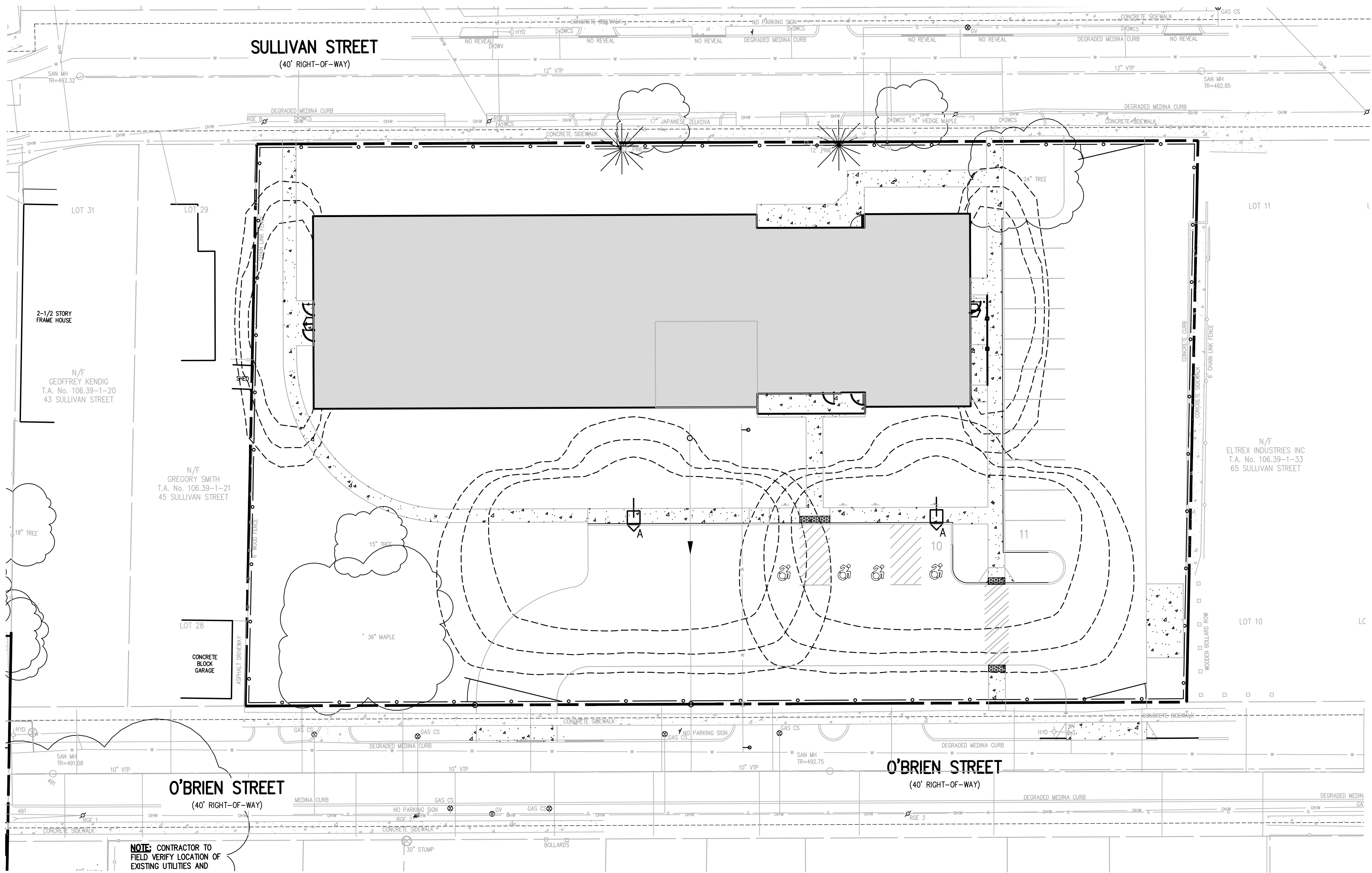
FOOTCANDLE READING (TYP)



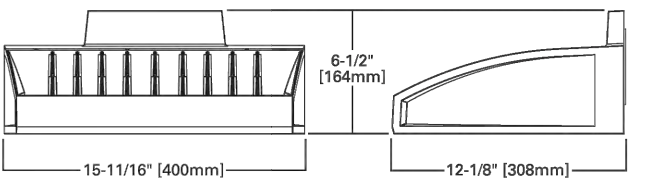
TYPICAL ISO-FOOTCANDLE PLOTS
N.T.S.



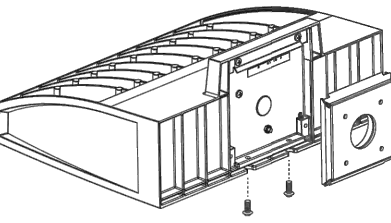
LOCATION MAP
NOT TO SCALE



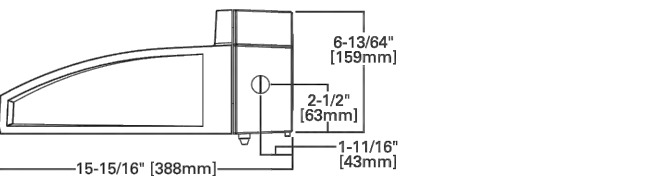
DIMENSIONS



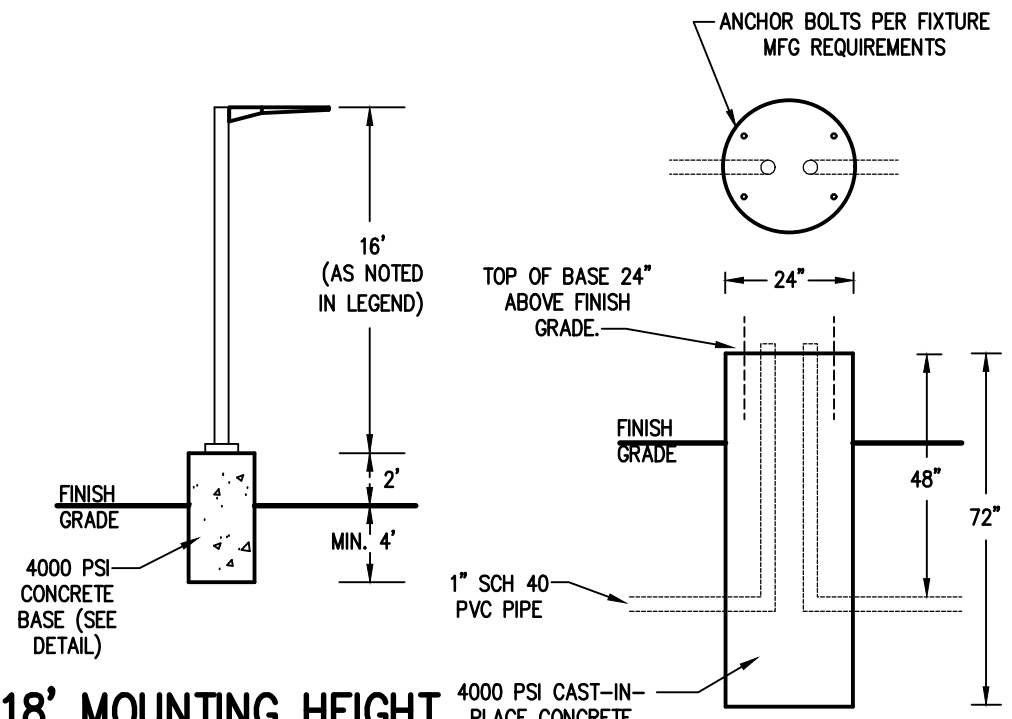
HOOK-N-LOCK MOUNTING



BATTERY BACKUP AND THRU-BRANCH BACK BOX



TYPICAL WALL MOUNTED FIXTURE
DETAIL
N.T.S.



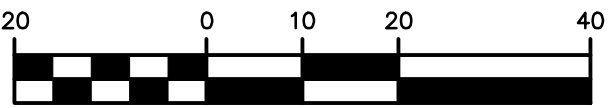
18' MOUNTING HEIGHT
LIGHT POLE DETAIL
N.T.S.

4000 PSI CAST-IN-PLACE CONCRETE
LIGHT POLE BASE DETAIL
N.T.S.

LIGHTING NOTES:

1. SITE LIGHTING TO BE PROVIDED AS DETAILED IN PROVIDED LUMINAIRE SCHEDULE, OR APPROVED EQUIVALENT.
2. ALL LIGHT POLES TO BE SQUARE ALUMINUM POLES, AND SUPPLIED WITH MATCHED POLE TOP AND BASE COVER.
3. ALL SITE LIGHTING TO BE DARK SKY COMPLIANT.
4. ALL SITE LIGHTING TO BE CONTROLLED WITH DUSK TO DAWN PHOTO CONTROLS.
5. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES AND TAKEOFFS.
6. CONTRACTOR TO PROVIDE FINAL CUT SHEET AND SHOP DRAWINGS OF PROPOSED LIGHT FIXTURES, POLES AND LIGHT BASES FOR REVIEW AND APPROVAL BY OWNER PRIOR TO INSTALLATION. CONTRACTOR RESPONSIBLE TO PROVIDE LIGHTING POINT PLOT FOR OWNER REVIEW AND APPROVAL PRIOR TO INSTALLATION.
7. OWNER / CONTRACTOR IS RESPONSIBLE FOR ELECTRICAL SERVICE DISTRIBUTION DESIGN AND LIGHTING CIRCUITRY DESIGN.

GRAPHIC SCALE

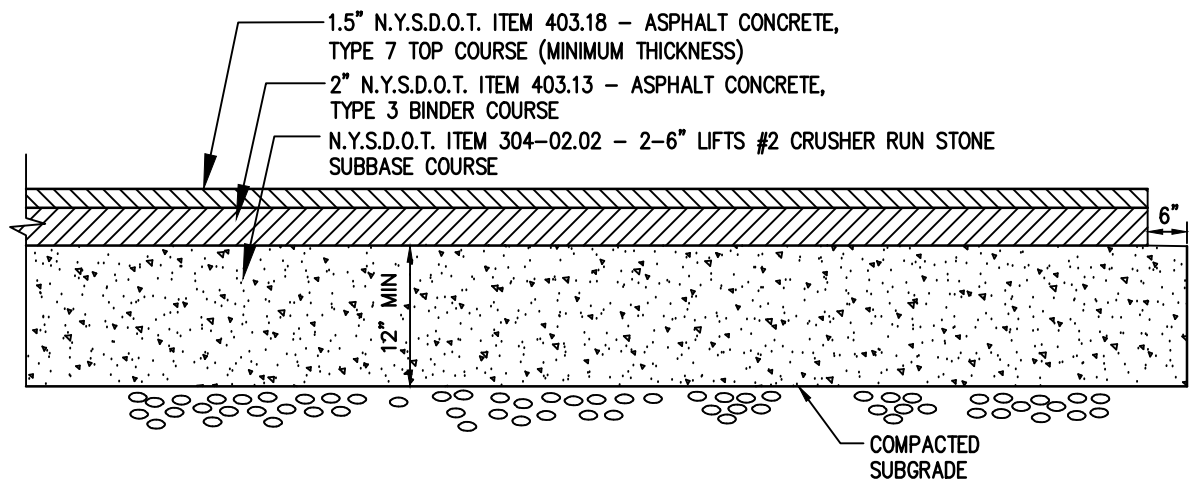


(IN FEET)
1 inch = 20 ft.

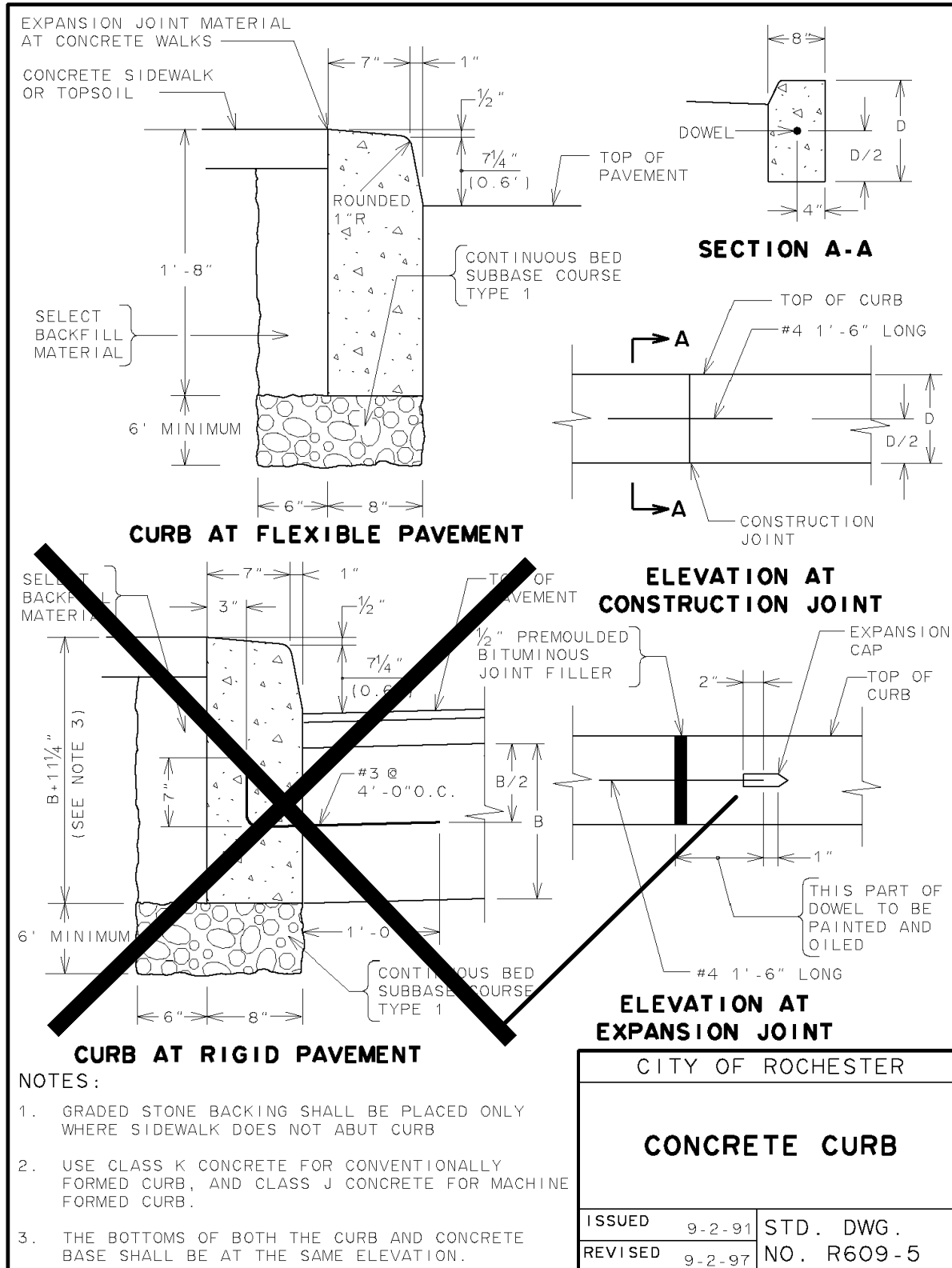
NOT APPROVED

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P:\2555A Drawings\Final\2555A Detail Base.dwg

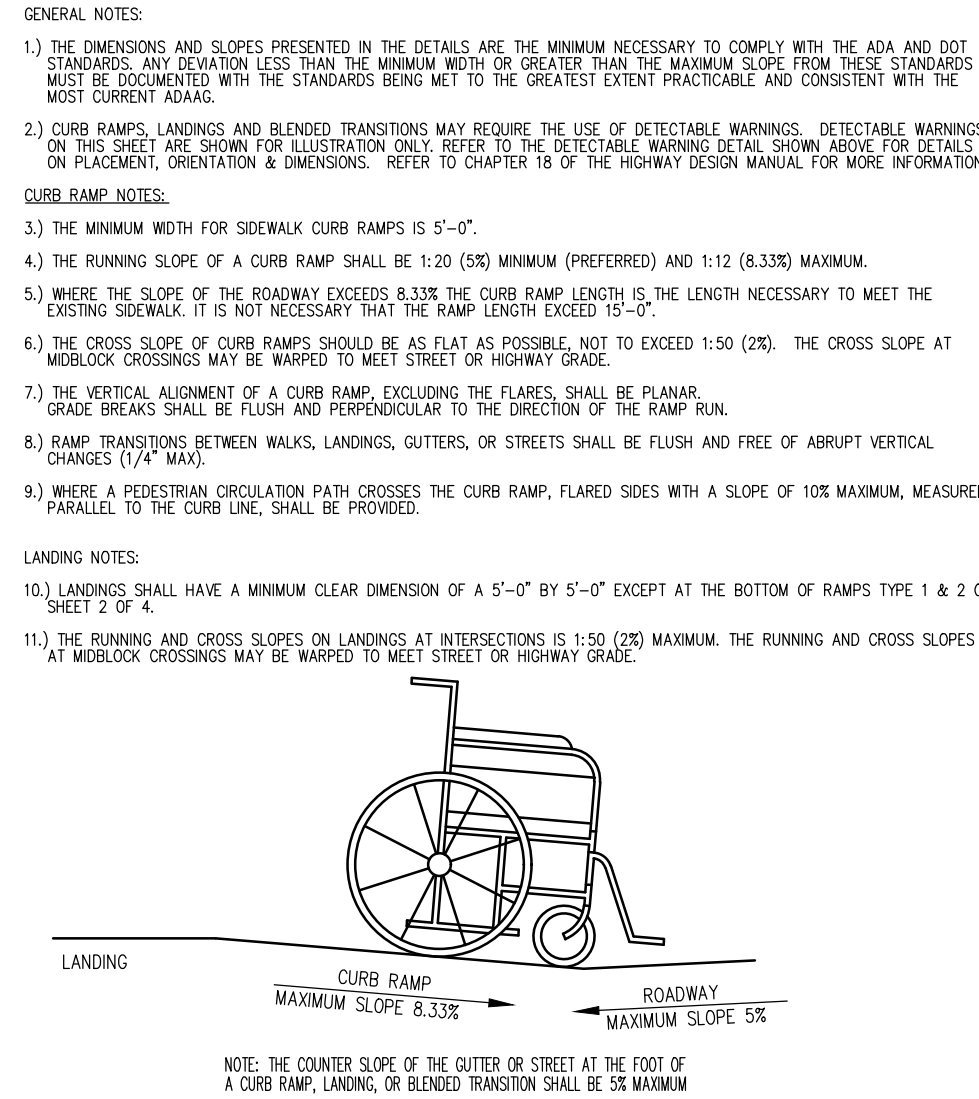
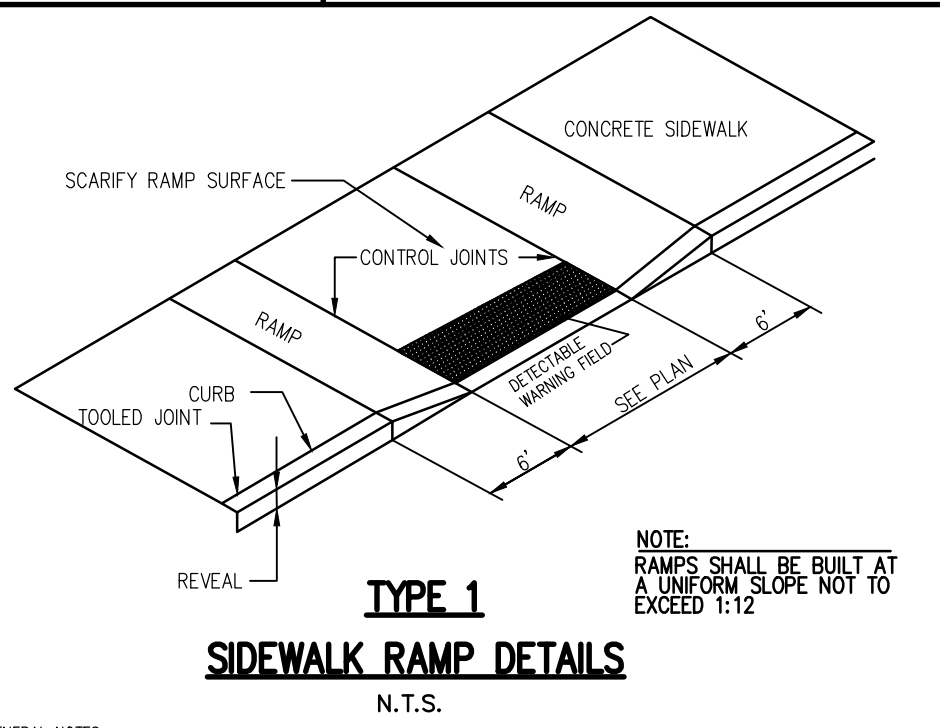
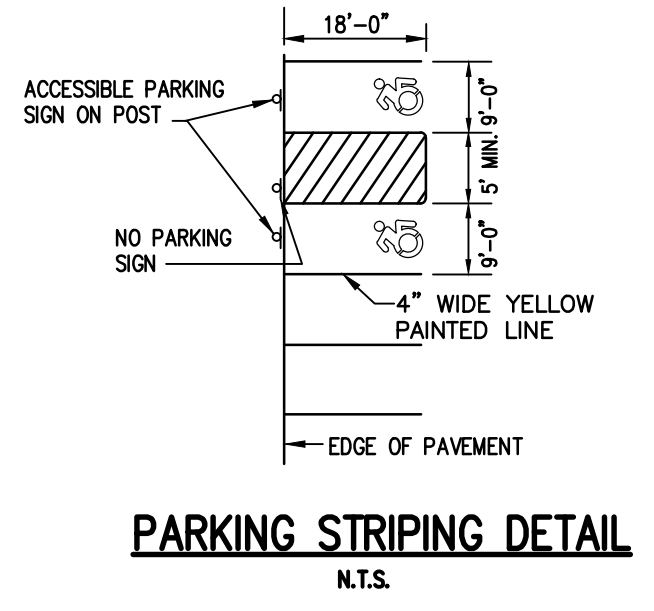
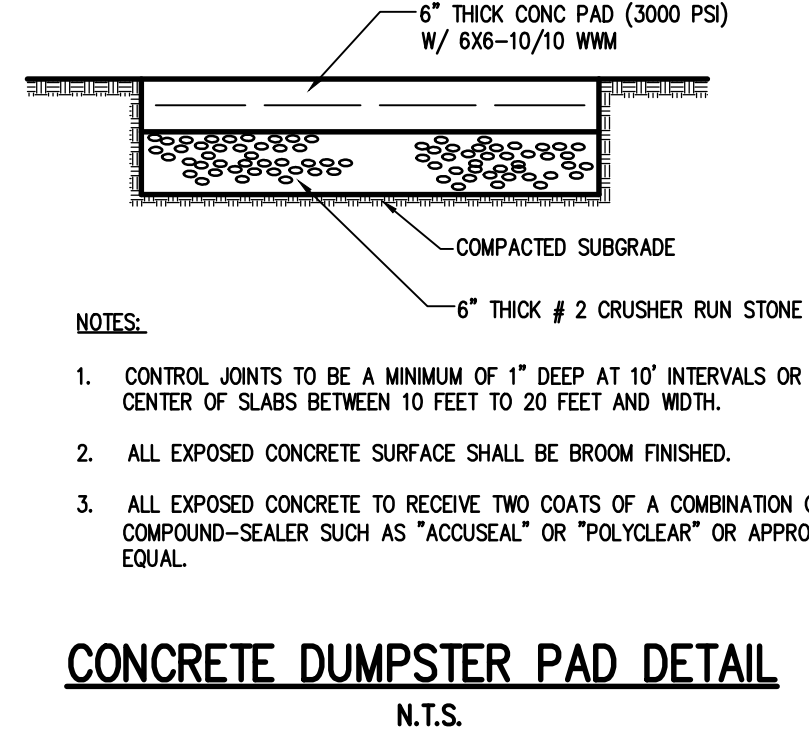
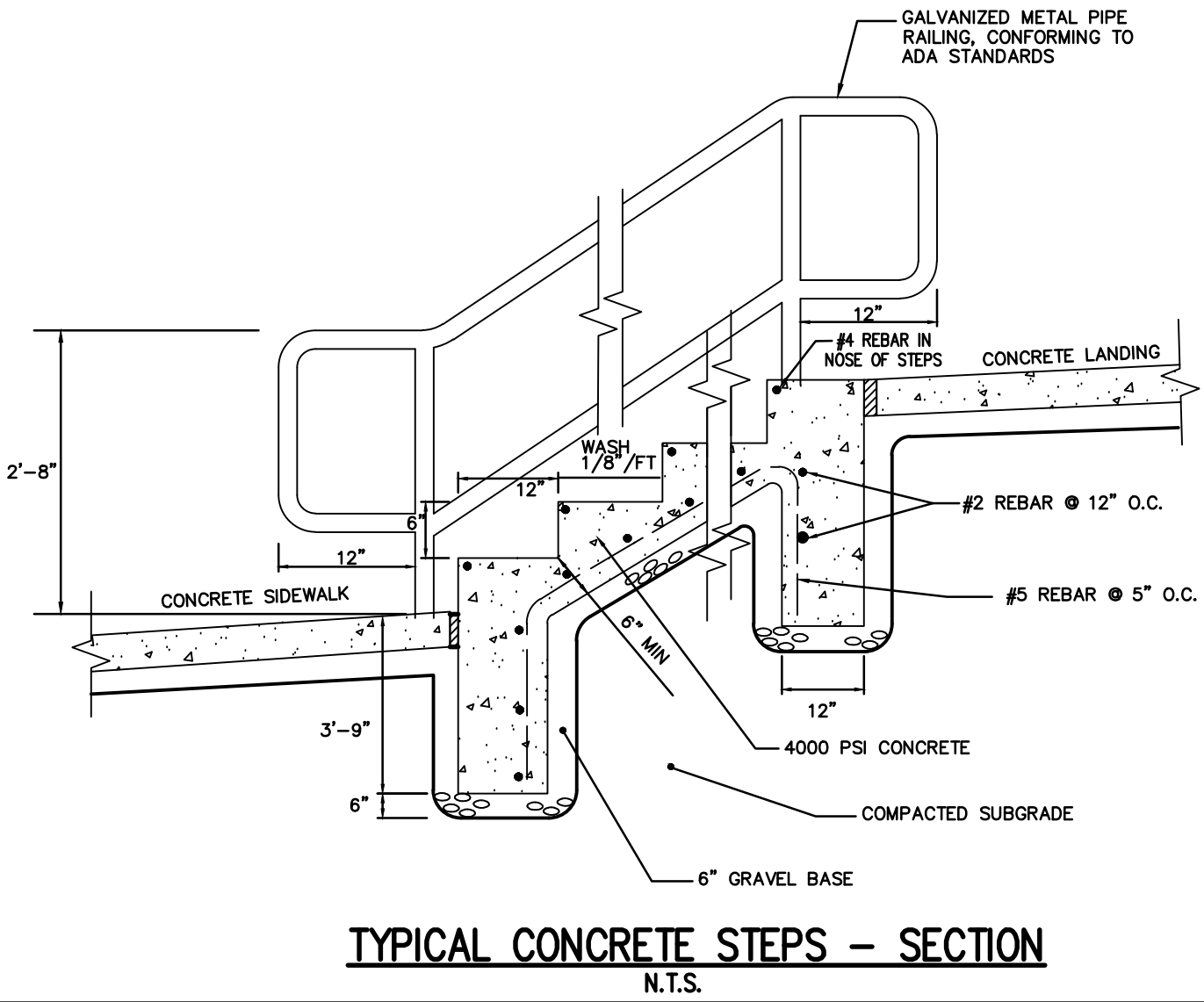
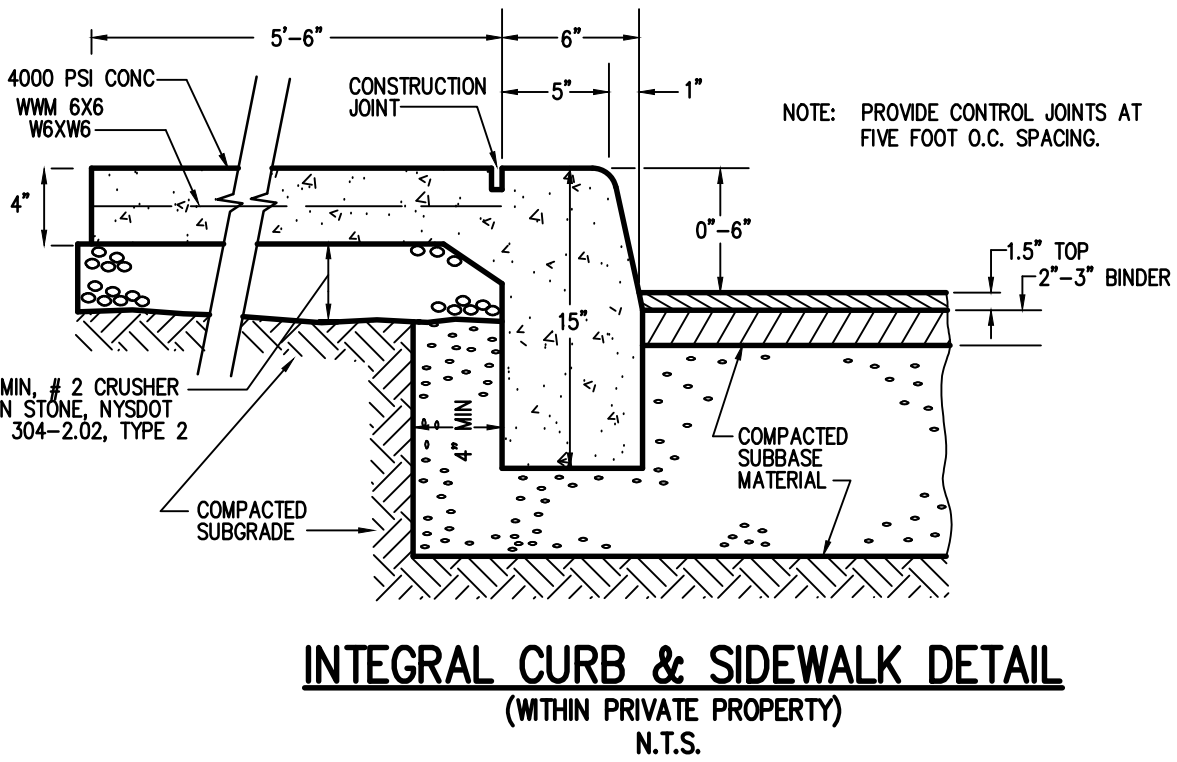
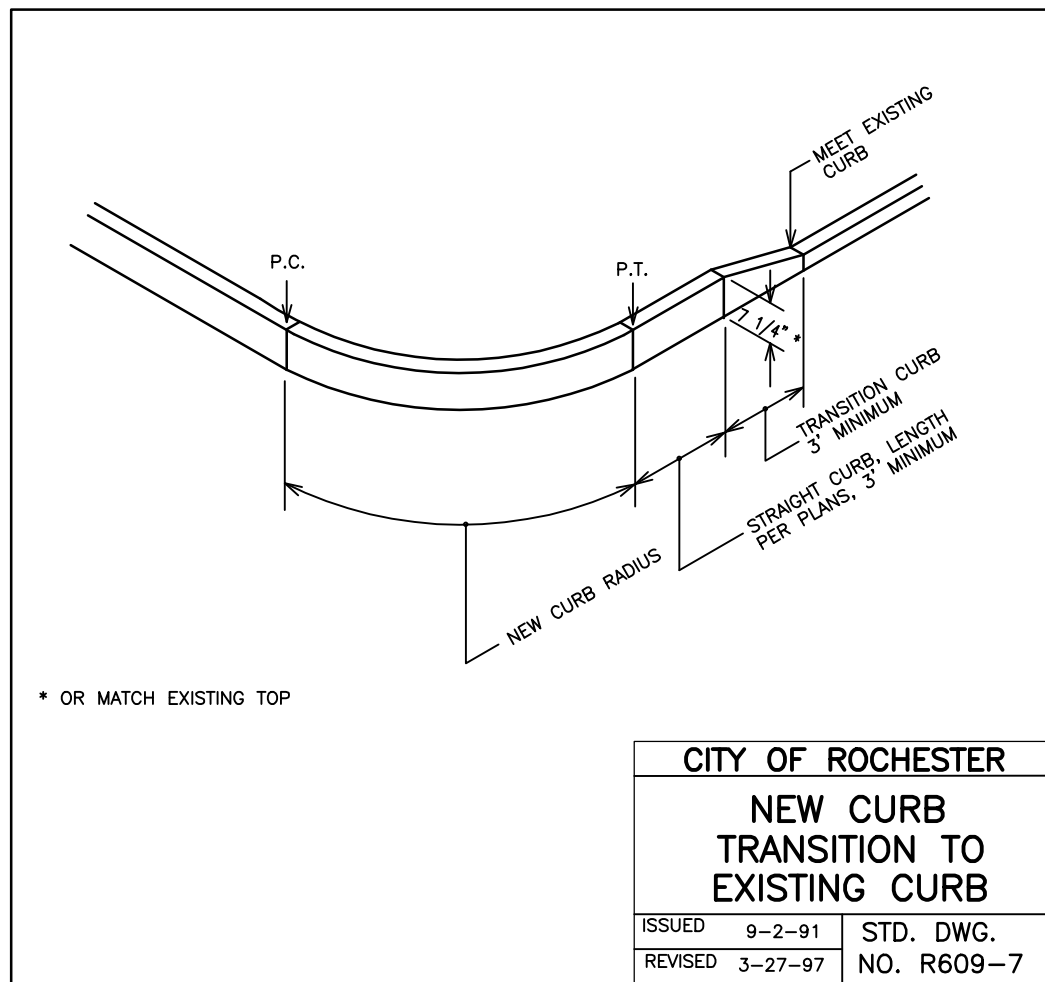
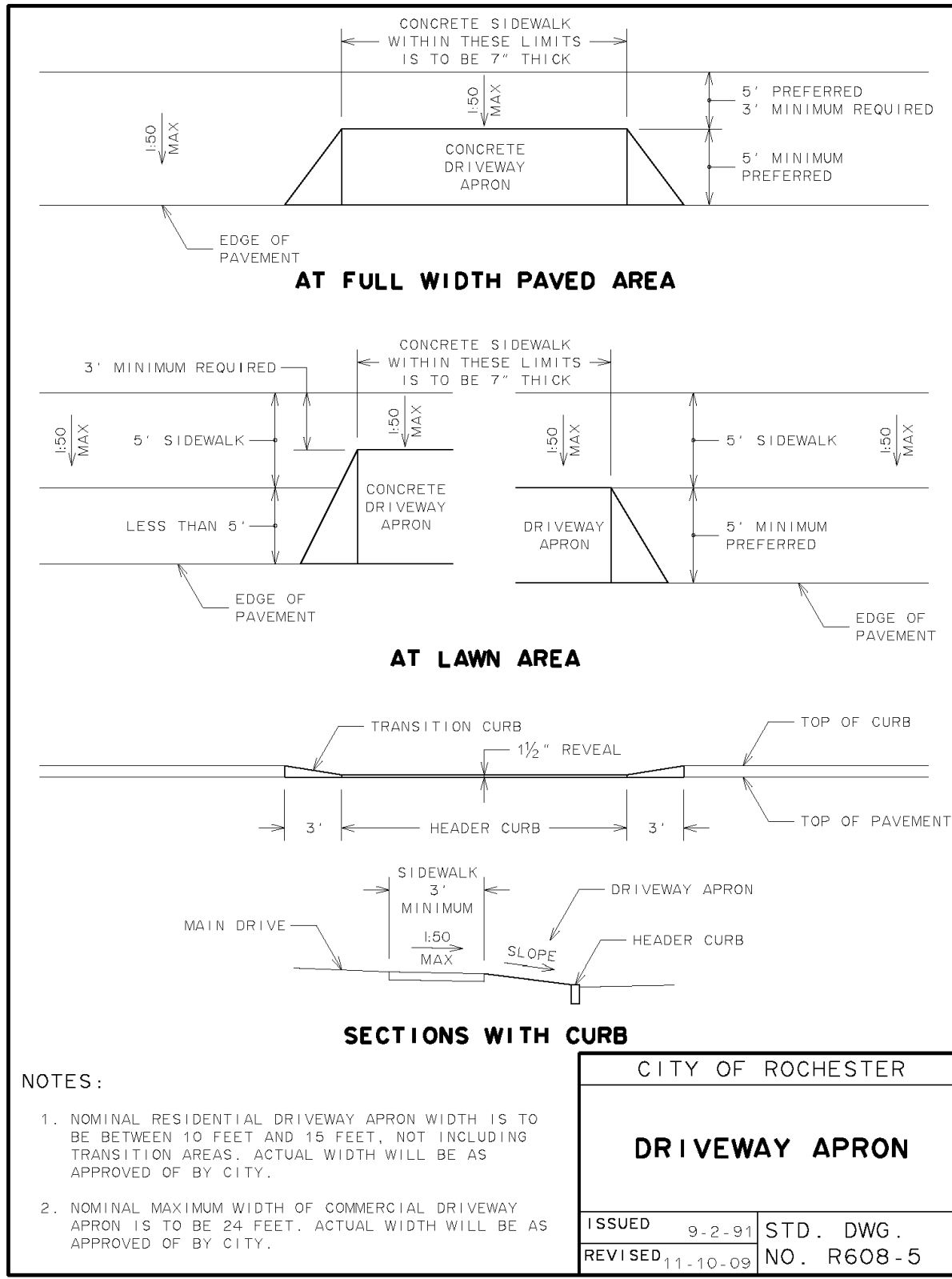
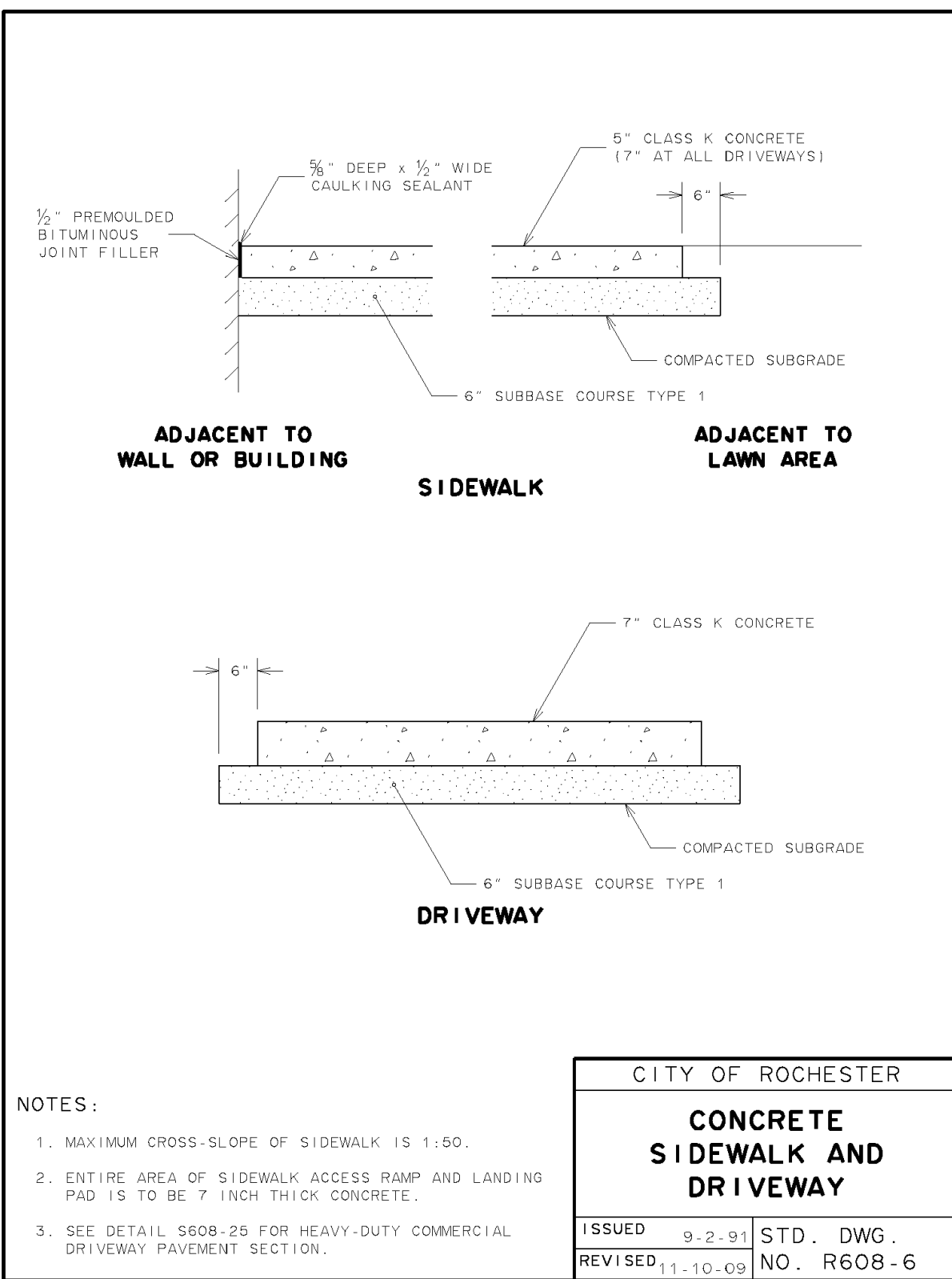


STANDARD PAVEMENT SECTION
N.T.S.



FORESTRY GENERAL NOTES

- CONTRACTOR IS TO BE AWARE OF AND FAMILIAR WITH REQUIREMENTS OF SECTIONS 89.9 TREES AND 89.12 PENALTIES OF CITY CODE AS THEY WILL BE STRICTLY ADHERED TO. CITY CODE CAN BE FOUND ON CITY OF ROCHESTER'S WEB SITE AT [HTTP://WWW.CITYOFROCHESTER.GOV/SERVICES](http://WWW.CITYOFROCHESTER.GOV/SERVICES), UNDER "CITY CHARTER AND CODE ONLINE."
- CONTRACTOR IS TO PROVIDE PROTECTION FOR ALL EXISTING TREES WITHIN PROJECT LIMITS THROUGHOUT COURSE OF PROJECT TO MINIMIZE, AS MUCH AS POSSIBLE, ANY DAMAGE FROM OCCURRING TO EXISTING TREES AS RESULT OF CONTRACTOR'S OPERATIONS. TREE PROTECTION IS TO CONSIST OF ORANGE CONSTRUCTION SAFETY FENCING OR WOOD RAILS PLACED AROUND AND COMPLETELY ENCOMPASSING EACH EXISTING TREE AND IS TO BE IN PLACE BEFORE ANY WORK IS STARTED PER SECTION S617 TREE PROTECTION AND CONTRACT DOCUMENTS.
- OVERALL EXISTING TREE ROOT SYSTEM MUST REMAIN STRUCTURALLY ADEQUATE FOR EXISTING TREE TO WITHSTAND HEAVY WINDSTORMS. IN AREAS OF CURB/CONCRETE, GUTTER/PAVEMENT WORK, ANY EXISTING TREE ROOTS THAT ARE 2 INCHES OR LARGER IN DIAMETER AND ARE IN CONFLICT WITH SUCH WORK, MUST BE INSPECTED BY CITY FORESTRY BEFORE CUTTING CAN OCCUR. CONTRACTOR MUST CONTACT CITY FORESTRY AT (585) 428-7581 TO MAKE ARRANGEMENTS FOR SUCH INSPECTION. EXISTING TREE ROOTS THAT ARE SMALLER THAN 2 INCHES IN DIAMETER ARE TO BE CUT CLEANLY WITH SHARP IMPLEMENTS.
- IN AREAS OF SIDEWALK CONSTRUCTION, EXISTING TREE ROOTS THAT ARE LOCATED UNDER AREA OF SIDEWALK CONSTRUCTION ARE NOT TO BE CUT. IF ANY OF EXISTING TREE ROOTS ARE 2 INCHES OR LARGER IN DIAMETER, SUB BASE COURSE MATERIAL IS NOT TO BE INSTALLED WITHIN 1 FOOT OF EXISTING TREE ROOT(S), AND CONCRETE IS TO BE POURED OVER EXISTING TREE ROOT(S).
- IN AREAS OF DRIVEWAY, DRIVEWAY APPROACHES AND SIDEWALK ACCESS RAMP CONSTRUCTION, EXISTING TREE ROOTS ARE NOT TO BE CUT BY MEANS OF MECHANICAL TREE ROOT CUTTING MACHINES. IF ANY OF EXISTING TREE ROOTS MUST BE CUT, THEY ARE TO BE CUT MANUALLY WITH SHARP IMPLEMENTS.
- IN AREAS WHERE EXISTING TREE ROOTS BECOME EXPOSED BY CONSTRUCTION ACTIVITIES, THEY ARE TO BE COVERED WITH MULCH, TOPSOIL OR MOISTENED BURLAP, AND WATERED STARTING IMMEDIATELY AFTER EXPOSURE AND CONTINUING UNTIL EXCAVATED AREA IS RESTORED.
- IF HEAVY EQUIPMENT MUST BE DRIVEN ON TREE LAWN OVER TREE ROOT ZONE, PLYWOOD MUST BE PLACED ON GROUND/TREE LAWN AREA SO AS TO DISPERSE COMPACTION AND PREVENT SOIL RUTTING.



Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

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PROJECT LOCATION CLIENT DRAWING TITLE
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L. SWEDROCK
PROJECT ENGINEER
F. SHELLEY
DRAWN BY
R. GLITCH
SCALE DATE ISSUED
N.T.S. FEBRUARY 2018
PROJECT NO.
2555A
DRAWING NO.
08

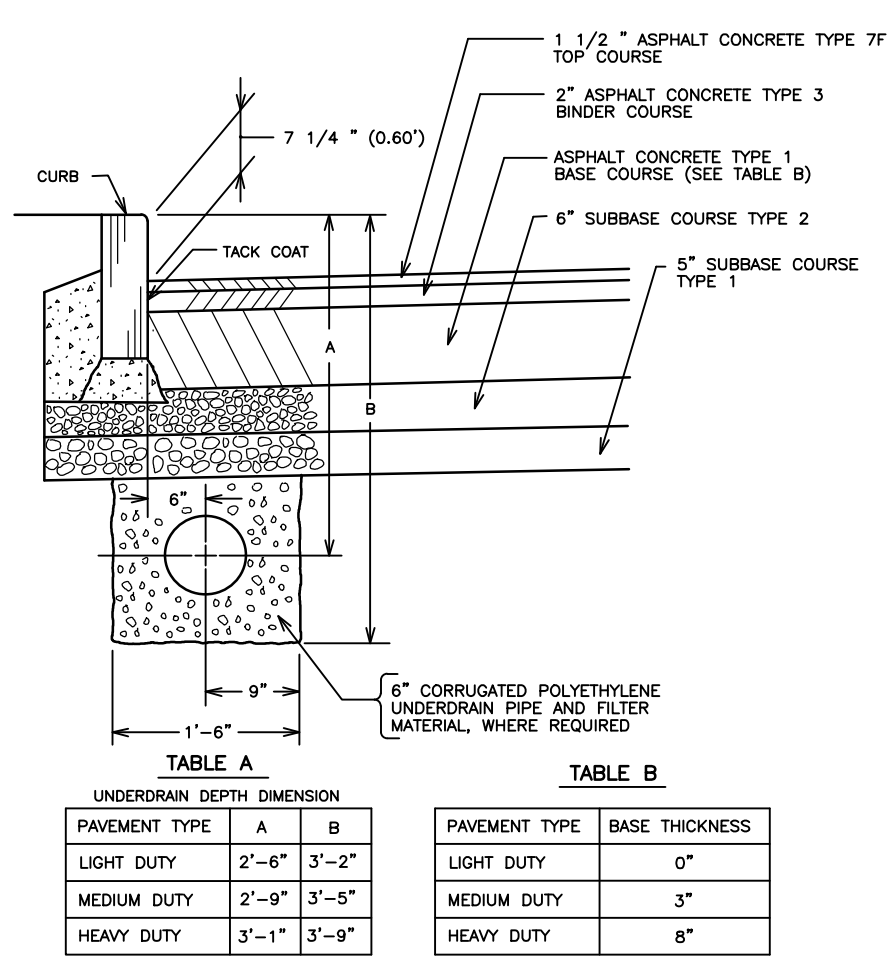
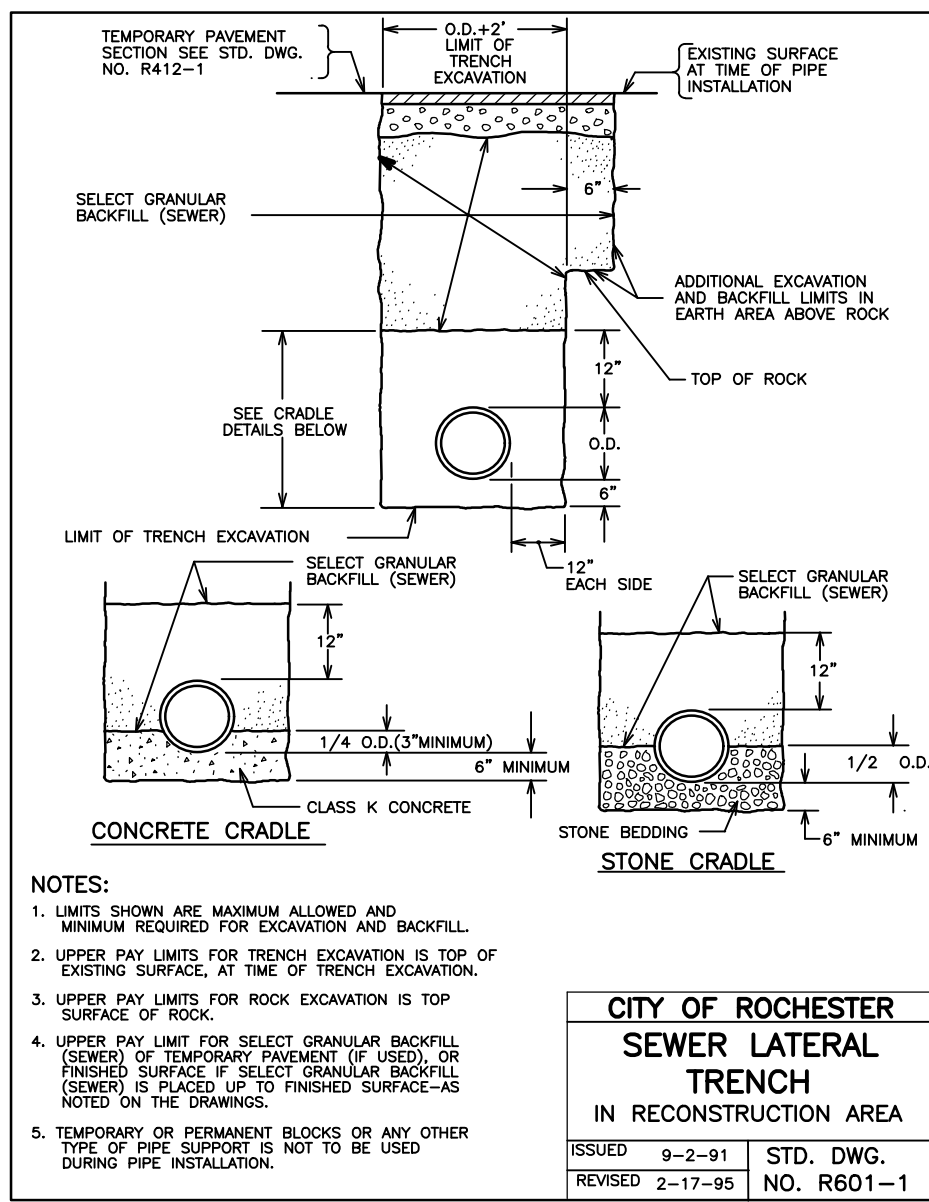
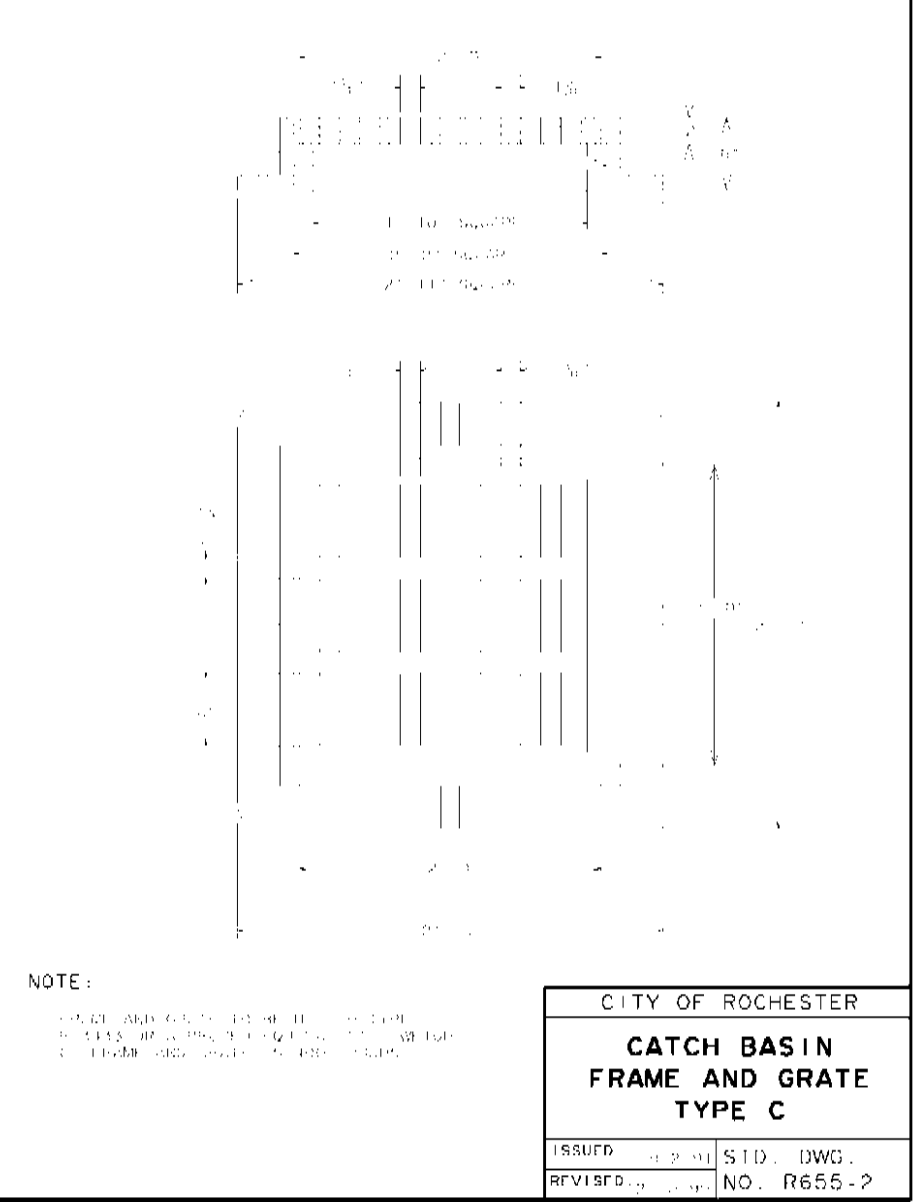
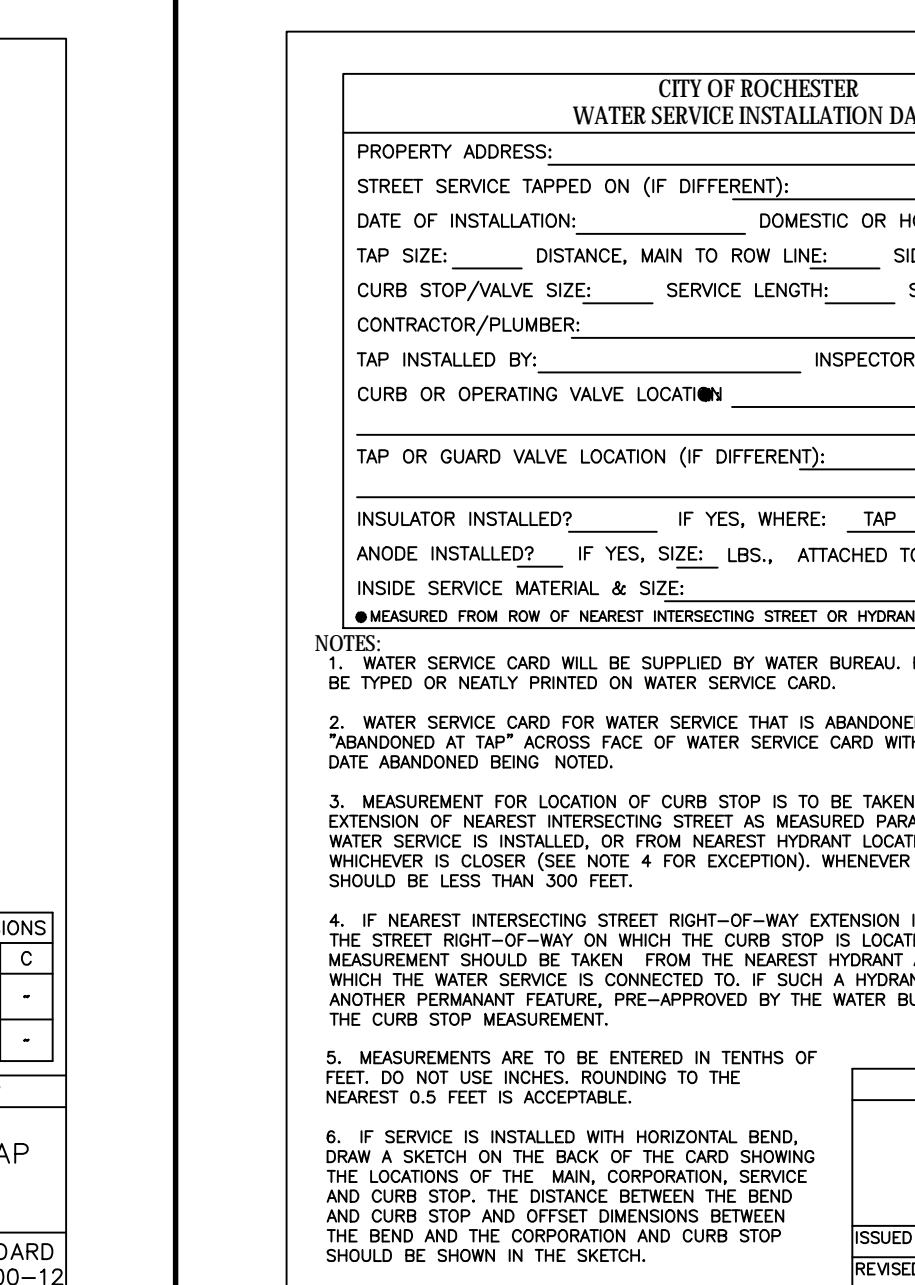
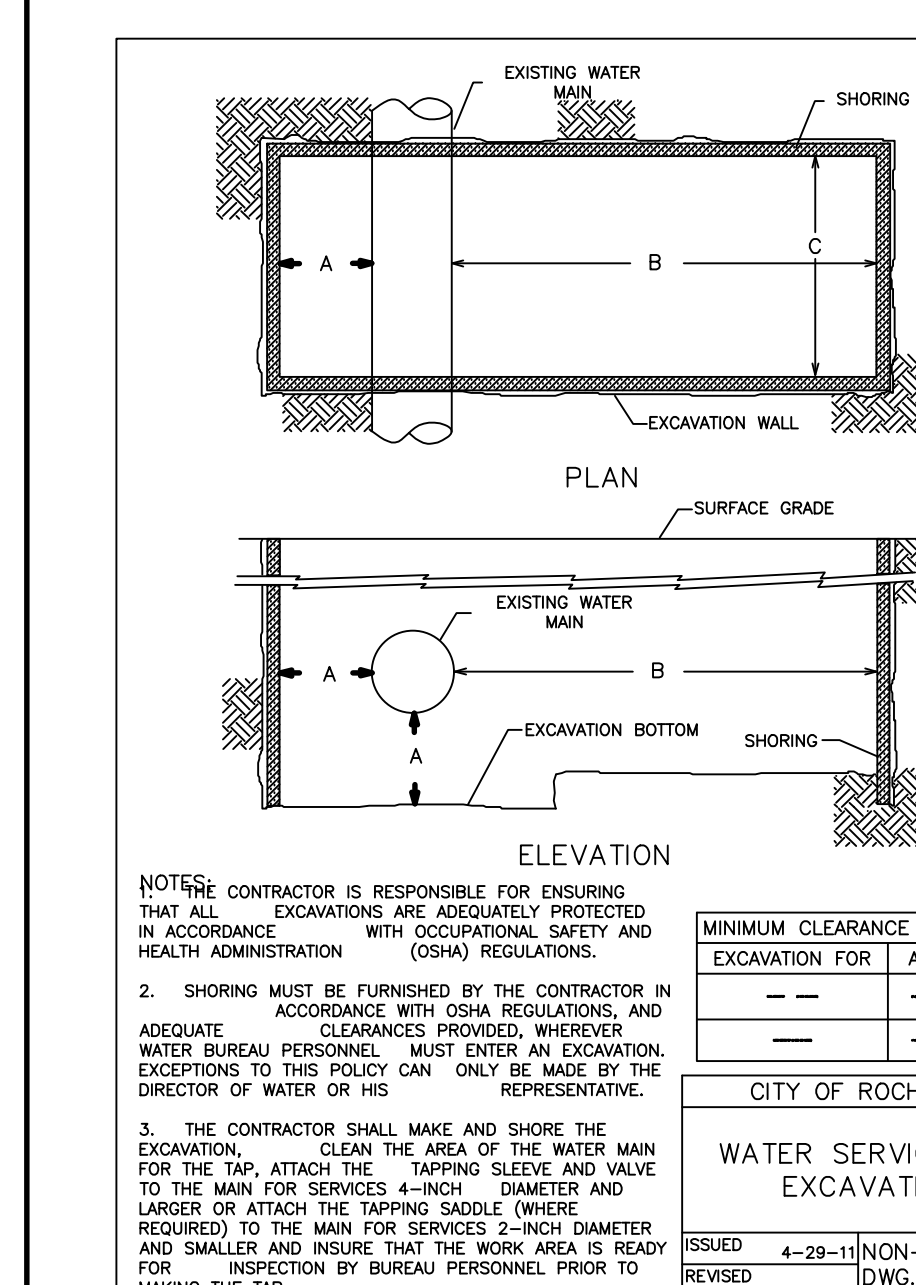
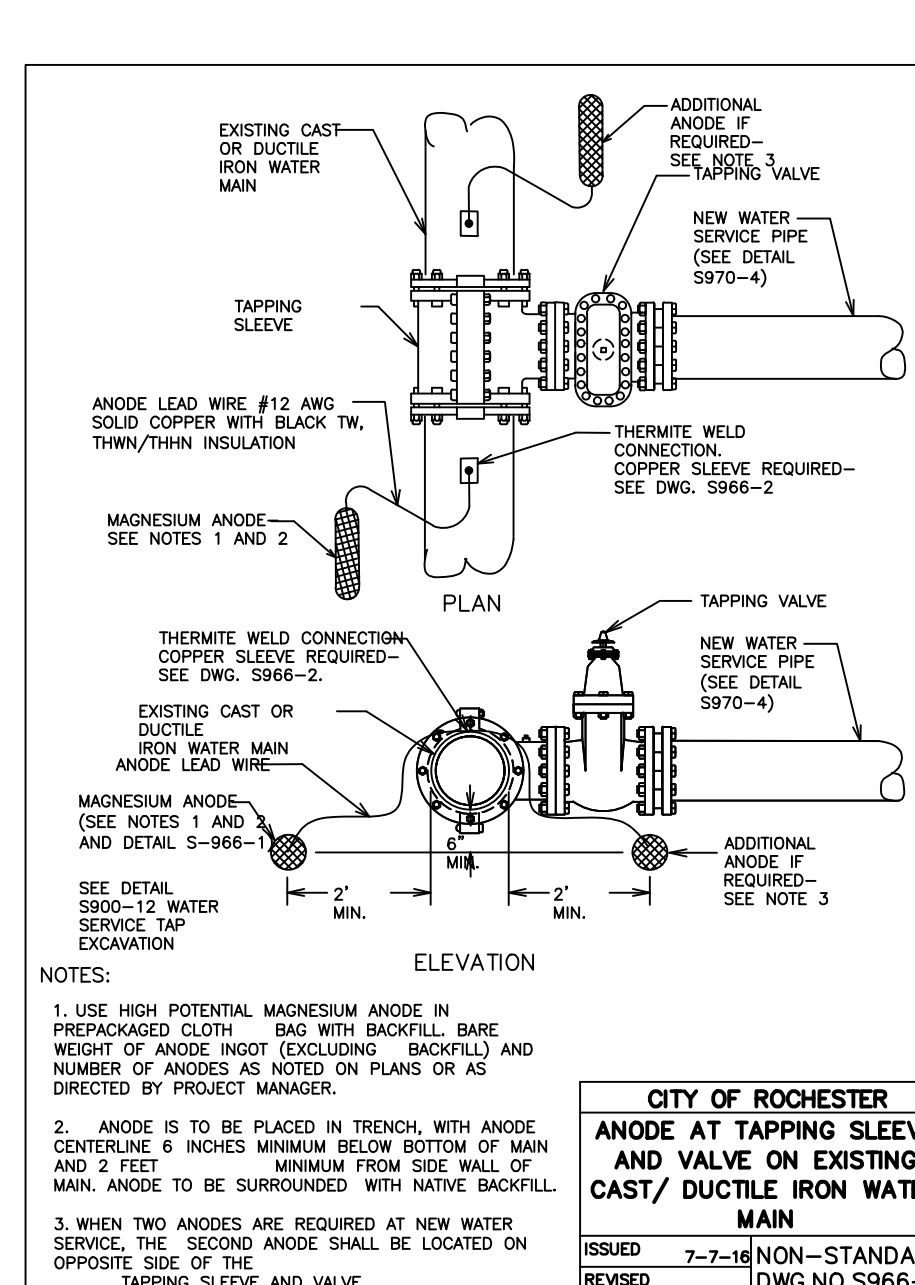
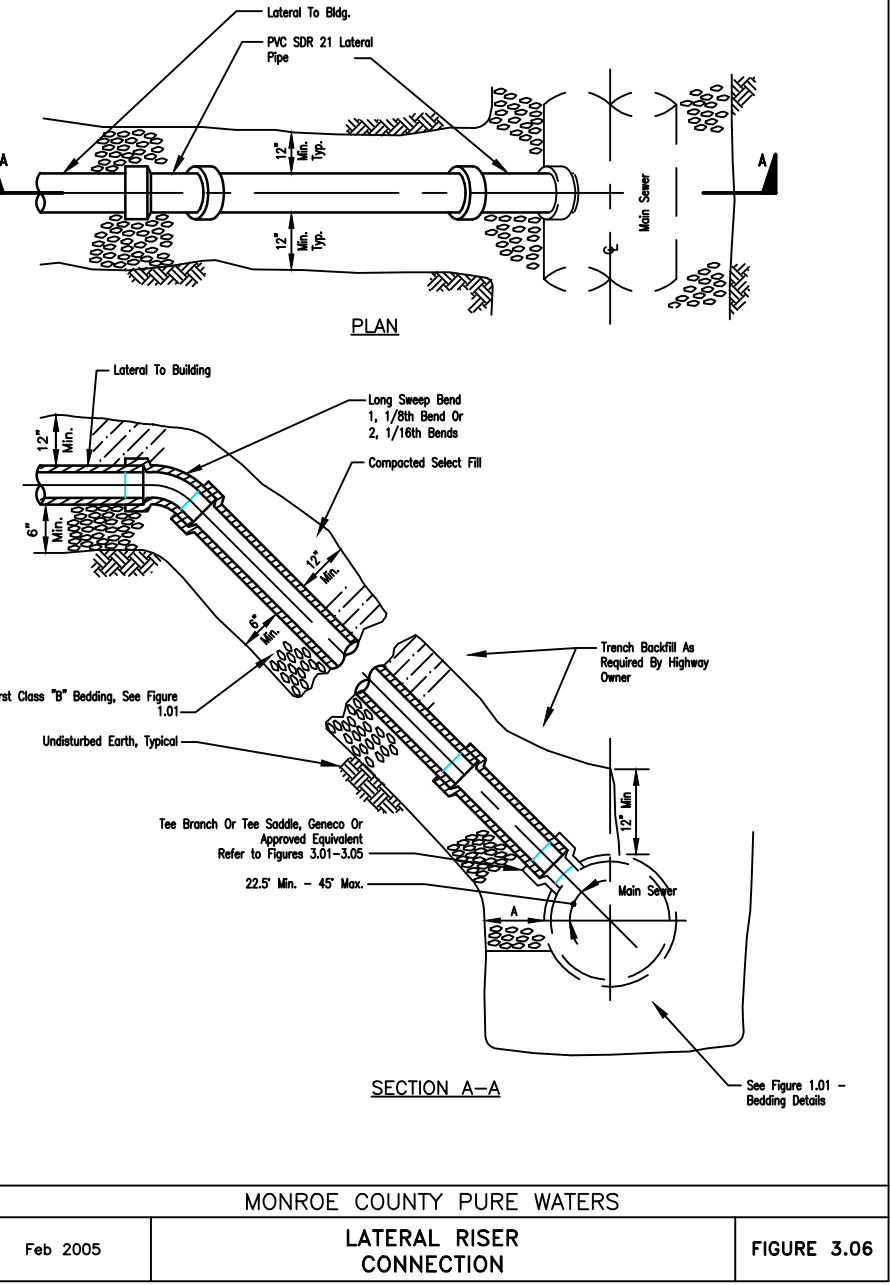
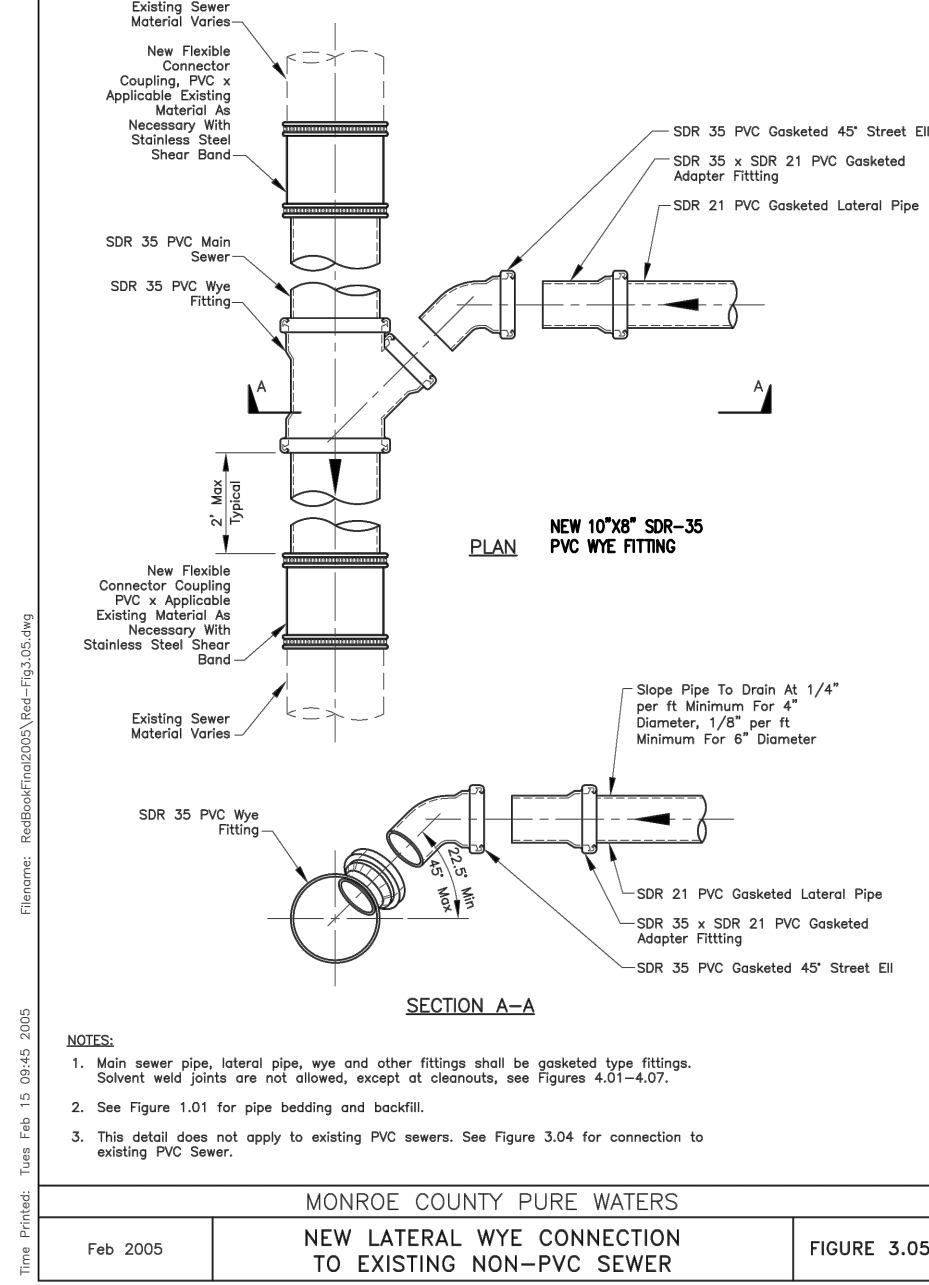
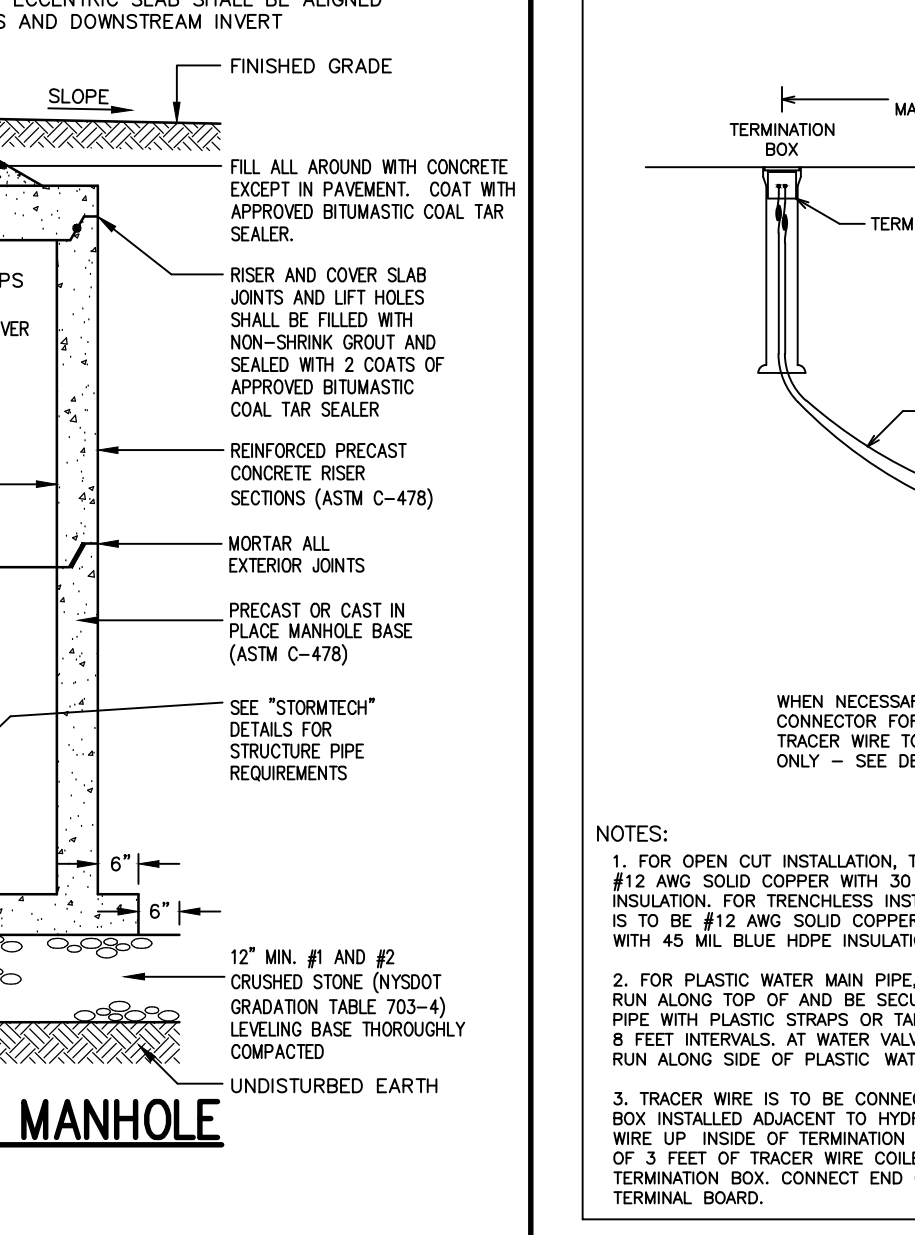
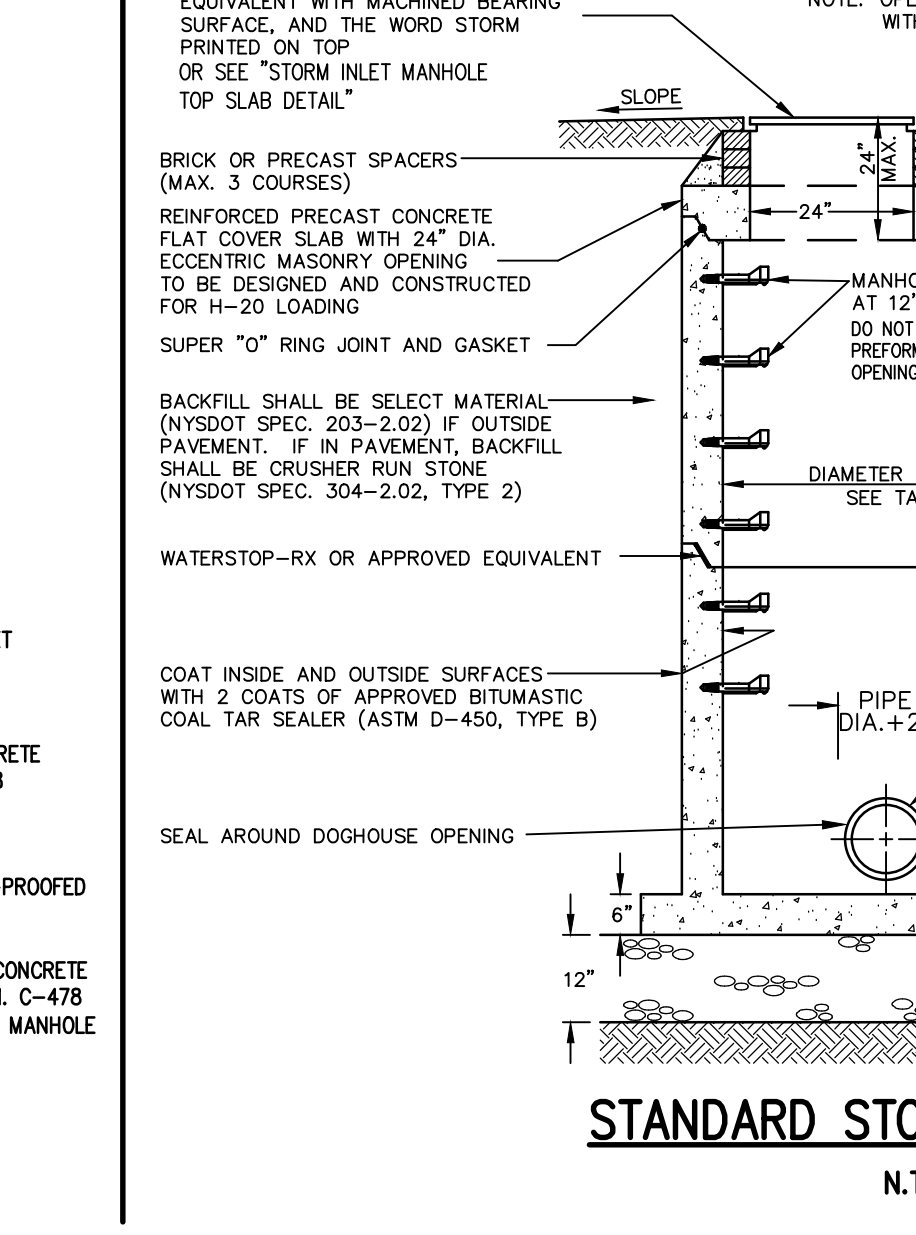
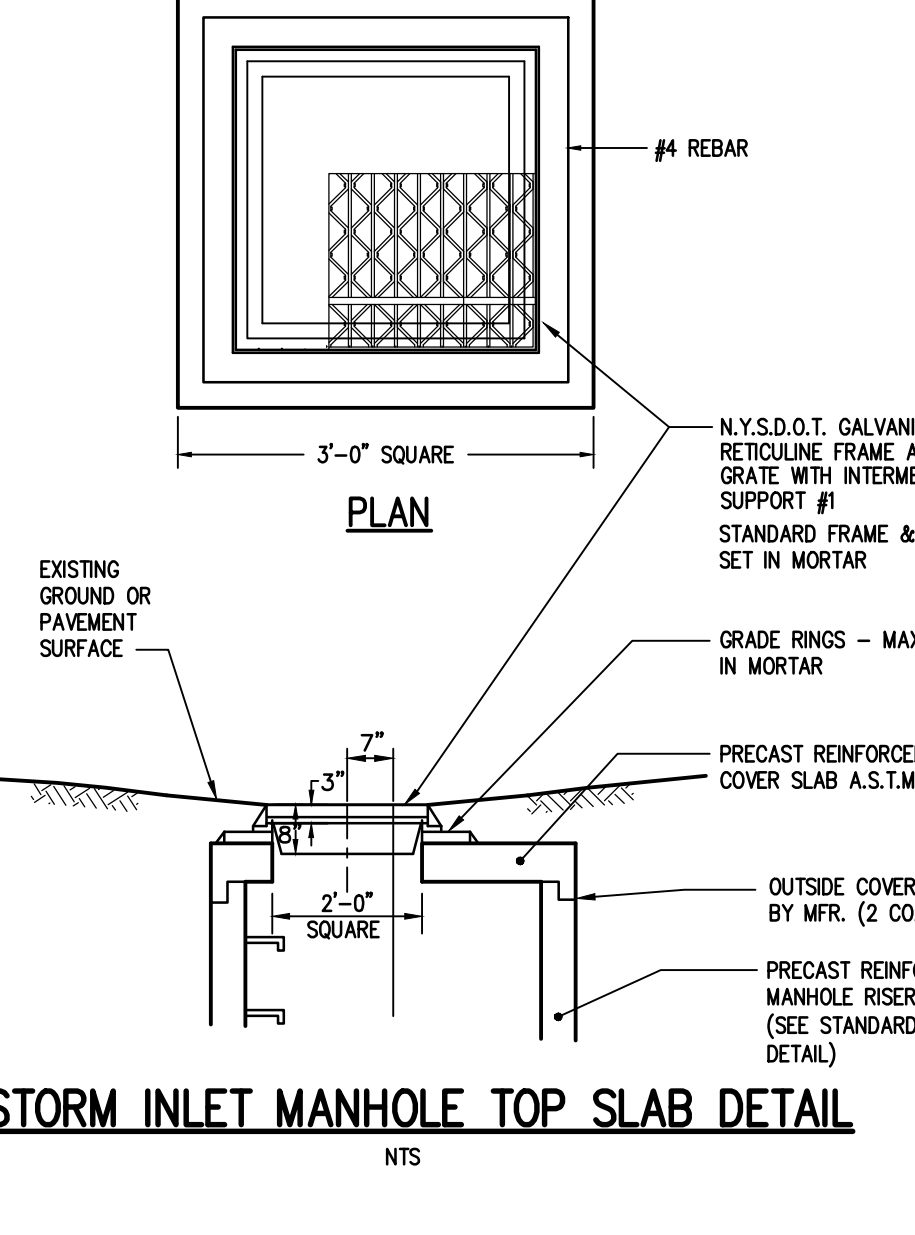
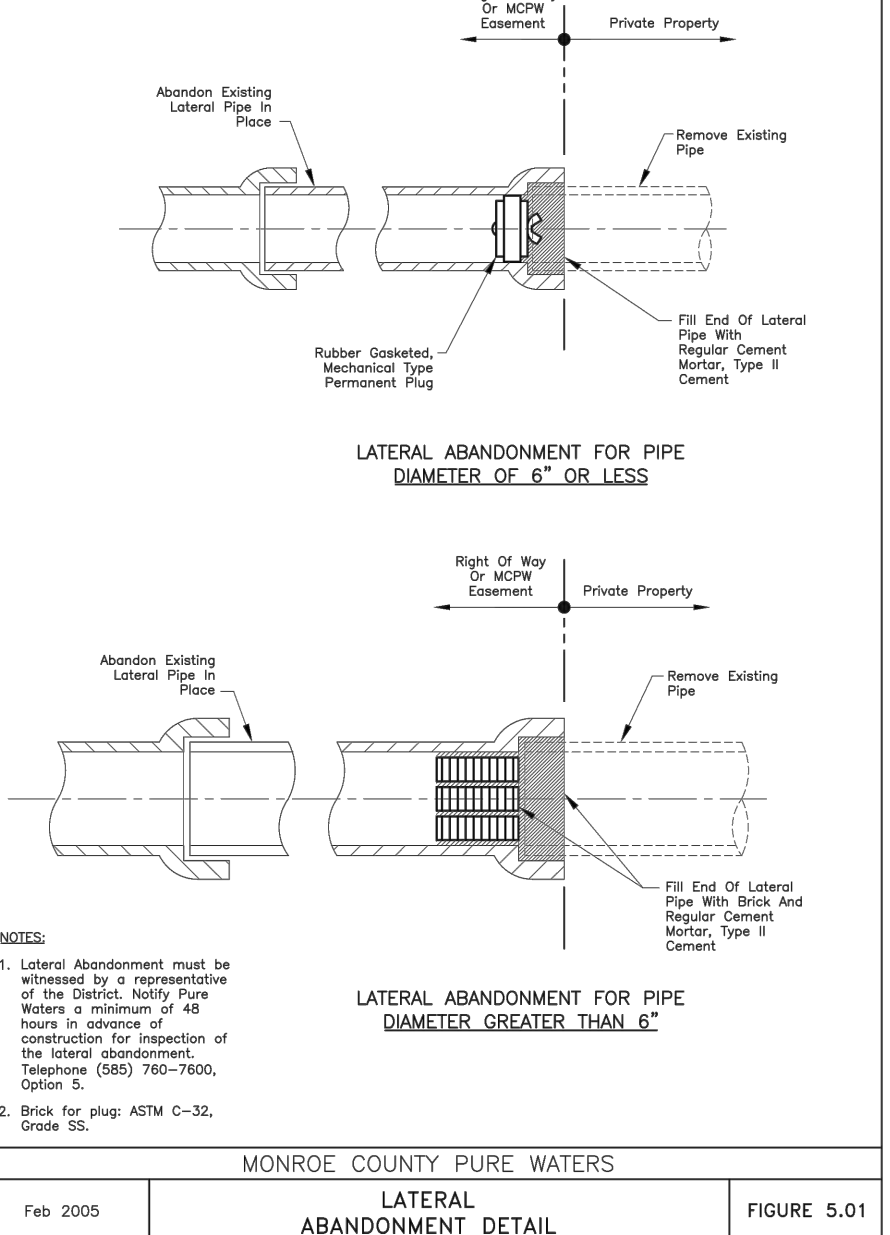
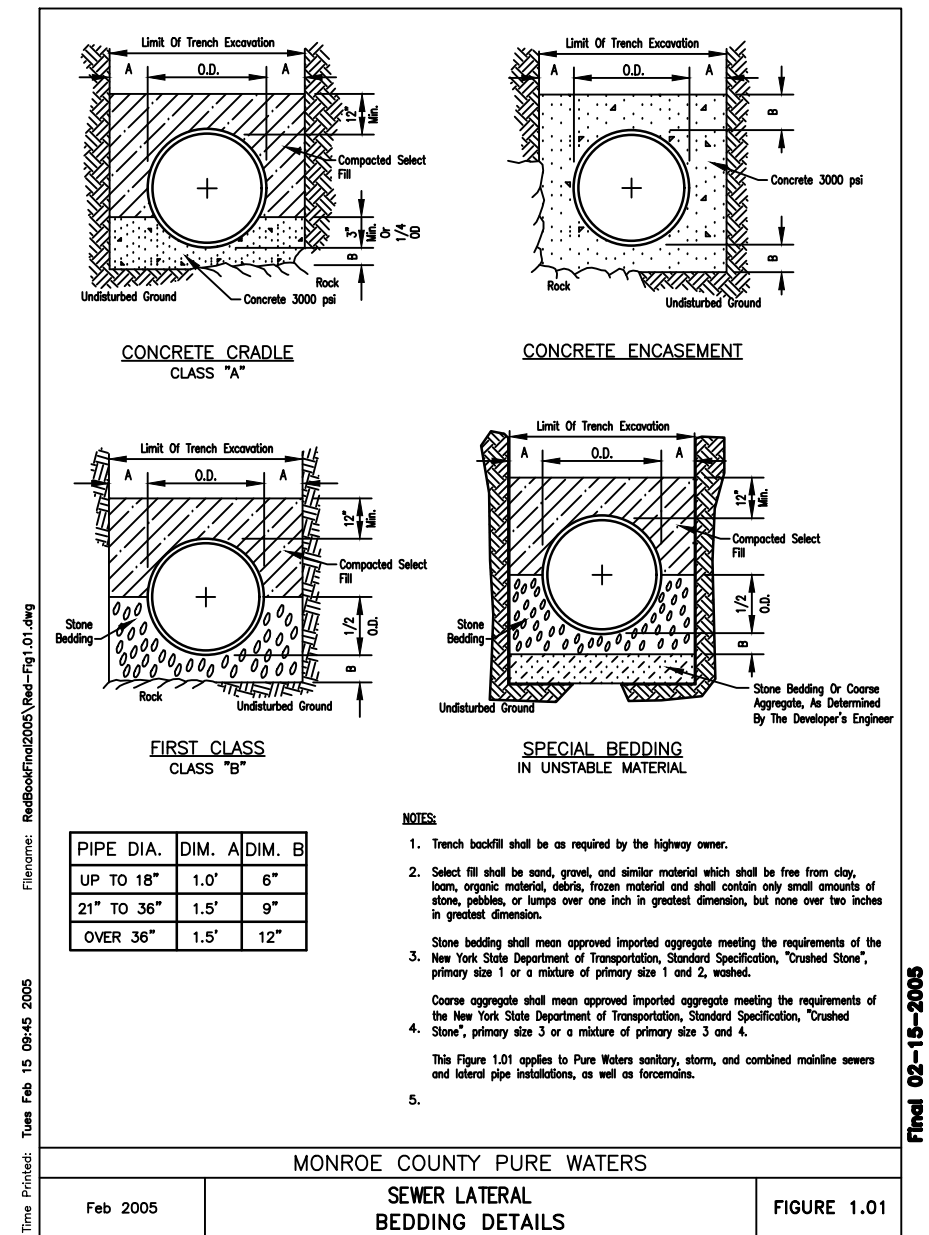
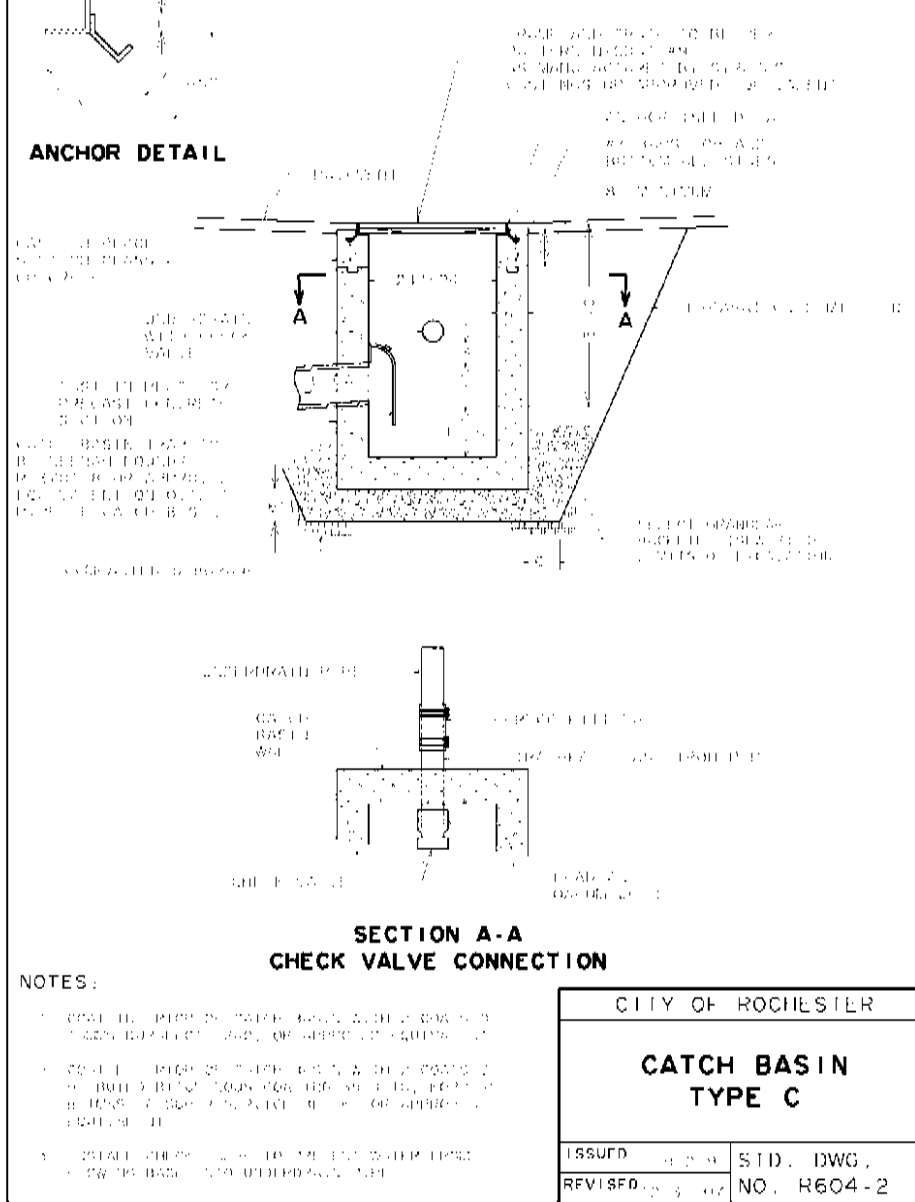
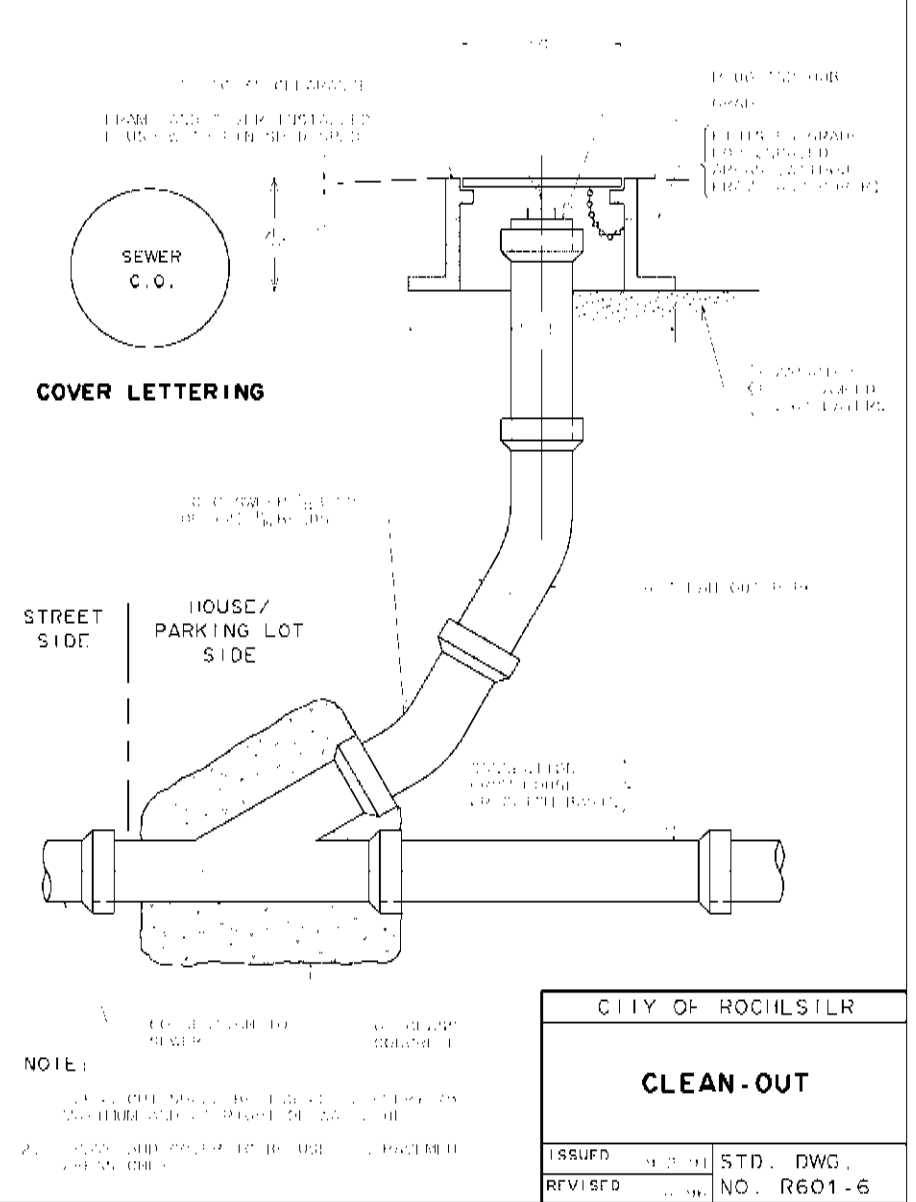


TABLE A		TABLE B	
PAVEMENT TYPE	BASE THICKNESS	PAVEMENT TYPE	BASE THICKNESS
LIGHT DUTY	2'-6"	LIGHT DUTY	0"
MEDIUM DUTY	2'-8"	MEDIUM DUTY	3"
HEAVY DUTY	3'-1"	HEAVY DUTY	8"

CITY OF ROCHESTER
SEWER LATERAL TRENCH WITH CURB
ISSUED 9-2-91 STD. DWG. NO. R400-1
REVISED 1-15-01



CITY OF ROCHESTER
CATCH BASIN FRAME AND GRATE TYPE C
ISSUED 9-2-91 STD. DWG. NO. R655-2
REVISED 1-15-01



CITY OF ROCHESTER
WATER SERVICE INSTALLATION DATA

PROPERTY ADDRESS: _____
STREET SERVICE TAPPED ON (IF DIFFERENT): _____
DATE OF INSTALLATION: _____ DOMESTIC OR HOLLY SYSTEM?
TAP SIZE: _____ DISTANCE, MAIN TO ROW LINE: _____ SIDE OF ST. TAPPED:
CURB STOP/VALVE SIZE: _____ SERVICE LENGTH: _____ SERVICE MATERIAL: _____
CONTRACTOR/PLUMBER: _____
TAP INSTALLED BY: _____ INSPECTOR: _____
CURB OR OPERATING VALVE LOCATION: _____
TAP OR GUARD VALVE LOCATION (IF DIFFERENT): _____

INSULATOR INSTALLED? _____ IF YES, WHERE: _____ TAP _____ CURB STOP _____
ANODE INSTALLED? _____ IF YES, SIZE: _____ LBS., ATTACHED TO: TAP SERVICE _____ MAIN _____
INSIDE SERVICE MATERIAL & SIZE: _____
MEASURED FROM ROW OF NEAREST INTERSECTING STREET OR HYDRANT, WHICHEVER IS CLOSER TO TAP

NOTES:
1. WATER SERVICE CARD FOR WATER SERVICE IS TO BE TAKEN FROM RIGHT-OF-WAY EXTENSION OF NEAREST INTERSECTING STREET AS MEASURED PARALLEL TO STREET ON WHICH WATER SERVICE IS INSTALLED, OR FROM NEAREST HYDRANT LOCATED OFF OF SAME WATER MAIN, WHICHEVER IS CLOSER (SEE NOTE 4 FOR EXCEPTION). WHENEVER POSSIBLE, MEASUREMENTS SHOULD BE LESS THAN 300 FEET.
2. WATER SERVICE CARD FOR WATER SERVICE IS TO BE TAKEN FROM RIGHT-OF-WAY EXTENSION OF NEAREST INTERSECTING STREET AS MEASURED PARALLEL TO STREET ON WHICH WATER SERVICE IS INSTALLED, OR FROM NEAREST HYDRANT LOCATED OFF OF SAME WATER MAIN, WHICHEVER IS CLOSER (SEE NOTE 4 FOR EXCEPTION). WHENEVER POSSIBLE, MEASUREMENTS SHOULD BE LESS THAN 300 FEET.
3. MEASUREMENTS ARE TO BE ENTERED IN TENS OF FEET. DO NOT USE INCHES. ROUNDING TO THE NEAREST 0.5 FEET IS ACCEPTABLE.
4. IF NEAREST INTERSECTING STREET RIGHT-OF-WAY EXTENSION IS NOT PERPENDICULAR TO THE STREET RIGHT-OF-WAY ON WHICH THE CURB STOP IS LOCATED, THE CURB STOP MEASUREMENT SHOULD BE TAKEN FROM THE NEAREST HYDRANT ATTACHED TO THE WATER MAIN WHICH THE WATER SERVICE IS CONNECTED TO, IF SUCH A HYDRANT IS NOT AVAILABLE, THEN ANOTHER PERMANENT FEATURE, PRE-APPROVED BY THE WATER BUREAU, SHALL BE USED FOR THE CURB STOP MEASUREMENT.
5. IF SERVICE IS INSTALLED WITH HORIZONTAL BEND, DRAW A SKETCH ON THE BACK OF THE CARD SHOWING THE LOCATIONS OF THE MAIN, CORPORATION, SERVICE AND CURB STOP. THE DISTANCE BETWEEN THE BEND AND CURB STOP AND OFFSET DIMENSIONS BETWEEN THE BEND AND THE CORPORATION AND CURB STOP SHOULD BE SHOWN IN THE SKETCH.

CITY OF ROCHESTER
WATER SERVICE CARD
ISSUED 9-2-91 STD. DWG. NO. R913-3
REVISED 10-23-13

Drawing Alteration
The following is an exception from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

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F. SHELLEY
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SCALE DATE ISSUED
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09

Diagram illustrating the limits of excavation and temporary pavement section for water trench pavement rehabilitation. The diagram shows a cross-section of the trench with various layers and dimensions. Key dimensions include 6" each side, OD* + 24", 6", 12", and 6" minimum. The diagram also shows the location of the water main, tracer wire, and various bedding and wrap materials.

NOTES:

- LIMITS SHOWN ARE MAXIMUM ALLOWED AND MINIMUM REQUIRED FOR EXCAVATION AND BACKFILL.
- UPPER LIMIT FOR TRENCH EXCAVATION IS TOP OF EXISTING SURFACE AT TIME OF TRENCH EXCAVATION.
- UPPER LIMIT FOR ROCK EXCAVATION IS TOP SURFACE OF ROCK.
- UPPER LIMIT FOR SELECT GRANULAR BACKFILL (WATER) IS BOTTOM OF TEMPORARY PAVEMENT, IF USED, OTHERWISE TOP OF SURFACE.
- TEMPORARY OR PERMANENT BLOCKS OR ANY OTHER TYPE OF PIPE SUPPORT IS NOT TO BE USED DURING PIPE INSTALLATION.
- MINIMUM DEPTH OF COVER FOR WATER PIPE FROM TOP OF PROPOSED GRADE IS 4.50 FEET FOR DOMESTIC WATER PIPE, AND 5 FEET FOR HOLLY WATER PIPE, UNLESS OTHERWISE NOTED ON PLANS OR AS DIRECTED BY PROJECT MANAGER.

CITY OF ROCHESTER

WATER TRENCH PAVEMENT REHABILITATION

ISSUED 1-13-06 NON-STANDARD
REVISED 11-22-10 DWG.NO.S900-2

NOTES:

- IF DIMENSION "A" BETWEEN THE CENTERLINE OF THE WATER MAIN AND THE FACE OF CURB IS 6 FEET OR LESS, THE CURB VALVE IS NOT REQUIRED. CURB VALVE IS REQUIRED WHEN DIMENSION "A" EXCEEDS 6 FEET.
- A METER VAULT MAY BE REQUIRED FOR A DOMESTIC SERVICE, WHEN THE WATER SERVICE LENGTH, AS MEASURED FROM THE STREET RIGHT-OF-WAY LINE TO THE BUILDING WALL, EXCEEDS 100 FEET. WHEN THE WATER SERVICE LENGTH EXCEEDS 100 FEET, THE WATER BUREAU WILL REVIEW EACH NEW WATER SERVICE PLAN TO DETERMINE IF THE METER SHOULD EITHER BE PLACED INSIDE OF THE HEATED BUILDING; IN A METER VAULT OUTSIDE OF THE BUILDING NEAR THE RIGHT-OF-WAY LINE OR IN A HEATED ABOVE GROUND ENCLOSURE NEAR THE RIGHT-OF-WAY LINE.
- ALL JOINTS ON NEW WATER SERVICE PIPE, FITTINGS AND VALVES SHALL BE MECHANICALLY RESTRAINED. CONCRETE THRUST BLOCKS ARE ALSO REQUIRED AT FITTINGS PER DETAIL DRAWINGS S900-4, S900-5, S900-9 AND S900-10.
- A BACKFLOW PREVENTION DEVICE IS REQUIRED ON ALL DOMESTIC WATER SERVICES 1½" AND LARGER.
- NEW WATER SERVICE SHALL BE PRESSURE TESTED FROM GUARD VALVE TO WITHIN 5 FEET OF EXTERIOR BUILDING WALL. PRESSURE TESTING SHALL BE PERFORMED IN ACCORDANCE WITH SPECIFICATION S900-3.05. PIPE, FITTING AND VALVE JOINTS ON PORTION OF SERVICE NOT SUBJECT TO PRESSURE TEST SHALL BE LEAK TESTED AT NORMAL OPERATING PRESSURE.
- WHEN THE LENGTH OF THE NEW WATER SERVICE EXCEEDS 50 FEET, WATER SERVICE SHALL BE DISINFECTED USING THE CONTINUOUS FEED METHOD IN ACCORDANCE WITH SPECIFICATION S900-3.06. FOR WATER SERVICES LESS THAN 50 FEET, ALL WATER SERVICE PIPE, FITTINGS AND VALVES SHALL BE SPRAY OR SWAB DISINFECTED WITH 1½-5% CHLORINE SOLUTION.
- ON PLASTIC WATER SERVICES, WHEN DIMENSION "A" IS 6 FEET OR LESS AND THE CURB VALVE IS NOT REQUIRED, EXTEND TRACER WIRE ALONG SERVICE TO RIGHT-OF-WAY LINE AND INSTALL TRACER WIRE TERMINATION BOX AT RIGHT-OF-WAY.
- ONE MAGNESIUM ANODE IS TO BE INSTALLED ON EACH PIECE OF NEW DUCTILE IRON WATER SERVICE PIPE BETWEEN THE WATER MAIN AND RIGHT-OF-WAY LINE. SEE DETAIL S966-2. USE 17 POUND ANODE ON 4 INCH AND 6 INCH PIPE, 32 POUND ANODE ON 8 INCH AND 10 INCH PIPE AND 48 POUND ANODE ON 12 INCH PIPE.
- ALL DUCTILE IRON WATER SERVICE PIPE, FITTINGS AND VALVES LOCATED WITHIN THE STREET RIGHT-OF-WAY ARE TO BE INSTALLED IN POLYETHYLENE ENCASEMENT.
- IF PLANS CALL FOR THE INSTALLATION OF A TAPPING SLEEVE AND VALVE, BUT THE WATER MAIN CAN NOT BE TAPPED DUE TO SPATIAL LIMITATIONS, A NEW SERVICE TIE WITH A SERVICE VALVE MAY NOT BE CUT INTO THE EXISTING WATER MAIN.
- PROPOSED DEVIATIONS TO THE APPROVED PLANS REQUIRE WATER BUREAU AUTHORIZATION BEFORE BEGINNING THE WORK.

CITY OF ROCHESTER

NEW WATER SERVICE 4 INCH AND LARGER ON EXISTING WATER MAIN - NOTES

ISSUED 8-11-11 NON-STANDARD
REVISED DWG.NO.S970-5

Diagram illustrating the minimum restrained length for water main pipe adjacent to fittings. The diagram shows a cross-section of the pipe with various fittings and dimensions. Key dimensions include 4.5 FEET MIN. DOMESTIC, 5.0 FEET MIN. HOLLY, and 2'-3". The diagram also shows the location of the water main, tracer wire, and various bedding and wrap materials.

NOTE:

FOR NEW WATER SERVICE NOTES, SEE DETAIL S970-5

CITY OF ROCHESTER

NEW WATER SERVICE 4 INCH AND LARGER ON EXISTING WATER MAIN

ISSUED 8-8-11 NON-STANDARD
REVISED DWG.NO.S970-4

PIPE SIZE	BEND				TEE PLUG	REDUCER	
	90°	45°	22-1/2°	11-1/4°		SIZE	AREA
4" - 6"	4	2.5	1.5	1	3	6" x 4"	2
8"	7	4	2	1	5	8" x 6"	2.5
12"	14.5	8	4	2	10.5	12" x 8"	5.5

Diagram illustrating the typical and at tee, cross and plug, and at reducer details for thrust block installation. The diagram shows a cross-section of the pipe with various fittings and dimensions. Key dimensions include 12" MINIMUM ALL THRUST BLOCKS (TYPICAL) and 12" MINIMUM ALL THRUST BLOCKS (TYPICAL).

NOTES:

- SPECIAL DESIGN IS REQUIRED FOR FITTINGS ON DOMESTIC WATER MAIN PIPE LARGER THAN 12 INCHES.
- THRUST BLOCK IS TO BE POURED AGAINST UNDISTURBED EARTH. WIDTH OF THRUST BLOCK SHOULD BE APPROXIMATELY TWICE HEIGHT.
- THRUST BLOCK IS TO BE INSTALLED AT ALL BENDS, PLUGS, TEES, AND TAPPING SLEEVE AND VALVE CONNECTIONS.
- FACTORY CAST OFFSETS ARE TO BE TREATED AS (2) 45 DEGREE BENDS.
- FOR REDUCERS, THRUST BLOCK IS TO BE KEED INTO WALLS AND BOTTOM OF TRENCH.
- MECHANICAL RESTRAINT IS REQUIRED IN ADDITION TO THRUST BLOCK, SEE DETAIL S900-7.
- WOOD BLOCKING IS NOT PERMITTED.

CITY OF ROCHESTER

HORIZONTAL THRUST BLOCK DOMESTIC SYSTEM

ISSUED 1-13-06 NON-STANDARD
REVISED 8-7-13 DWG.NO.S900-4

Diagram illustrating the water service pipe to be used for sampling tap. The diagram shows a cross-section of the pipe with various fittings and dimensions. Key dimensions include 1' TO 3' and 6". The diagram also shows the location of the water main, tracer wire, and various bedding and wrap materials.

NOTES:

- LOCATION OF SAMPLING TAPS ARE SUBJECT TO PRIOR APPROVAL BY CITY AND MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.
- IF SAMPLING TAP IS LOCATED IN PAVED AREA, SAMPLING TAP IS TO BE KEPT BELOW GROUND EXCEPT WHEN IN USE.
- IF APPROVED BY CITY, SAMPLING TAP MAY BE LOCATED AT SAME LOCATION AS NEW WATER SERVICE.
- IF SAMPLING TAP IS NOT TO BE USED AS NEW WATER SERVICE, UPON NOTIFICATION OF ACCEPTABLE SAMPLE RESULTS, CORPORATION STOP IS TO BE REMOVED AND REPLACED WITH A BRASS PLUG OR CORPORATION STOP IS TO BE CLOSED, WATER SERVICE PIPE DISCONNECTED FROM CORPORATION AND BRASS CAP INSTALLED ON OUTLET OF CORPORATION STOP.
- MAXIMUM DISTANCE BETWEEN SAMPLING TAPS ON NEW WATER MAIN INSTALLATION IS 1,000 FEET.

CITY OF ROCHESTER

DISINFECTION SAMPLING TAP

ISSUED 1-13-06 NON-STANDARD
REVISED 2-19-15 DWG.NO.S900-6

Diagram illustrating the vertical thrust block domestic system. The diagram shows a cross-section of the pipe with various fittings and dimensions. Key dimensions include 18" and 18". The diagram also shows the location of the water main, tracer wire, and various bedding and wrap materials.

NOTES:

- SPECIAL DESIGN IS REQUIRED FOR FITTINGS ON DOMESTIC WATER MAIN PIPE LARGER THAN 12 INCHES.
- MECHANICAL RESTRAINT IS REQUIRED IN ADDITION TO THRUST BLOCK, SEE DETAIL S900-7.

CITY OF ROCHESTER

VERTICAL THRUST BLOCK DOMESTIC SYSTEM

ISSUED 1-13-06 NON-STANDARD
REVISED 6-1-09 DWG.NO.S900-5

PIPE SIZE (INCHES)	MINIMUM LENGTH	MINIMUM RESTRAINED LENGTH FOR WATER MAIN PIPE ADJACENT TO FITTINGS (IN FEET) (BASED ON INTERNAL PRESSURE OF 150 PSI) (SEE NOTE 1)						
		90°	45°	22-1/2°	11-1/4°	REDUCER	TEE	CAP PLUG
4" - 6"	L	16	7	3	2	29	16	56
	LHS	49	24	12	6	---	---	---
	LLS	16	6	3	2	---	---	---
	L	20	9	4	2	31	33	74
8"	LHS	64	31	15	8	---	---	---
	LLS	20	8	4	2	---	---	---
	L	28	12	6	3	56	64	105
	LHS	91	44	21	11	---	---	---
12"	LLS	28	11	5	3	---	---	---

Diagram illustrating the water main pipe restraint system. The diagram shows a cross-section of the pipe with various fittings and dimensions. Key dimensions include 18" and 18". The diagram also shows the location of the water main, tracer wire, and various bedding and wrap materials.

NOTES:

- SPECIAL DESIGN IS REQUIRED FOR FITTINGS ON DOMESTIC WATER MAIN PIPE LARGER THAN 12 INCHES AND FOR REDUCERS HAVING MORE THAN ONE PIPE SIZE DIFFERENCE.
- CONCRETE THRUST BLOCK IS TO BE USED IN ADDITION TO MECHANICAL RESTRAINT DEVICES, SEE DETAILS S900-4 AND S900-5.
- ALL PLASTIC AND POLYETHYLENE WRAPPED DUCTILE IRON DOMESTIC WATER MAIN PIPE AND FITTING JOINTS WITHIN L-LHS-LLS DIMENSIONS MUST BE RESTRAINED USING APPROVED MECHANICAL RESTRAINT DEVICE.
- ASSUMPTION: SP SOILS, 4.50 FEET COVER, AND TYPE 4 LAYING CONDITION.

CITY OF ROCHESTER

WATER MAIN PIPE RESTRAINT DOMESTIC SYSTEM

ISSUED 5-8-08 NON-STANDARD
REVISED 9-1-09 DWG.NO.S900-7

Diagram illustrating the thermite weld details. The diagram shows a cross-section of the pipe with various fittings and dimensions. Key dimensions include 3/4" ± and 5' | 5'. The diagram also shows the location of the water main, tracer wire, and various bedding and wrap materials.

NOTES:

- FOLLOW MANUFACTURER'S PROCEDURES AND RECOMMENDATIONS WHEN THERMITE WELDING.
- USE APPROPRIATE WELD MOLDS AND WELD METALS FOR SPECIFIC SIZE AND MATERIAL OF PIPE THAT WIRE IS BEING ATTACHED TO.
- WHEN THERMITE WELDING #12 AWG WIRES OR SMALLER, INSERT END OF WIRE INTO AN APPROVED COPPER SLEEVE PRIOR TO THERMITE WELDING AND CRIMP SLEEVE ON WIRE.
- TEST WELD INTEGRITY BY STRIKING WELD WITH A HAMMER AFTER WELD HAS COOLED, AVOID STRIKING WIRE.

CITY OF ROCHESTER

THERMITE WELD DETAILS

ISSUED 10-17-08 NON-STANDARD
REVISED 12-28-10 DWG.NO.S966-2

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ROCHESTER, NY 14621

FINAL DETAIL SHEET

47, 51, 59 SULLIVAN ST. & 50 O'BRIEN ST.

PROJECT

LOCATION

CLIENT

PROJECT MANAGER

L. SWEDROCK

PROJECT ENGINEER

F. SHELLEY

DRAWN BY

R. GLITCH

SCALE

N.T.S.

DATE ISSUED

FEBRUARY 2018

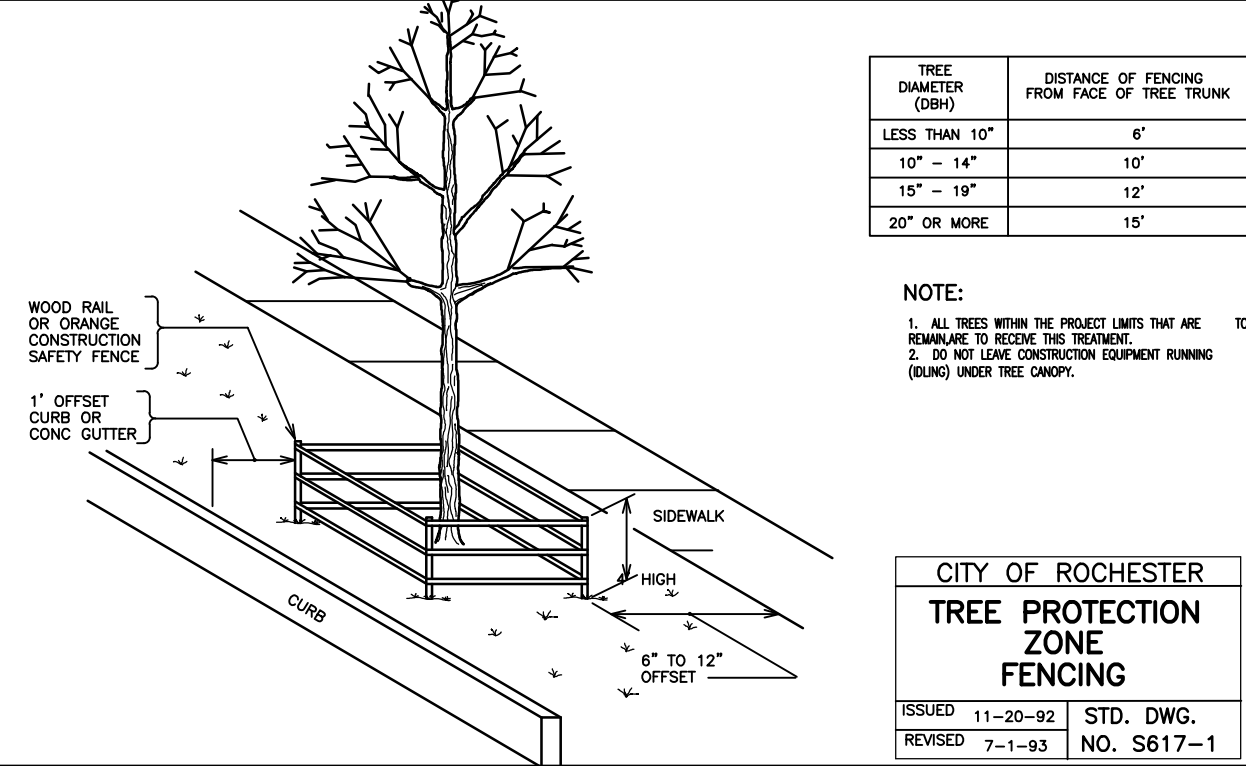
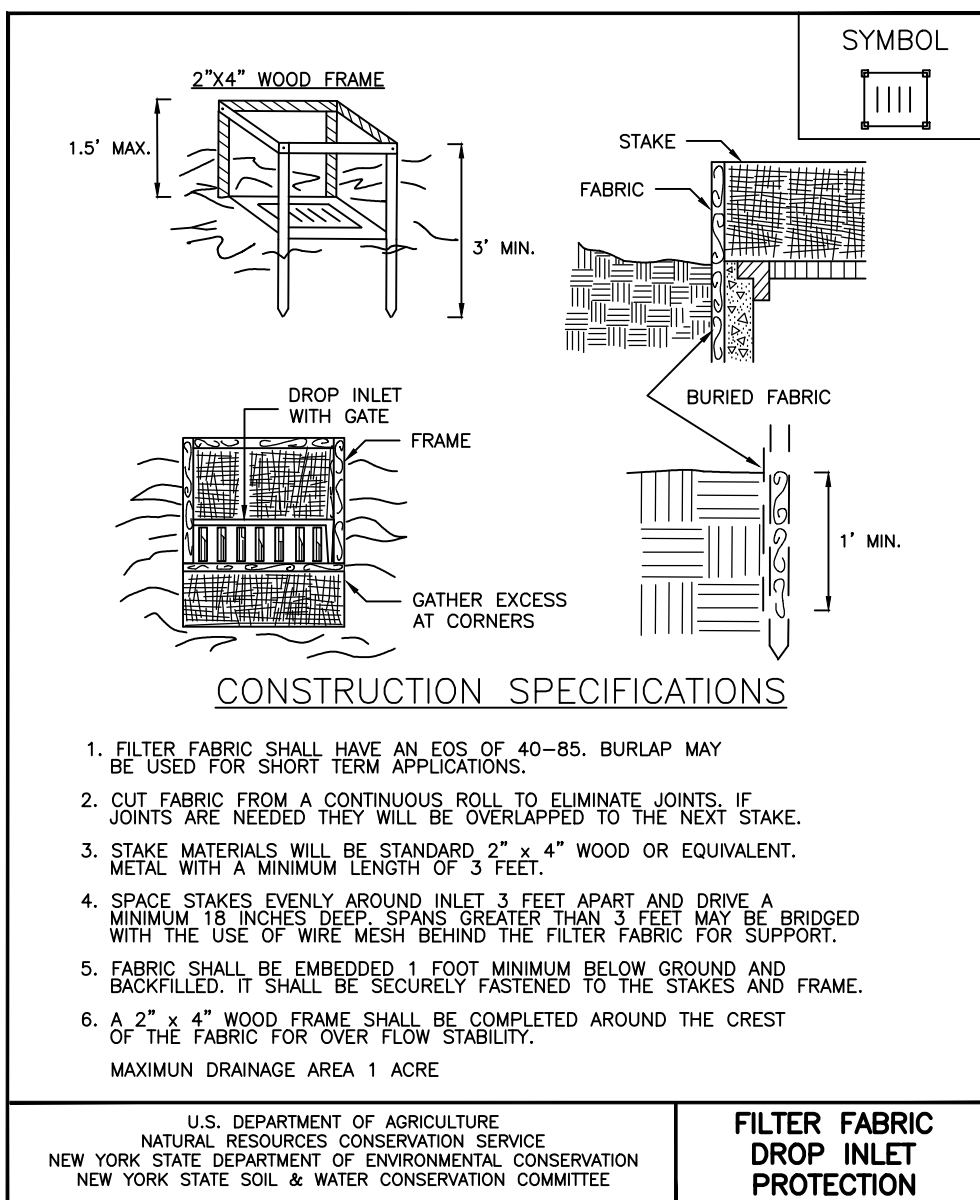
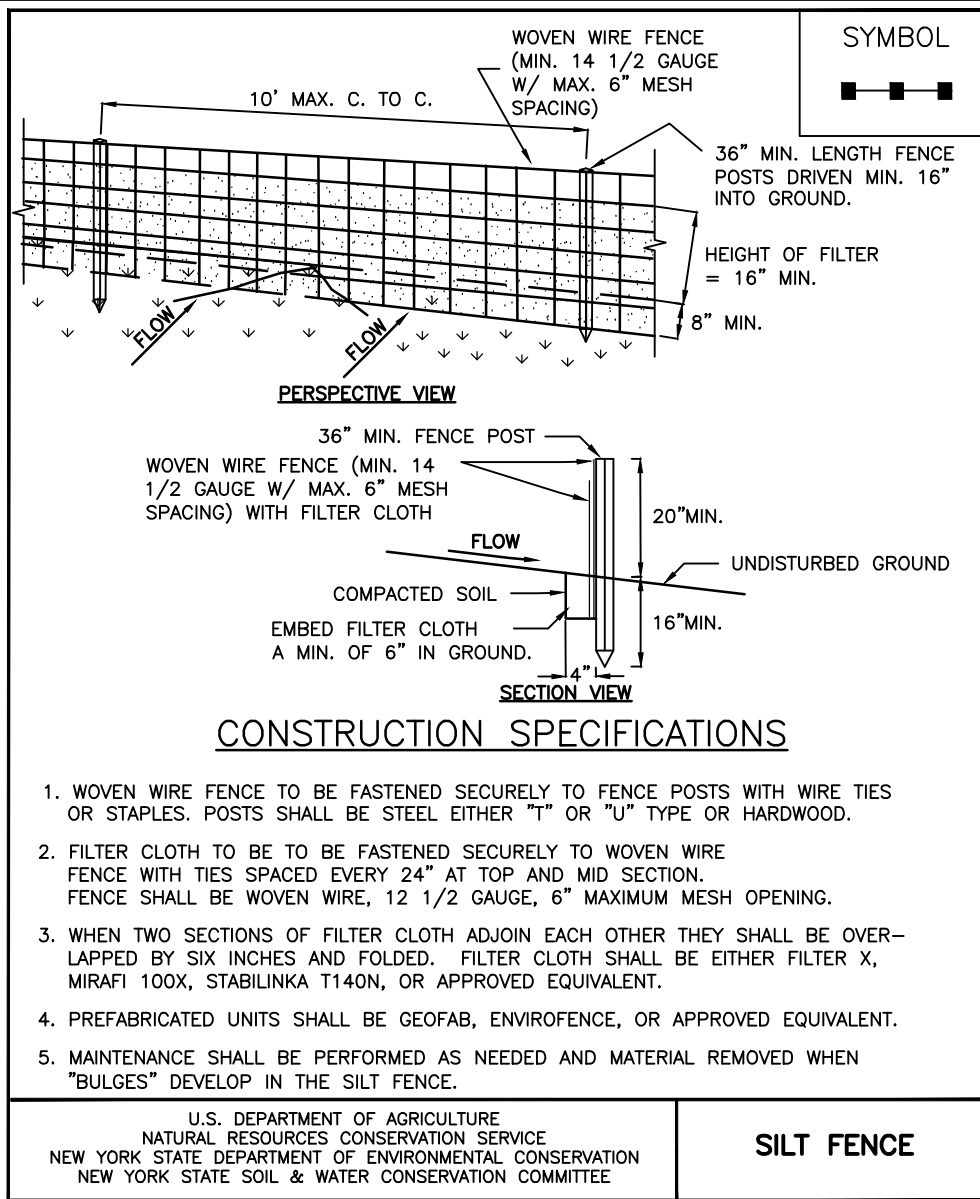
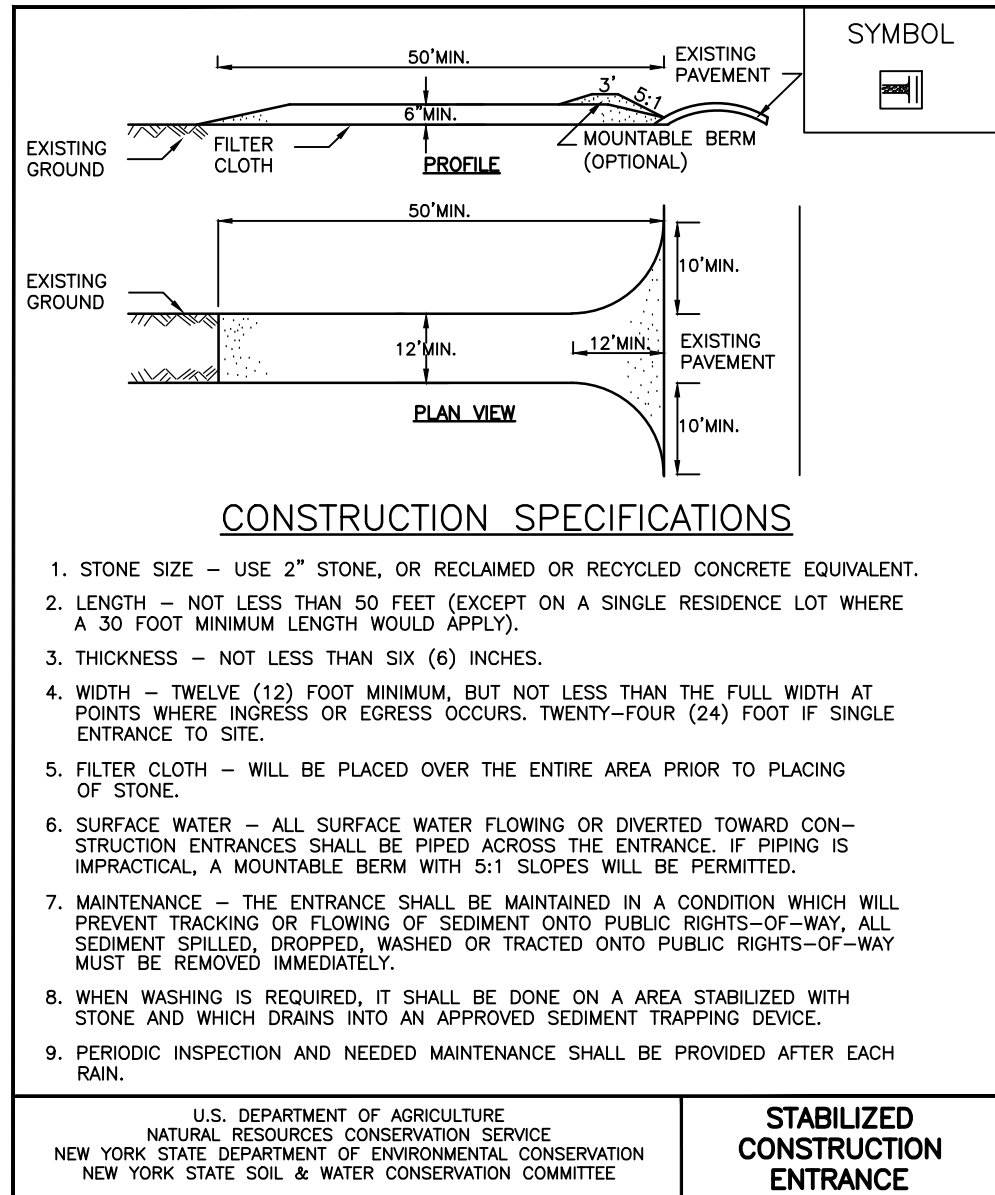
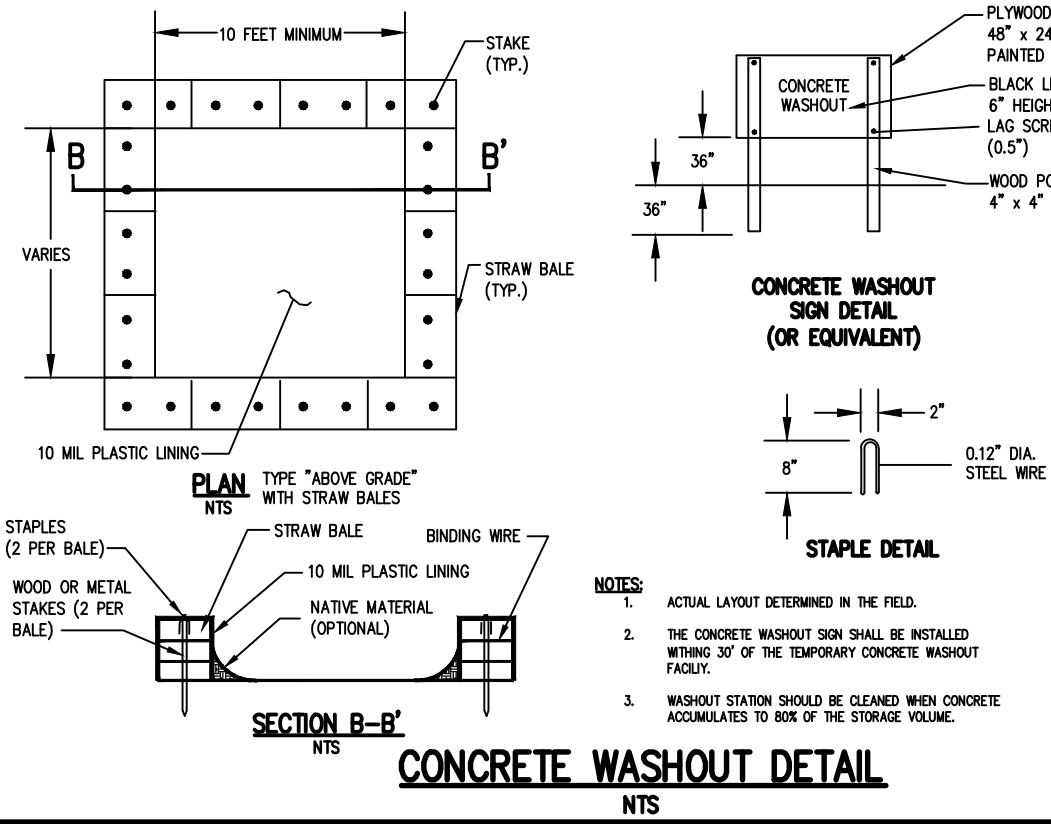
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PUEBLO NUEVO

Monroe County

STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH MC-3500 OR APPROVED EQUAL.
- CHAMBERS SHALL BE MADE FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBERS SHALL BE DESIGNED AND ALLOWABLE LOADS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. THE CHAMBER MANUFACTURER SHALL SUBMIT THE FOLLOWING UPON REQUEST TO THE SITE DESIGN ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
 - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY AASHTO FOR THERMOPLASTIC PIPE.
 - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET, THE 50 YEAR CREEP MODULUS DATA SPECIFIED IN ASTM F2418 MUST BE USED AS PART OF THE AASHTO STRUCTURAL EVALUATION TO VERIFY LONG-TERM PERFORMANCE.
 - STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL EVALUATION IS BASED.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

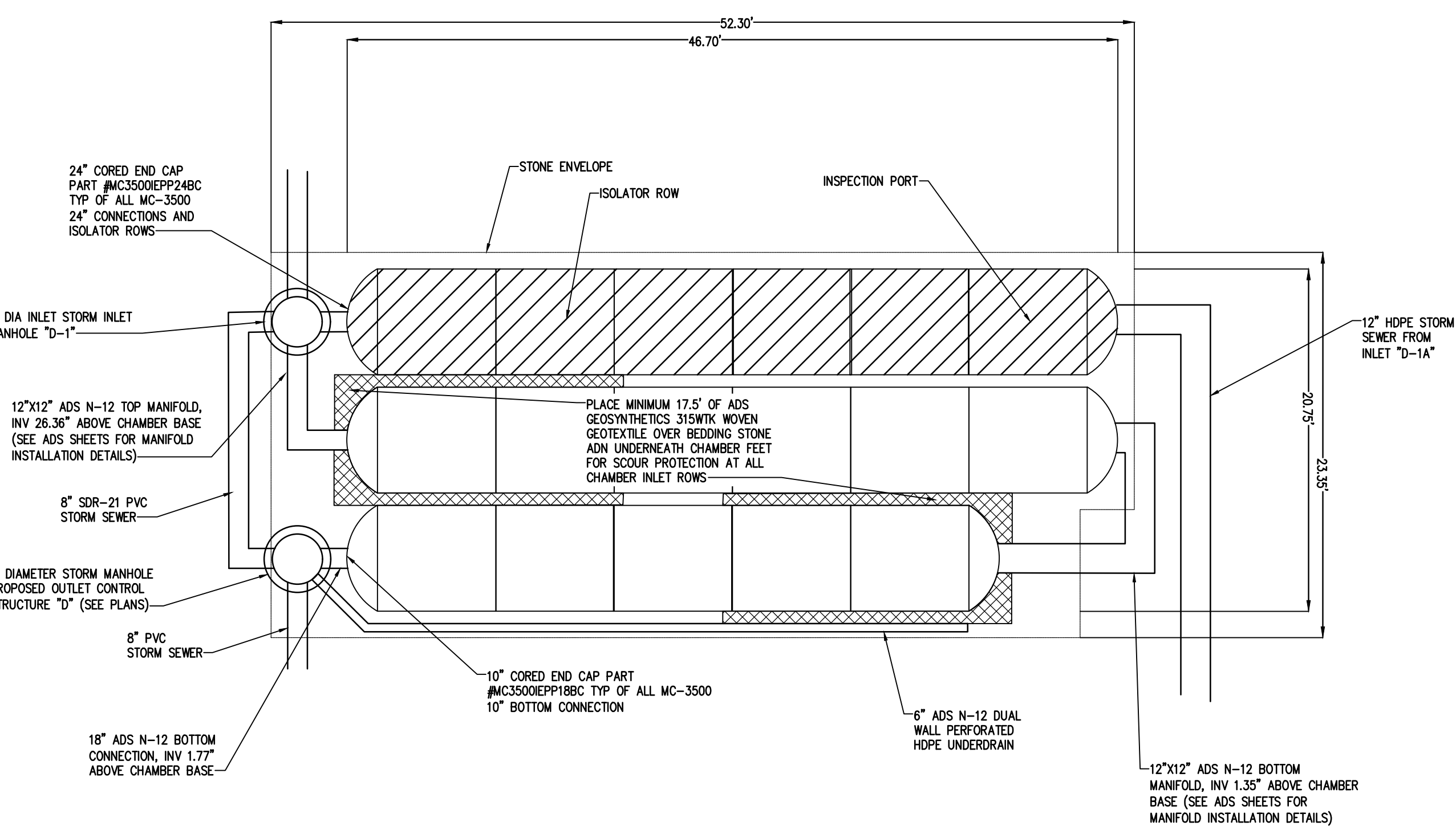
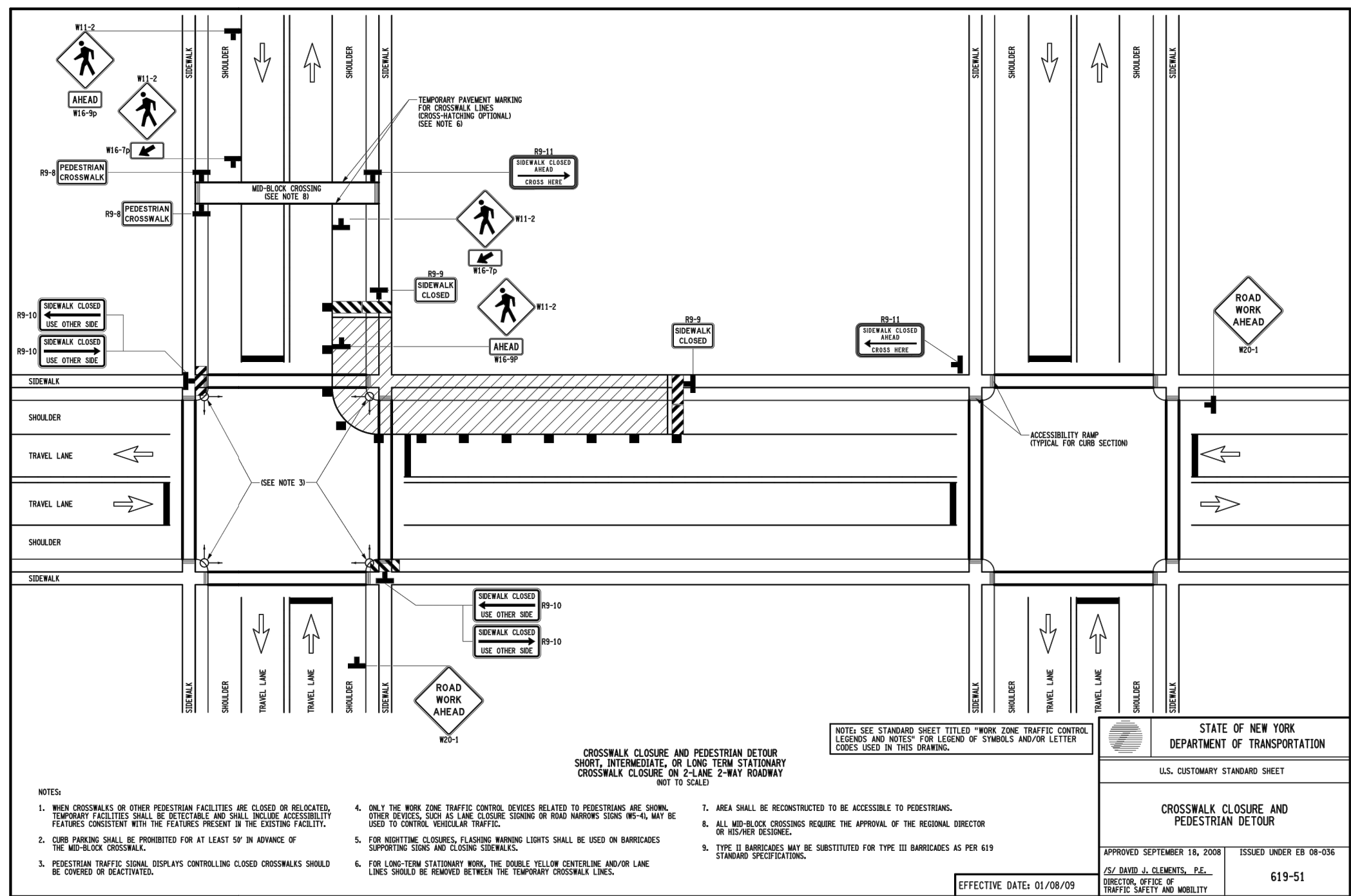
IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-3500 CHAMBER SYSTEM

- STORMTECH MC-3500 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS.
STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONESHOTTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM - 9" (230 mm) SPACING BETWEEN THE CHAMBER ROWS.
- INLET AND OUTLET MANIFOLDS MUST BE INSERTED A MINIMUM OF 12" (300 mm) INTO CHAMBER END CAPS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4"-2" (20-50 mm) MEETING THE AASHTO M43 DESIGNATION OF #3 OR #4 "J".
- ADS RECOMMENDS THE USE OF "FLEXFORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
- THE USE OF EQUIPMENT OVER MC-3500 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER Tired LOADER, DUMP TRUCK, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
- FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING "J". USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-882-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



Drawing Alteration
The following is an exception from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

NO.	DATE	REVISIONS
7		
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1		

BME ASSOCIATES
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PUEBLO NUEVO HOUSING
APARTMENT PARCEL
TOWN OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
IBERO-AMERICAN DEVELOPMENT
ROCHESTER, NY 14621
FINAL
DETAIL SHEET

PROJECT LOCATION CLIENT DRAWING TITLE

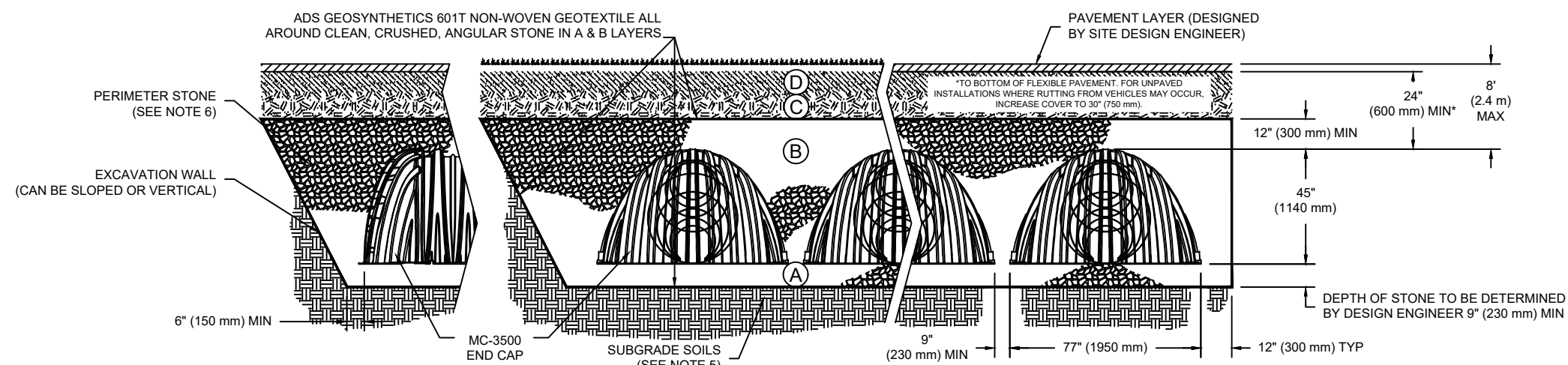
PROJECT MANAGER
L. SWEDROCK
PROJECT ENGINEER
F. SHELLEY
DRAWN BY
R. GLITCH
SCALE DATE ISSUED
N.T.S. FEBRUARY 2018
PROJECT NO.

2555A
DRAWING NO.
11

ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2.4, A-3 OR AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ³ 3, 4	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ³ 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{4,5}

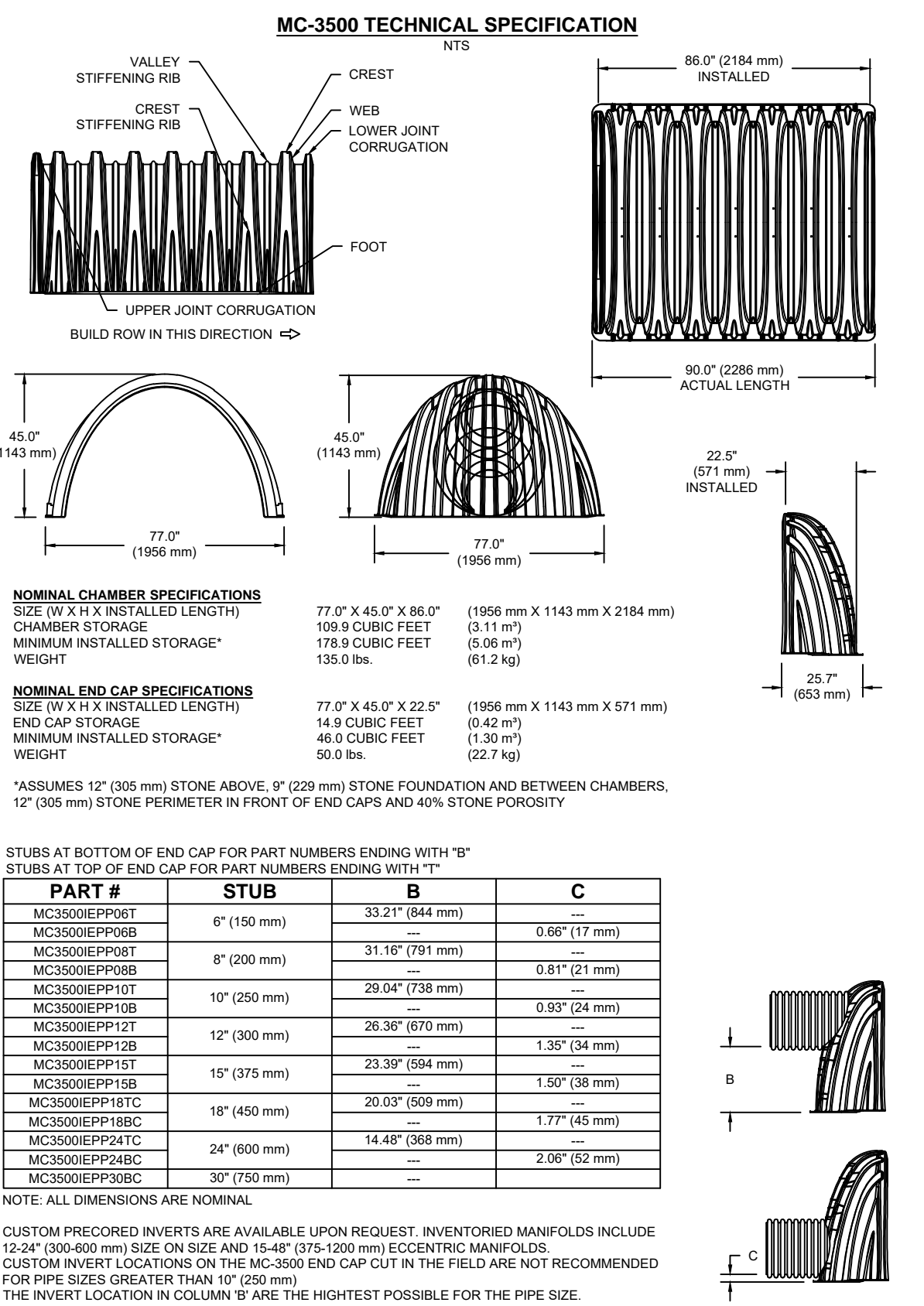
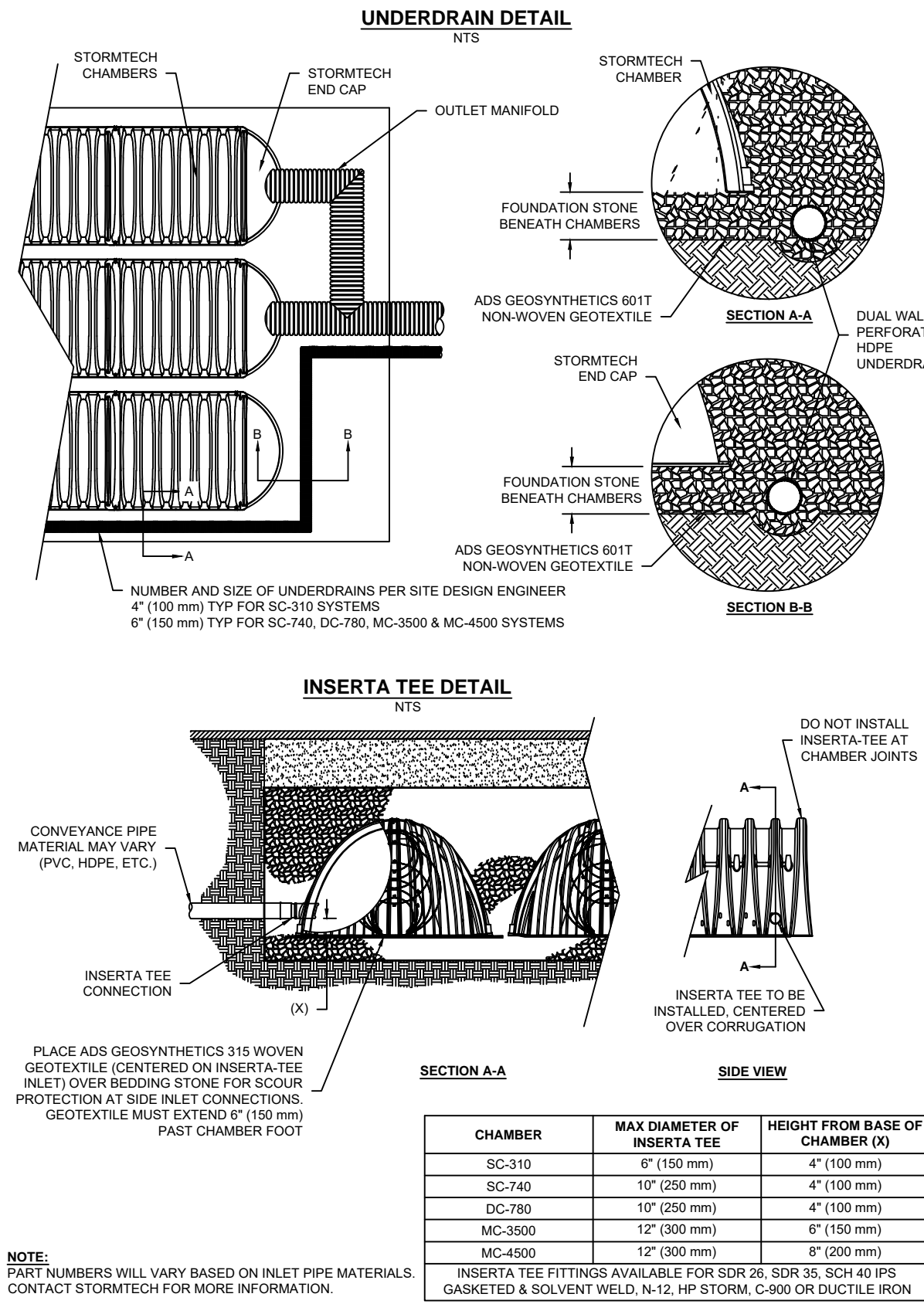
PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



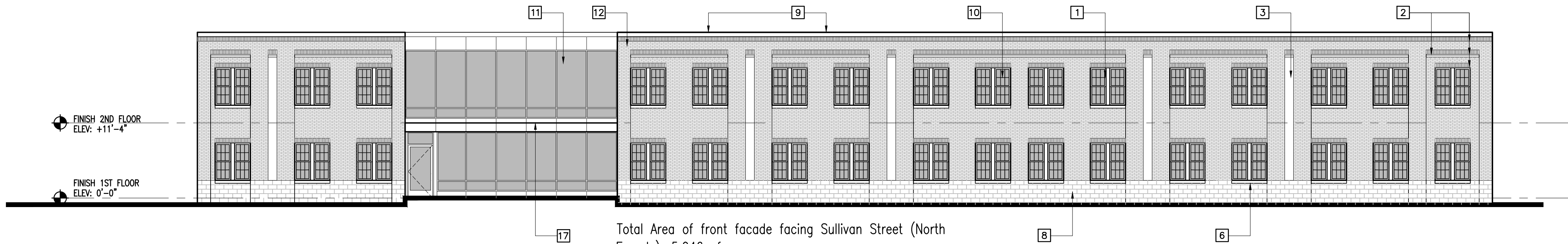
NOTES:

- MC-3500 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".¹
- MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".²
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.³
- THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.⁴
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.⁵
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

PN		Monroe County
REV	DATE	PROJECT #
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STORMTECH		MONROE COUNTY	
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401.520.1141 888.862.3841 WWW.STORMTECH.COM		PROJECT #	
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1 CONCEPT NORTH ELEVATION
1"=10'-0"

Total Area of front facade facing Sullivan Street (North Facade): 5,046 sf

Total Area of transparent glazing (North facade): 1249 sf / 5,046 sf = 25%

DH Window units = Qty. 64 x 9.9 sf each = 634 sf

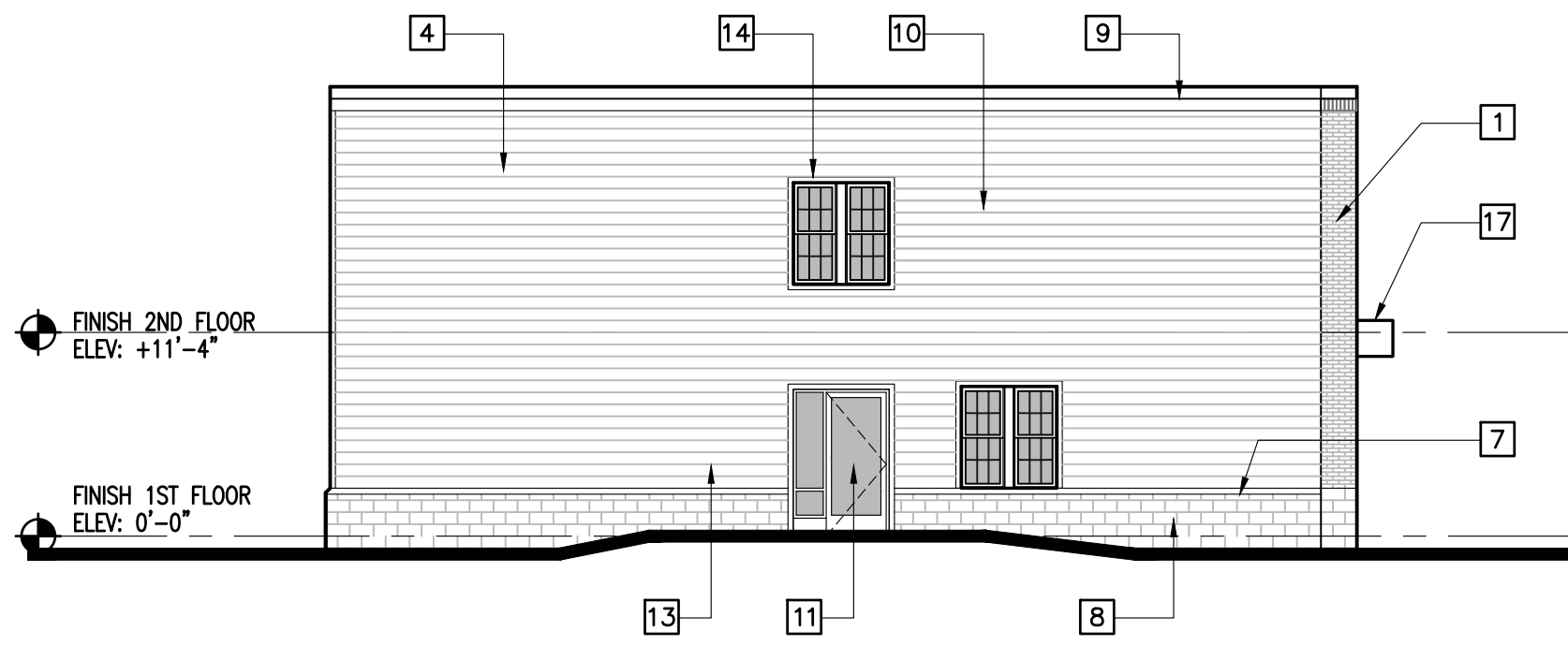
Total Area of Curtain Wall Glazing = 330+285 = 615 sf



2 CONCEPT SOUTH ELEVATION
1"=10'-0"



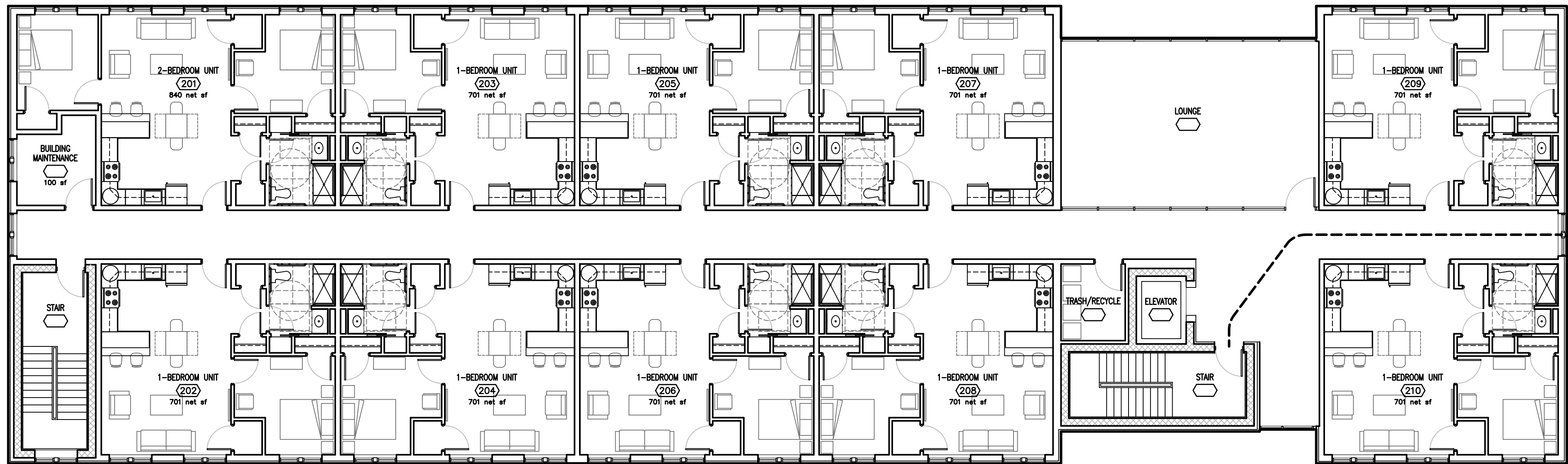
3 CONCEPT WEST ELEVATION
1"=10'-0"



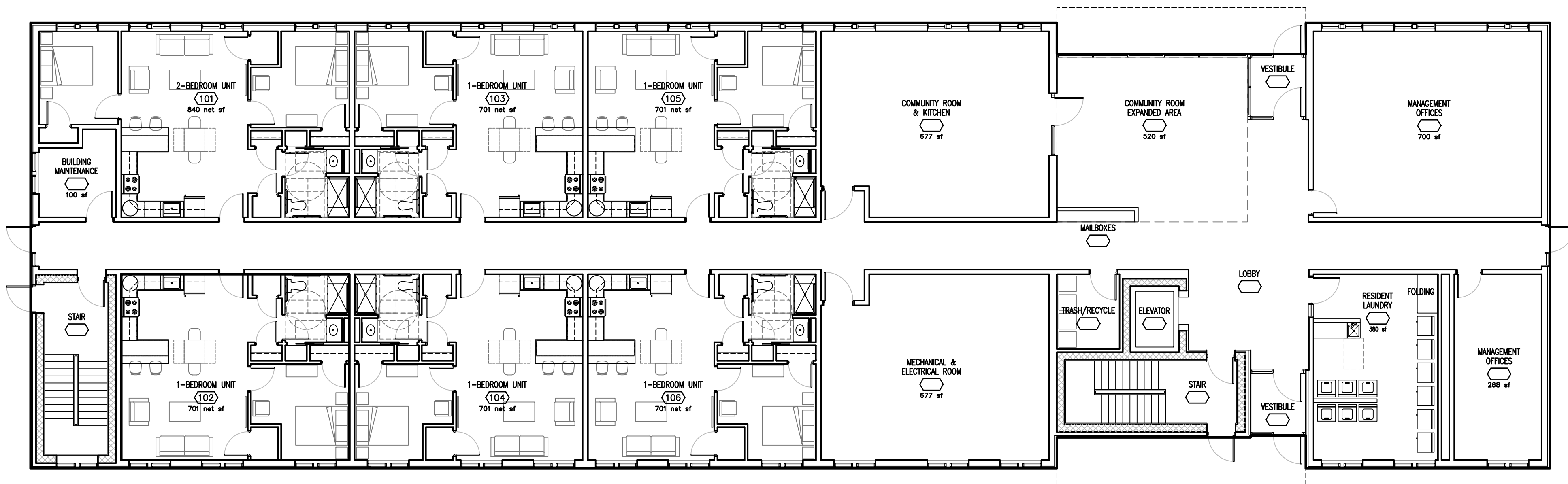
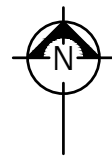
4 CONCEPT EAST ELEVATION
1"=10'-0"

KEYNOTES (ELEVATIONS)

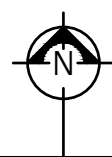
- 1 4"x2-2/3"x8" BRICK VENEER, RUNNING BOND, (COLOR: RED), EQUAL TO: REDLAND BRICK - HARMAR BRICK - #101 MODULAR RED SMOOTH (WECKESSER BRICK COMPANY) TYP., SEE SPECS..
- 2 BRICK SOLDIER COURSE WINDOW HEAD (PER KEYNOTE 1), TYPICAL.
- 3 4"x2-2/3"x8" BRICK VENEER, RUNNING BOND, (COLOR: BLACK), EQUAL TO: TAYLOR CLAY PRODUCTS - 'MIDNIGHT BLACK' MODULAR SMOOTH (WECKESSER BRICK COMPANY) TYP., SEE SPECS..
- 4 FIBER CEMENT (8" EXPOSURE) LAP SIDING, JAMES HARDIE 'HARDIEPLANK' - SMOOTH, COLORPLUS FACTORY FINISH, COLOR: TBD.
- 5 CEMENT-FIBER LAP SIDING (SAME AS KEYNOTE 2) COLOR: 'IRON GRAY'.
- 6 PRE-CAST CONC. WINDOW SILLS (GREY), TYP., SEE SPECS.
- 7 SLOPED DECORATIVE CMU SILL CAP TO MATCH GROUND FACE CMU.
- 8 4"x8"x16" GROUND-FACE CMU VENEER BASE EQUAL TO BARNES & CONE, COLOR/MIX: 'GALWAY GRAVEL' TYP., SEE SPECS.
- 9 8" ALUM. COPING.
- 10 VINYL WINDOW, COLOR: TBD, TYP., SEE WINDOW SCHEDULE & SPECS.
- 11 ALUM. & GLASS STOREFRONT/CURTAIN WALL, COLOR: TBD WITH PERMAFLUOR FINISH, TYP., SEE STOREFRONT/CURTAIN WALL SCHEDULE & SPECS.
- 12 ALUM. COMPOSITE PANELS, REYNOLBOND, COLOR: COLORWELD 500 (OR OTHER STANDARD COLOR TO MATCH STOREFRONT), SEE SPECS.
- 13 HOLLOW METAL DOOR & FRAME, PAINT, TYP., SEE DOOR SCHEDULE & SPECS.
- 14 CELLULAR PVC TRIM EQUAL TO AZEK AT WINDOWS, DOORS, FRIEZES, CORNERS & PASOJA/CORNICE, COLOR: WHITE, TYP., SEE SECTIONS/SPECS.
- 15 CONT. VERT. MASONRY CONTROL JOINT ("C.J."), TYP..
- 16 CONT. HORIZ. MASONRY JOINT & GALV. STEEL SHELF ANGLE ("S.A."), TYP., SEE STRUCTURAL DRAWINGS.
- 17 CANOPY, SEE SECTIONS & STRUCTURAL DRAWINGS.



2 CONCEPT SECOND FLOOR PLAN
1"=10'-0"



1 CONCEPT FIRST FLOOR PLAN
1"=10'-0"



April 12, 2018

Revised October 9, 2018

City of Rochester
Bureau of Building and Zoning
City Hall, 30 Church Street, Room 125B
Rochester, NY 14614

Attn: Tom Kicior, Zoning Variances, Minor Site Plan Review

**Re: Pueblo Nuevo
Zoning Variances and Minor Site Plan Review**

2555

Dear Tom:

On behalf of the project applicant, Ibero-American Development Corporation, we submit the enclosed plans and application materials for the City's consideration of Minor site plan review and Zoning Variances. We have enclosed the following application materials for each action:

Minor Site Plan Review and Zoning Variances

- \$400 Fee (Application Fee Paid 10/6/17)
- Zoning Variance Application
- Zoning Variance Parcel List
- **Minimum Lot Area**, Parcel List, Zoning Variance Criteria Narrative
- **Maximum Lot Coverage**, Parcel List, Zoning Variance Criteria Narrative
- **20 Hoeltzer**, Minimum Lot Area, Maximum Lot Coverage and Side Setback Variances, Parcel List, Zoning Variance Criteria Narrative
- Long Form EAF
- ALTA Surveys
- Minor Site Plan and Zoning Variance Site Plan Set (3 copies)
- Building Floor Plans – single and two-family units
- Building Elevations – single and two-family units
- Engineering Narrative
- Minor Site Plan Application and Overall Parcel List (Site Plan Application fee paid 10/6/17)
- Site F and Site S, which include Single Family Lots that require Minor Site Plan Review
- CD with Digital Copy of all material

The proposed project is an in-fill residential development, including ±41 vacant properties for 104 residential units. The parcels will be developed with a combination of five single-family homes (5 units), 13 two-family buildings (26 units), 13 three family building (39 units), and 34 multi-family residential units (in 2 buildings), including the existing building at 938 Clifford Avenue, which will be an adaptive re-use for 18 one-bedroom units.

All of the properties (except 938 Clifford) were re-zoned by the City of Rochester on December 20, 2017 to R-2, to allow the two-family and multi-family residential. The three family units and multi-family buildings require a special permit from the Planning Commission. Attached is a list of the sites that require the special permits.

Many of the scattered site will need area variances for the two-family units. Variances are required for minimum lot size and lot coverage; lots requiring variance have been identified on the attached Parcel Detail report and on the plans.

The project also included the rehabilitation of the existing structure on 20 Hoeltzer to a two-family house. The re-development will require area variances for Minimum Lot Area, Maximum Lot Coverage, and Side Setback.

The majority of the properties are owned by the City of Rochester, and the project has applied for funding from the City and New York State.

The two-family units are located up and down with the lower unit being accessible. The three-family units include two one-bedroom units on the first floor that are accessible, and a three-bedroom unit on the second floor. The unit bedroom mix is as follows:

Single-Family: (5) 1-Story, 2-bedroom units ($\pm 1,090$ sf each)

Two-Family: (12) 2-story, 2-bedroom units ($\pm 1,134$ sf each)
(1) 2-story, 1-bedroom & 3-bedroom unit – (20 Hoeltzer rehab)

Three Family: (13) 2-story, (2) 1-bedroom units (± 790 sf each)
(1) 3-bedroom units ($\pm 1,560$ sf each)

Multi-Family: Existing Building: 938 Clifford Avenue
(18) 1-bedroom units (± 640 sf each)

New Building: 47-59 Sullivan Street
(14) 1-bedroom units (± 701 sf each)
(2) 2-bedroom units (± 840 sf)

Both multi-family buildings will have elevators and be accessible.

Totals: (59) 1-bedroom units
(31) 2-bedroom units
(14) 3-bedroom units
(104) Total Units

The properties are located along Sullivan Street, Clifford Avenue, Hoeltzer Street, Kappel Place, and North Clinton within the City of Rochester. We have attached a Parcel Detail report that outlines the property addresses and tax account numbers for your reference.

New sanitary sewer laterals and water services will be extended to serve each proposed building. Existing curb cuts have been re-used where feasible and we are requesting the necessary permits for the utility, highway, and sidewalk work within the City streets.

The following permits/approvals are anticipated for the site development as proposed:

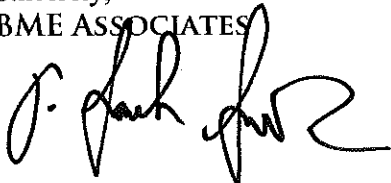
- Minor Site Plan Review – City Planning Commission – Three Family Units and Multi-Family on O'Brien Street
- Site Plan Review – City Plan Review (Manager & Zoning) – One and Two Family units
- Area Variances – City Zoning Board of Appeals – One and Two Family units as required
- Special Permit – City Planning Commission – Three Family and Multi-Family Units
- Sale of City Properties – City Council

- City DES – Access Permits, Highway/Sidewalk Work
- City Water Bureau – Water Service
- City Plumbing – Water and Sanitary Sewer Service
- MCPW/RPWD – Sanitary Sewer
- City Building Permits

If you require any additional information concerning the application, please contact our office.

Sincerely,

BME ASSOCIATES



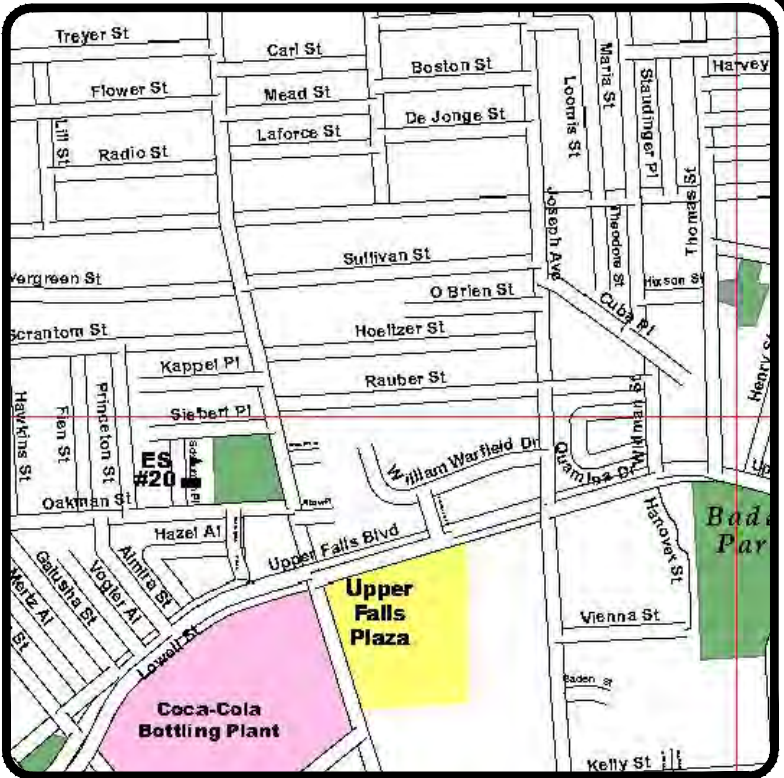
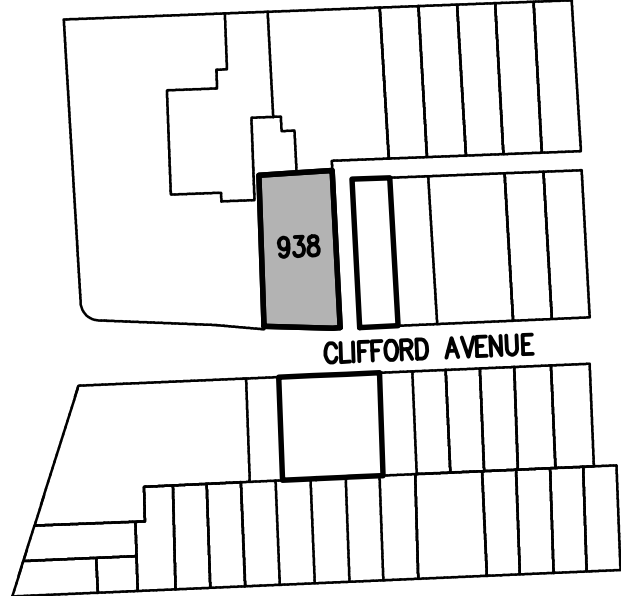
J. Lincoln Swedrock, P.E.

JLS

Encl.

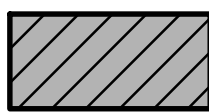
c: Eugenio Marlin; Ibero-American Development Corporation
Stephanie Benson; Edgemere Development (with CD)
Susan Frykolm; Edgemere Development
Charlie Oster; Edgemere Development
Mark Pandolf; PLAN Architecture Studio, P.C.

P:\2555\Drawings\Final\2555-Variance & Remaining Sites (A-C, L-Q, 200 Clifford)\2555V Cover Sheet.dwg



LOCATION MAP
NOT TO SCALE

KEY



SITES THAT REQUIRE AREA
VARIANCES AND/OR SITE PLAN
REVIEW/APPROVAL BY THE BUREAU
OF BUILDING AND ZONING



REMAINING SITES

SITES A-C, L-Q, & 200 CLIFFORD AVENUE

FINAL PLOT PLANS FOR VARIANCES AND
ADMINISTRATIVE SITE PLAN REVIEW

PUEBLO NUEVO HOUSING

DWG. No.	TITLE
2555-30 F	COVER SHEET
2555-31 F	PLAN INDEX (SHEET 1 OF 2)
2555-32 F	PLAN INDEX (SHEET 2 OF 2)
2555-04 F	SITE A PLOT PLAN
2555-05 F	SITE B PLOT PLAN
2555-06 F	SITE C PLOT PLAN
2555-15 F	SITE L PLOT PLAN
2555-16 F	SITE M PLOT PLAN
2555-17 F	SITE N PLOT PLAN
2555-18 F	SITE O PLOT PLAN
2555-19 F	SITE P PLOT PLAN
2555-20 F	SITE Q PLOT PLAN
2555-26 F	200 CLIFFORD
2555-27 F	DETAIL SHEET (SHEET 1 OF 3)
2555-28 F	DETAIL SHEET (SHEET 2 OF 3)
2555-29 F	DETAIL SHEET (SHEET 3 OF 3)

THIS PLAN SET INCLUDES PARCELS THAT
WILL REQUIRE VARIANCES FROM THE
ZONING BOARD OF APPEALS AND SITE
PLAN REVIEW AND APPROVAL FROM THE
CITY BUREAU OF BUILDING AND ZONING

PUEBLO NUEVO HOUSING

CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE

PREPARED FOR:

IBERO-AMERICAN DEVELOPMENT

954 CLIFFORD AVE
ROCHESTER, NY 14621

CITY OF ROCHESTER WATER BUREAU		
APPROVED ONLY FOR WATER FACILITY WORK SHOWN WITHIN THE PUBLIC RIGHT-OF-WAY, UP TO AND INCLUDING THE CURB VALVE, AND INCLUDING THE WATER METER VAULT NEAR THE RIGHT-OF-WAY, IF APPLICABLE. THE OWNER, DEVELOPER OR THEIR PLUMBER IS RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS FROM THE CITY BEFORE BEGINNING ANY WORK.		
IF A BACKFLOW PREVENTION DEVICE IS REQUIRED, THE WATER BUREAU WILL NOT ISSUE A WATER SERVICE PERMIT UNTIL THE PLANS FOR THE BACKFLOW PREVENTION DEVICE HAVE BEEN APPROVED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.		
<input type="checkbox"/> BACKFLOW DEVICE REQUIRED	<input type="checkbox"/> BACKFLOW DEVICE NOT REQUIRED	
SIGNATURE	TITLE	DATE

SCALE: 1"=200'

DRAWING NUMBER: 2555-30F
DATED: MARCH 2018
REVISED: AUGUST 2018

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
WWW.BMEPC.COM

PHONE 585-377-7360
FAX 585-377-7309

P:\2555 Drawings\Final\2555-VAR.dwg

PUEBLO NUEVO PARCEL DETAIL REPORT

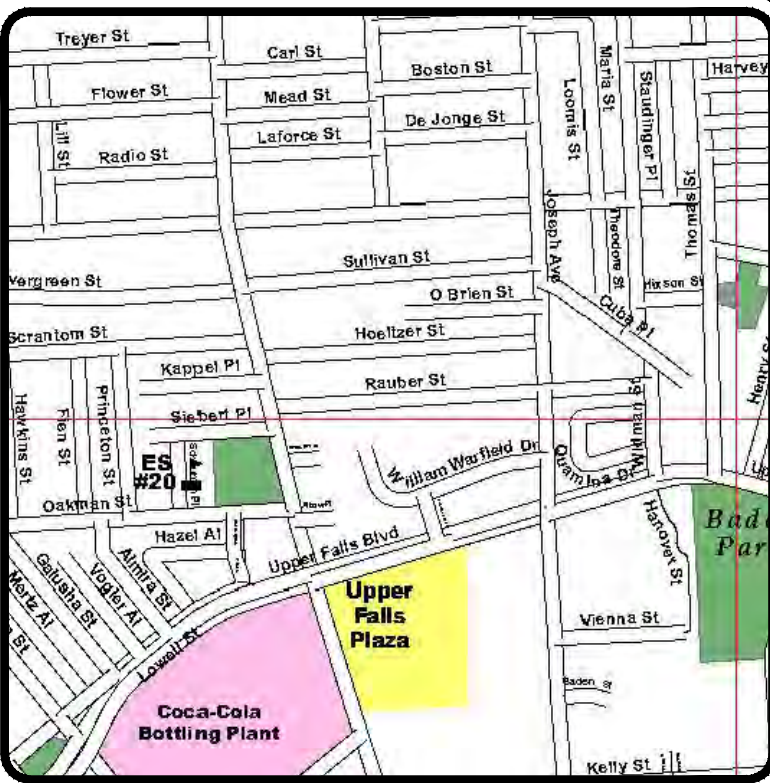
SITE	OWNER	TAX ACCOUNT NO.	STREET ADDRESS	ZONED:
A	CITY OF ROCHESTER	106.31-4-42.002	54 SULLIVAN STREET	R-2
B	CITY OF ROCHESTER	106.31-4-38	62 SULLIVAN STREET	R-2
C	CITY OF ROCHESTER	106.31-4-54	30 SULLIVAN STREET	R-2
L	CITY OF ROCHESTER	106.31-4-53.001	32 SULLIVAN STREET	R-2
M	CITY OF ROCHESTER	106.31-4-50.001	38 SULLIVAN STREET	R-2
N	CITY OF ROCHESTER	106.31-4-48.1	42 SULLIVAN STREET	R-2
O	CITY OF ROCHESTER	106.31-4-57	24 SULLIVAN STREET	R-2
	CITY OF ROCHESTER	106.31-4-56	26 SULLIVAN STREET	R-2
	CITY OF ROCHESTER	106.39-2-23.002	51 HOELTZER STREET	R-2
	CITY OF ROCHESTER	106.39-2-26	55 HOELTZER STREET	R-2
	CITY OF ROCHESTER	106.39-2-13	27 HOELTZER STREET	R-2
	CITY OF ROCHESTER	106.39-2-14	29 HOELTZER STREET	R-2
	CITY OF ROCHESTER	106.39-2-10.1	21 HOELTZER STREET	R-2
	CITY OF ROCHESTER	106.39-1-68	20 HOELTZER STREET	R-2

LEGEND

PUEBLO NUEVO PARCEL
TAX PARCEL LINE
SETBACK LINE
PROJECT LIMITS/PHASE LINE
PUEBLO NUEVO PARCELS

CLIFFORD AVENUE

LOCATION MAP
NOT TO SCALE



PHASE II
PHASE I

PHASE II
PHASE I

SULLIVAN STREET

O'BRIEN STREET

HOELTZER STREET

RAUBER STREET

SITE C
24 SULLIVAN STREET
26 SULLIVAN STREET
ONE (1) TWO FAMILY HOUSE
(2 UNITS)

SITE B
30 SULLIVAN STREET
32 SULLIVAN STREET
38 SULLIVAN STREET
42 SULLIVAN STREET
FOUR (4) TWO FAMILY HOUSES
(8 UNITS)

SITE A
54 SULLIVAN STREET
62 SULLIVAN STREET
THREE (2) TWO FAMILY HOUSES
(6 UNITS)

PROPOSED APARTMENT
PARCEL
47 SULLIVAN STREET
51 SULLIVAN STREET
50 O'BRIEN STREET
59 SULLIVAN STREET
2-STORY APARTMENT BUILDING
(16 UNITS)

PARCEL TO BE
RETAINED BY THE CITY
OF ROCHESTER

PROPOSED O'BRIEN
STREET PARCEL

SITE O
20 HOELTZER STREET
ONE (1) TWO FAMILY
HOUSE (2 UNIT)

SITE N
21 HOELTZER STREET
ONE (1) SINGLE FAMILY HOUSE
(1 UNIT)

SITE M
27 HOELTZER STREET
29 HOELTZER STREET
ONE (1) TWO FAMILY HOUSE
(2 UNITS)

SITE L
51 HOELTZER STREET
55 HOELTZER STREET
TWO (2) SINGLE FAMILY HOUSE
(2 UNITS)

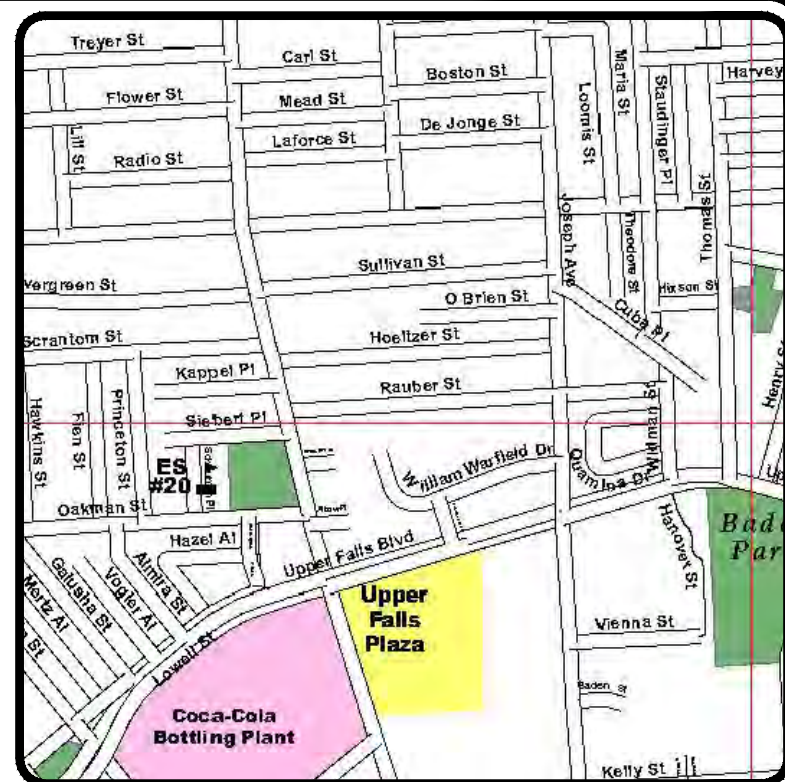
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10 LIFT BRIDGE LANE EAST
ROCHESTER, NEW YORK 14650
WWW.BMEPCON.COM



PUEBLO NUEVO HOUSING
FINAL
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
IBERO AMERICA DEVELOPMENT
C/O CLIFFORD
ROCHESTER, NY 14621
PLAN INDEX
(VARIANCE AND ADMINISTRATIVE SITE
PLAN REVIEW)

PROJECT: PUEBLO NUEVO HOUSING
LOCATION: MONROE COUNTY, NEW YORK STATE
CLIENT: IBERO AMERICA DEVELOPMENT
DRAWING TITLE: PLAN INDEX
(VARIANCE AND ADMINISTRATIVE SITE
PLAN REVIEW)
PROJECT MANAGER: J. L. SWEDROCK
PROJECT ENGINEER: FA. SHELLEY
DRAWN BY: FA. SHELLEY
SCALE: 1" = 60'
DATE ISSUED: MARCH 2018
PROJECT NO.: 2555
DRAWING NO.: 31F
(1 OF 2)

SITE	OWNER	TAX ACCOUNT NO.	STREET ADDRESS	ZONED:
P	CITY OF ROCHESTER	106.38-2-17.001	8 KAPPEL PLACE	R-2
Q	EDDIE BELL	106.38-2-23	16 KAPPEL PLACE	R-2
	CITY OF ROCHESTER	106.38-2-25.001	24 KAPPEL PLACE	R-2
	CITY OF ROCHESTER	106.38-2-26	26 KAPPEL PLACE	R-2
200 CLIFFORD	IBERO AMERICAN DEVELOPMENT	106.29-2-2.002	200 CLIFFORD AVENUE	P043
	IBERO AMERICAN DEVELOPMENT	106.29-2-2.22	208-214 CLIFFORD AVENUE	P043



LOCATION MAP
NOT TO SCALE



PUEBLO NUEVO PARCEL
TAX PARCEL LINE
SETBACK LINE
PROJECT LIMITS/PHASE LINE
PUEBLO NUEVO PARCELS

Drawing Alteration

The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:

"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration. A specific description of the alteration."

7			
6			
5			
4			
3			
2			
1	REVISED PER CITY AGENCY COMMENTS	8/14/18	FAS
	REVISIONS	DATE	BY

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

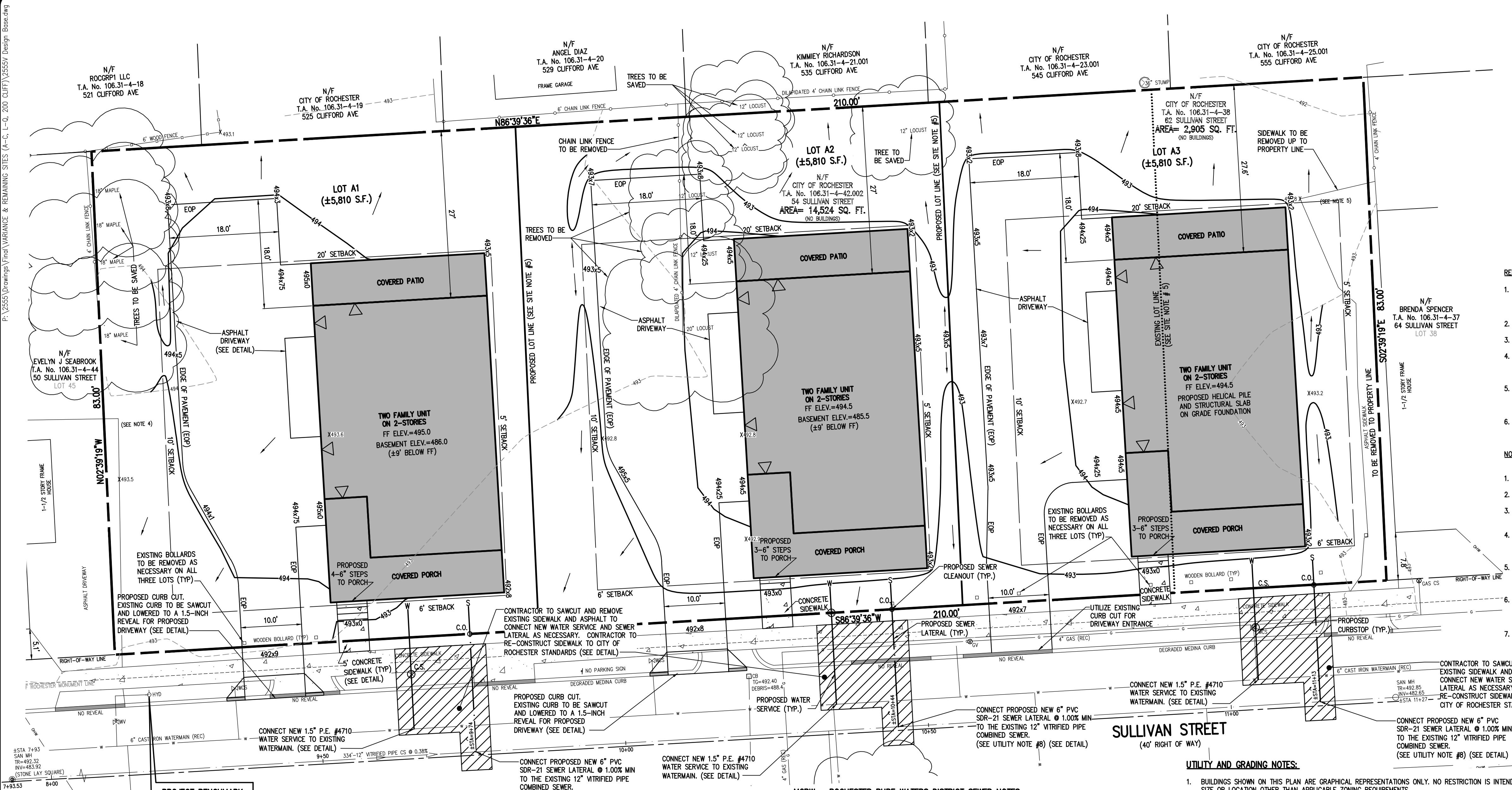
PHONE 585-377-7360
FAX 585-377-7309

10 LIFF BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
WWW.BMEPC.COM



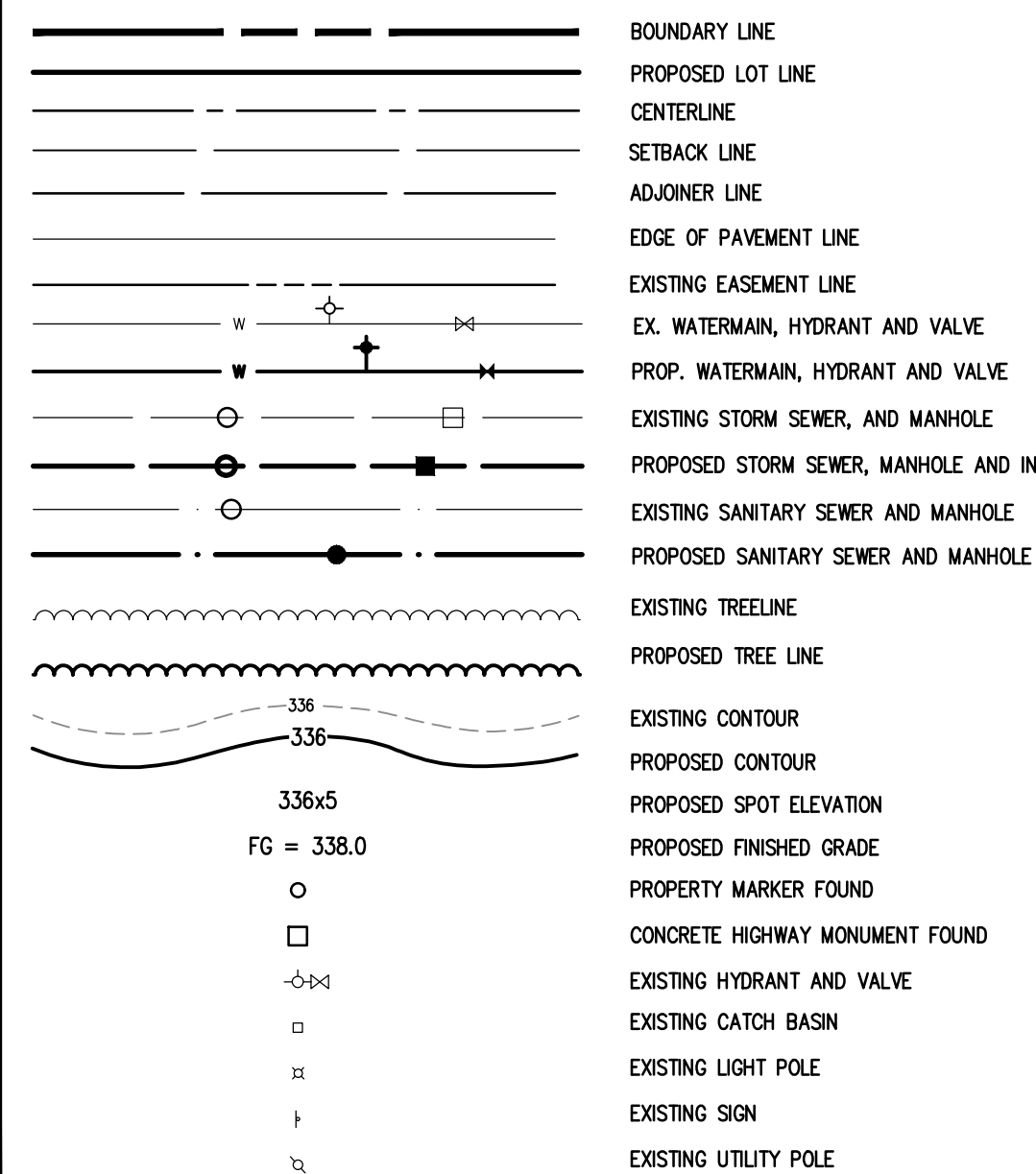
PROJECT	PUEBLO NUEVO HOUSING
LOCATION	FINAL
CLIENT	CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE IBERO-AMERICAN DEVELOPMENT CORPORATION ROCHESTER, NY 14621
DRAWING TITLE	PLAN INDEX (VARIANCE AND ADMINISTRATIVE SITE PLAN REVIEW)

PROJECT MANAGER	
JL SWEDROCK	
PROJECT ENGINEER	
FA SHELLEY	
DRAWN BY	
FA SHELLEY	
SCALE	DATE ISSUED
1" = 60'	MARCH 2018
PROJECT NO.	
2555	
DRAWING NO.	
32F	
(2 OF 2)	



PROJECT BENCHMARK
EASTLY BENCHMARK
ELEV=494.93 (NAVD 88)

LEGEND



SITE NOTES:

- EXISTING ZONING: R-2
- TOTAL LOT AREA IS $\pm 17,430$ S.F.
LOT A1 = $\pm 5,810$
LOT A2 = $\pm 5,810$
LOT A3 = $\pm 5,810$
PROPOSED USE: THREE-TWO STORY DUPLEX UNITS (2-2 BEDROOM UNITS) [6 UNITS TOTAL]
- LOT DIMENSIONS ARE AS FOLLOWS:

	REQUIRED	PROPOSED LOT A1	PROPOSED LOT A2	PROPOSED LOT A3
MIN. LOT AREA	6,000 SF	$\pm 5,810$ SF	$\pm 5,810$ SF	$\pm 5,810$ SF
MIN. LOT FRONTAGE	41' (AVG. BLOCK FRONTAGE)	70'	70'	70'
SETBACKS				
FRONT YARD	AVG. BLDG. DEPTH OR 20'	AVG. ADJACENT=6'	AVG. ADJACENT=6'	AVG. ADJACENT=6'
SIDE YARD	5' MIN	>5'	>5'	>5'
REAR YARD	15' TOTAL	>15' TOTAL	>15' TOTAL	>15' TOTAL
MAX. BUILDING HEIGHT	2.5 STORIES / 35'	2 STY / $\pm 30'$	2 STY / $\pm 29'$	2 STY / $\pm 29'$
MAX. LOT COVERAGE	50%	$\pm 51\%$	$\pm 51\%$	$\pm 52\%$

* MINIMUM LOT AREA VARIANCE WILL BE REQUESTED ON EACH LOT (PER CHAPTER 120-20.8(1)(b)(1))
** MAXIMUM LOT COVERAGE VARIANCE WILL BE REQUESTED ON EACH LOT (PER CHAPTER 120-20.8(1)(b)(2))
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
- THE EXISTING PARCELS NEED TO BE ADMINISTRATIVELY RE-SUBDIVIDED INTO THREE LOTS BY THE CITY OF ROCHESTER.

SEE BME DRAWING NUMBER
2555-27F, 28F AND 29F
FOR STANDARD DETAILS

MCPW - ROCHESTER PURE WATERS DISTRICT SEWER NOTES:

- THIS PLAN REQUIRES APPROVAL AND ISSUANCE OF A PLUMBING PERMIT FROM THE CITY OF ROCHESTER PLUMBING DEPARTMENT.
- PRIOR TO CONSTRUCTION, A SEWER CONNECTION PERMIT MUST BE OBTAINED FROM THE MONROE COUNTY PURE WATERS (MCPW) PERMIT OFFICE AT 145 PAUL ROAD, BUILDING 11, ROCHESTER, NY 14624, PHONE # 753-7600 (OPT. 5).
- SEWER CONNECTION PERMIT(S) CAN ONLY BE ISSUED TO A PLUMBER LICENSED IN THE CITY OF ROCHESTER AND WHO IS FULLY INSURED AND BONDED IN THE ROCHESTER PURE WATERS DISTRICT (RPWD). PAYMENT (CHECK OR MONEY ORDER TO "RPWD") OF ALL APPLICABLE PERMIT FEES MUST BE PAID PRIOR TO PERMIT ISSUANCE.
- THE RPWD SHALL BE NOTIFIED FORTY-EIGHT HOURS IN ADVANCE OF A CONNECTION OR TAP. [753-7600 (OPT. 5)] THE CONTRACTOR SHALL MAKE ALL REQUIRED TAPS TO THE RPWD SEWERS. ALL TAPS AND CONNECTIONS TO DISTRICT UTILITIES MUST BE WITNESSED BY A DISTRICT INSPECTOR.
- SANITARY/STORM/COMBINATION SEWER LATERAL(S) AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE ROCHESTER PURE WATERS DISTRICT. ALL NEW CONNECTIONS SHALL BE INSPECTED BY A REPRESENTATIVE OF THE DISTRICT.
- CLEANOUTS SHALL BE INSTALLED ON ALL 4" AND 6" DIAMETER SEWER LATERALS AT THE RIGHT-OF-WAY (ROW) LINE, OR THE SEWER EASEMENT LINE WHERE APPLICABLE. (THE SEWER EASEMENT, RIGHT-OF-WAY AND/OR PROPERTY LINE MUST BE STAKED OUT PRIOR TO INSTALLATION OF LOT LINE CLEANOUTS TO ENSURE PROPER LOCATION OF THE CLEANOUTS. [REFER TO CLEANOUT DETAIL FOR PROPER INSTALLATION]).
- IF AN EXISTING LATERAL IS TO BE UTILIZED, THE PLUMBER/CONTRACTOR MUST ENSURE THAT THE LATERAL IS IN GOOD CONDITION AND IS FREE OF DEBRIS (DIRT, MUD, STONE, ROOTS, ETC.) VIA A VIDEO TAPED INSPECTION PERFORMED BY THE PLUMBER/CONTRACTOR OR HIS/HER/THEIR AGENT. PRIOR TO CONNECTION, THE VIDEO TAPED INSPECTION OF THE EXISTING LATERAL MUST BE PRESENTED TO THE DISTRICT FOR REVIEW AND APPROVAL TO UTILIZE AN EXISTING LATERAL. IT IS THE RESPONSIBILITY OF THE BUILDER OR THEIR AGENT TO CLEAN AND/OR REPLACE THE PIPE/LATERAL AS NEEDED.
- ANY NEW PORTION OF A SEWER LATERAL INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY AND SEWER EASEMENT MUST BE SDR-21 PVC.
- ANY EXISTING LATERALS NOT UTILIZED MUST BE ABANDONED TO MONROE COUNTY PURE WATERS (MCPW) STANDARDS AT THE PROPERTY LINE OR, WHERE APPLICABLE, THE SEWER EASEMENT LINE.
- FLOOR DRAINS IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR MONROE COUNTY SEWER USE LAW.
- ANY PORTION OF A SEWER/LATERAL WITH LESS THAN FOUR-FOOT (4') OF COVER WILL REQUIRE CONCRETE ENCASUREMENT. SEWERS/LATERALS WITH LESS THAN THREE-FOOT (3') OF COVER ARE NOT ALLOWED.
- THE REQUIREMENTS OF THE HIGHWAY/PROPERTY OWNER SHALL BE ADHERED TO FOR ITEMS ABOVE THE PIPE BEDDING, INCLUDING, BUT NOT LIMITED TO, MAINTENANCE AND PROTECTION OF TRAFFIC, BACKFILL MATERIAL AND SURFACE RESTORATION.
- ALL EXISTING AND/OR PROPOSED EASEMENTS AND/OR RIGHT-OF-WAYS (ROW) ARE TO BE STAKED OUT IN THE FIELD BY AN ENGINEER/SURVEYOR PRIOR TO THE START OF ANY SITE CONSTRUCTION/EXCAVATION AND MAINTAINED DURING COURSE OF THE PROJECT TO ENSURE THE PURE WATERS LOT LINE CLEAN OUTS ON THE BUILDING LATERALS ARE PROPERLY PLACED AND THAT NO PERMANENT AND/OR NONPERMANENT STRUCTURES ARE INSTALLED WITHIN EASEMENTS AND/OR ROW. IT IS THE OWNER'S OR THEIR AGENT'S RESPONSIBILITY TO STAKE OUT ALL EASEMENTS. THIS WILL NOT BE THE RESPONSIBILITY OF THE RPWD.

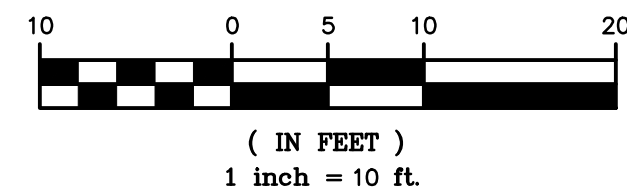
UTILITY AND GRADING NOTES:

- BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY. NO RESTRICTION IS INTENDED AS TO SIZE OR LOCATION OTHER THAN APPLICABLE ZONING REQUIREMENTS.
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER, THE APPROPRIATE AGENCIES (IE, MONROE COUNTY PURE WATERS, AND THE MONROE COUNTY HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
- THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
- EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, A FIELD SURVEY NEEDS TO BE COMPLETED AND THE CONTRACTOR SHALL CALL THE UPFO HOTLINE AT (800)962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
- ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS.
WATER: 1 INCH (MIN) PE #4710 FROM THE CURB BOX TO THE METER, WITH TRACER WIRE.
SEWER: 6" PVC SDR-21 @ 1% MIN SLOPE COMBINED SANITARY AND STORM SEWER LATERAL
EXTEND LATERALS TO 10 FEET BEYOND THE RIGHT-OF-WAY, OR 10 FEET BEYOND THE EASEMENT LINES, WHICHEVER IS GREATER.
- CONTRACTOR TO PERFORM EXPLORATORY EXCAVATIONS TO LOCATE EXISTING SANITARY SEWER LATERALS AS NECESSARY. IF EXISTING SANITARY LATERALS ARE LOCATED THE CONTRACTOR SHOULD REVIEW THE CONDITION OF THE EXISTING SANITARY SEWER LATERAL WITH THE DEVELOPER AND MCPW. IF A SANITARY LATERAL IS NOT FOUND, THE CONTRACTOR SHOULD INSTALL A NEW 6" PVC SEWER LATERAL AS SHOWN ON THE PLANS ACCORDING TO MCPW REQUIREMENTS.
- THE OWNER AND THE CONTRACTOR SHALL HAVE COMPLETE KNOWLEDGE OF THE CURRENT BLASTING POLICY FOR THE CITY OF ROCHESTER, AND THEY WILL CONFORM TO THIS POLICY AT ALL TIMES.
- THE HOME BUILDER SHALL BE RESPONSIBLE FOR IMPLEMENTING INDIVIDUAL LOT EROSION CONTROL MEASURES FOR INDIVIDUAL HOUSE CONSTRUCTION. THE MEASURES ARE TO REMAIN IN PLACE UNTIL HOUSE CONSTRUCTION IS COMPLETE AND THE LAWN IS ESTABLISHED.
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, 585-428-6848.
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NOT APPROVED

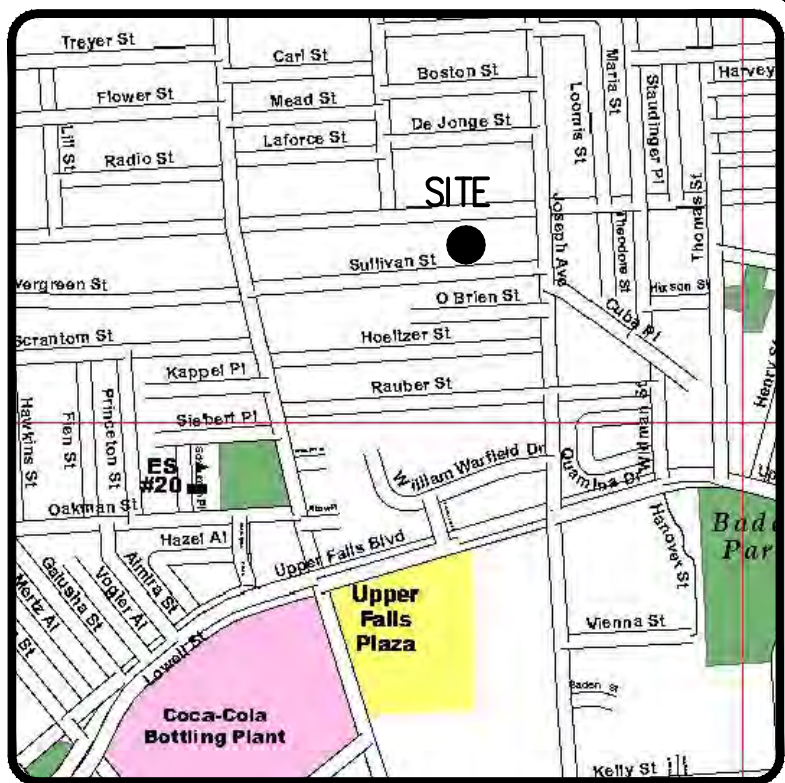
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

GRAPHIC SCALE



ROCHESTER PURE WATERS DISTRICT:

PROJECT	LOCATION	CLIENT	DRAWING TITLE
PROJECT MANAGER	JL SWEDROCK	PROJECT ENGINEER	FA SHELLEY
DRAWN BY	FA SHELLEY	SCALE	DATE ISSUED
1"=10'	MARCH 2018	PROJECT NO.	2555
DRAWING NO.	04F		



LOCATION MAP

NOT TO SCALE

REFERENCES:

- A PLAN ENTITLED "MAP OF A SUBDIVISION OF LOTS NO. 2 & 3 OF THE LEE TRACT FOR THE ESTATE OF JAMES SULLIVAN, 1872," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 3 OF MAPS, PAGE 109.
- CITY OF ROCHESTER DISTRICT 14, MAP 17 & 18.
- AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.
- A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT NO. COR-217-21053, EFFECTIVE DATE MARCH 2, 2017.
- A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT NO. COR-217-21053-(A), EFFECTIVE DATE JULY 7, 2017.
- FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY NO. 360431, MAP NO. 360550221G, EFFECTIVE DATE AUGUST 28, 2008.

NOTES:

- CURRENT ZONING CLASSIFICATION: R-2
- PARCELS LIE WITHIN ZONE X PER REFERENCE 6.
- NO WETLAND DELINEATION MARKERS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE ASPHALT DRIVEWAY ALONG THE WESTERLY BOUNDARY LINE OF T.A. NO. 106.31-4-42.002 AS SHOWN HEREON.
- PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE ASPHALT SIDEWALK ALONG THE EASTERLY BOUNDARY LINE OF T.A. NO. 106.31-4-38 AS SHOWN HEREON.
- BOUNDARY CORNERS WERE NOT SET IN THE PROCESS OF CONDUCTING THE FIELDWORK. EXTERIOR BOUNDARY CORNERS OF "SITE A" WILL BE SET WITH CAPPED 5/8" REBAR PRIOR TO ISSUANCE OF FINAL SURVEY MAPS.
- THE BEARING BASE SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD '83), WESTERN ZONE.

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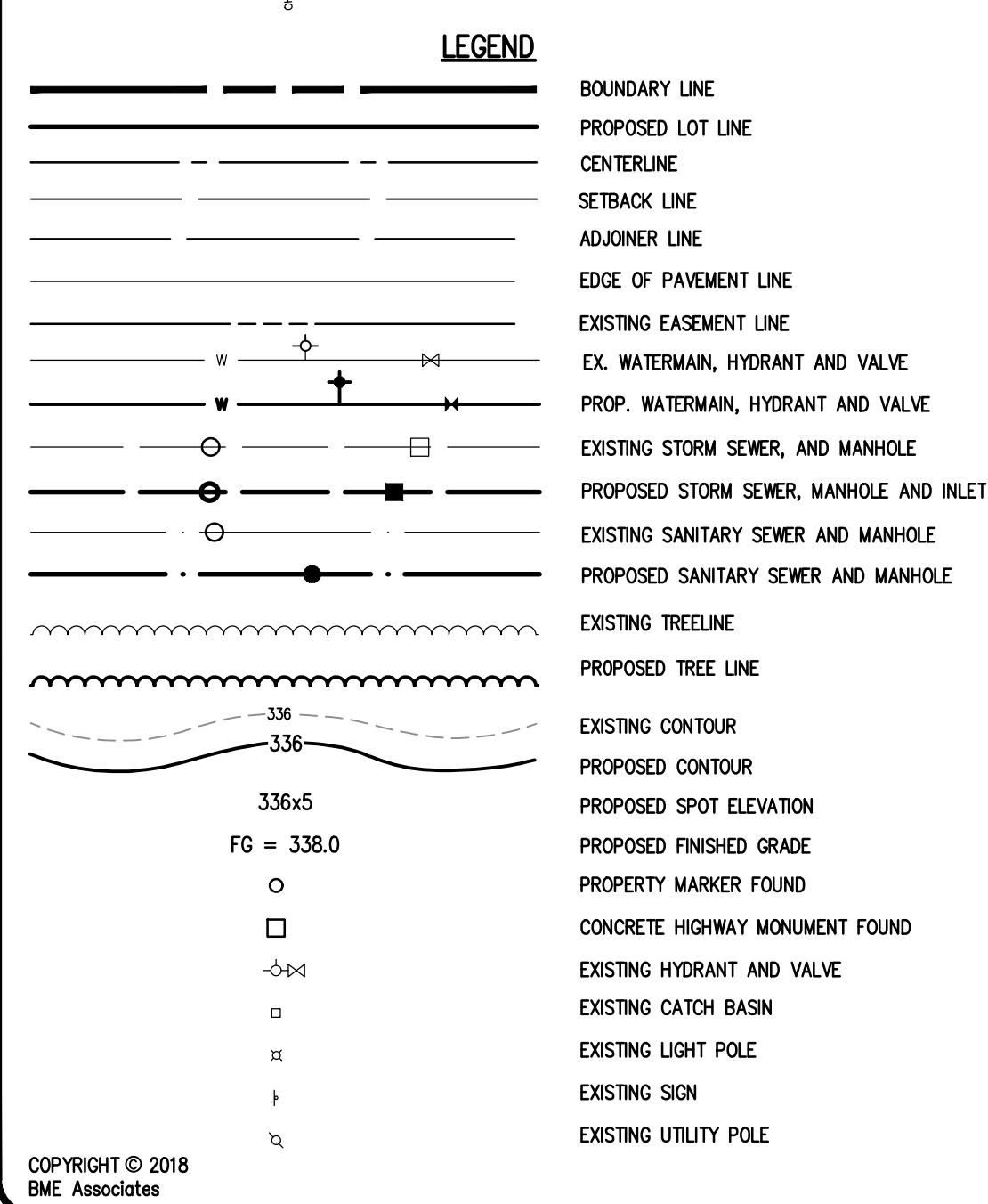
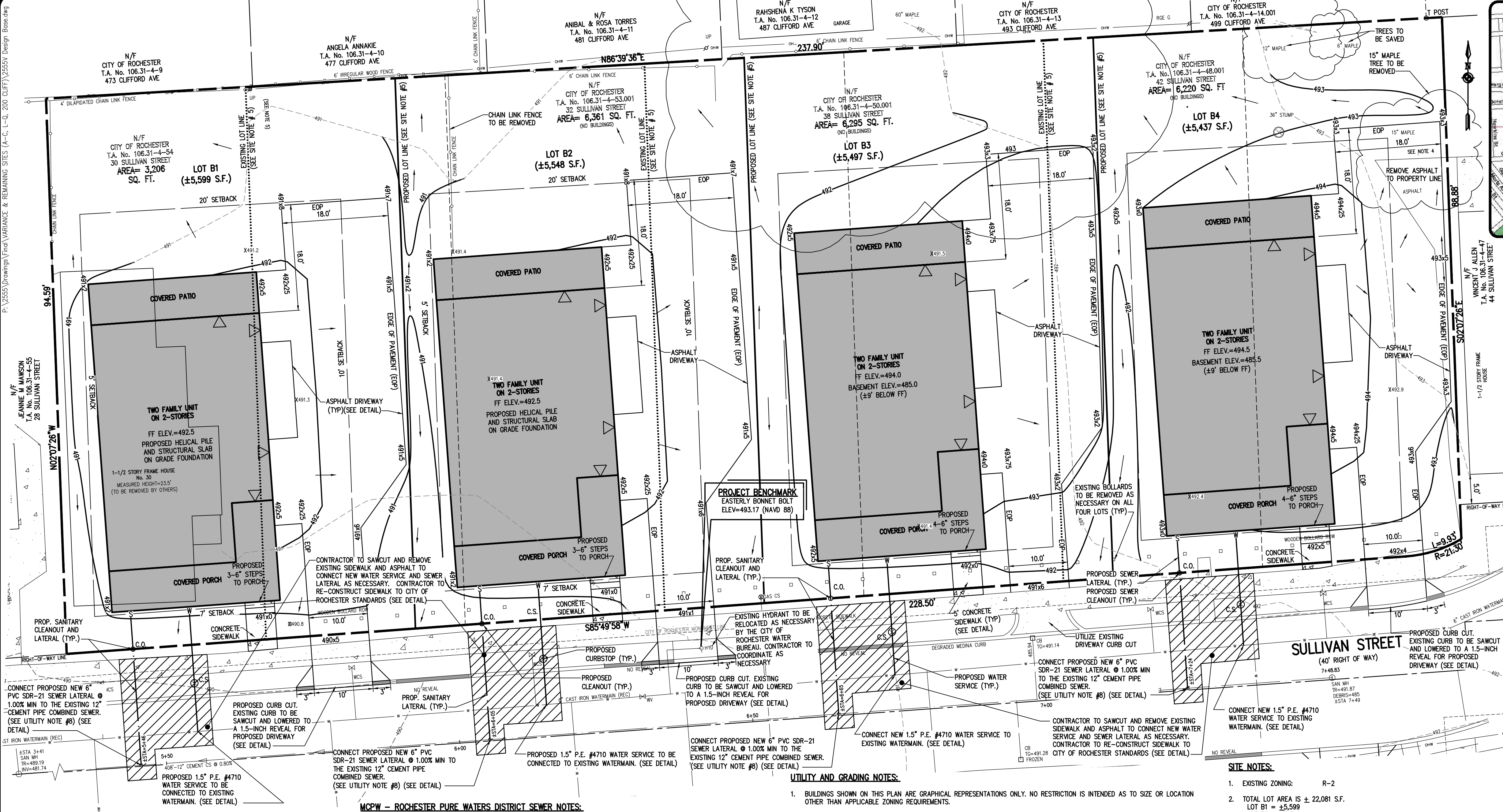
REVISIONS	DATE	BY
1	8/14/18	FAS
2		
3		
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5		
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ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
PHONE 585-377-7360
10 LIFT BRIDGE LANE EAST
ROCHESTER, NY 14610
WWW.BME-CCON.COM



PUEBLO NUEVO HOUSING
FINAL
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
IBERO AMERICA DEVELOPMENT
54 CLIFFORD AVE
ROCHESTER, NY 14621
PLOT PLAN - SITE A (LOTS A1 - A3)
54 SULLIVAN ST. & 62 SULLIVAN ST.

PROJECT	LOCATION	CLIENT	DRAWING TITLE
PROJECT MANAGER	JL SWEDROCK	PROJECT ENGINEER	FA SHELLEY
DRAWN BY	FA SHELLEY	SCALE	DATE ISSUED
1"=10'	MARCH 2018	PROJECT NO.	2555
DRAWING NO.	04F		



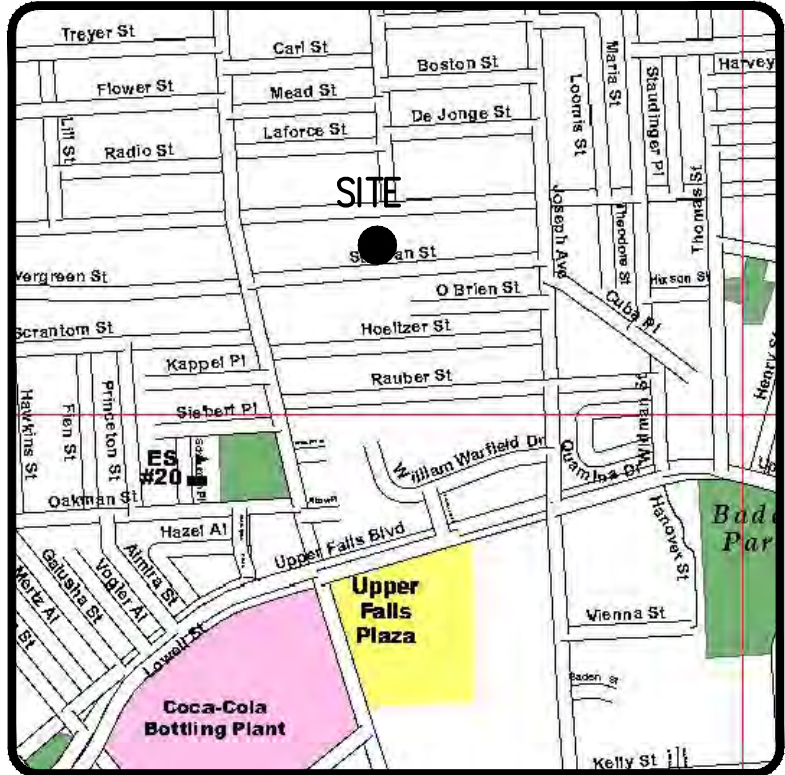
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- FLOOR DRAINS IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR MONROE COUNTY SEWER USE LAW.
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- PARCEL B1 AND B2 HAVE BEEN IDENTIFIED WITH POTENTIAL SOIL CONTAMINATION. HOUSE TO BE CONSTRUCTED WITH HELICAL PILES AND A STRUCTURAL SLAB ON GRADE

LOT DIMENSIONS ARE AS FOLLOWS:		ROCHESTER PURE WATERS DISTRICT:			
		REQUIRED	PROPOSED LOT B1	PROPOSED LOT B2	PROPOSED LOT B3
MIN. LOT AREA	6,000 SF		±5,599 SF	±5,548 SF	±5,497 SF
MIN. LOT FRONTAGE	41' (AVG. BLOCK FRONTAGE)		±59.5'	±59.5'	±59.9'
SETBACKS					
FRONT YARD	AVG. BLDG. DEPTH OR 20'		AVG. BLOCK=7'	AVG. BLOCK=7'	AVG. BLOCK=7'
SIDE YARD	5' MIN		>5'	>5'	>5'
REAR YARD	15' TOTAL		>15' TOTAL	>15' TOTAL	>15' TOTAL
MAX. BLDG. HEIGHT	20' OR EXISTING		>20'	>20'	>20'
MAX. LOT COVERAGE	2.5 STORIES/35'		2 STY. / ±29'	2 STY. / ±29'	2 STY. / ±30'
	50%		±53%	±53%	±54%
* MINIMUM LOT AREA VARIANCE WILL BE REQUESTED ON EACH LOT (PER CHAPTER 120-20.8.(1)(b)(1))					
** MAXIMUM LOT COVERAGE VARIANCE WILL BE REQUESTED ON EACH LOT (PER CHAPTER 120-20.8.(1)(b)(2))					
4. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.					
5. THE EXISTING PARCELS NEED TO BE ADMINISTRATIVELY RE-SUBDIVIDED INTO FOUR LOTS BY THE CITY OF ROCHESTER.					



- REFERENCES:**
- A PLAN ENTITLED "MAP OF A SUBDIVISION OF LOT 12 AND PORTION OF L13 OF THE LEE TRACT IN THE CITY OF ROCHESTER 1873," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 3 OF MAPS, PAGE 58.
 - CITY OF ROCHESTER DISTRICT 14, MAP 17 & 18.
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 - FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY NO. 360431, MAP NO. 36055C02116, EFFECTIVE DATE AUGUST 28, 2008.
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SEE BME DRAWING NUMBER 2555-27F, 28F AND 29F FOR STANDARD DETAILS

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REVISIONS	DATE	BY
1	8/14/18	FAS
2		
3		
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5		
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7		

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ROCHESTER, NY 14609
WWW.BME-CC.COM
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FAX 585-577-7369

PUEBLO NUEVO HOUSING
FINAL
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
IBERO MEDICAL DEVELOPMENT
30 CLIFFORD AVE
ROCHESTER, NY 14621

PLOT PLAN - SITE B (LOTS B1-B4)
30 SULLIVAN ST., 32 SULLIVAN ST., 38 SULLIVAN ST., & 42 SULLIVAN ST.

PROJECT MANAGER
JL SWEDROCK
PROJECT ENGINEER
FA SHELLEY
DRAWN BY
FA SHELLEY
SCALE
1"=10'
DATE ISSUED
MARCH 2018
DRAWING NO.
2555
05F

T.A. NUMBERS 106.31-4-53.001, 106.31-4-50.001, & 106.31-4-48.1

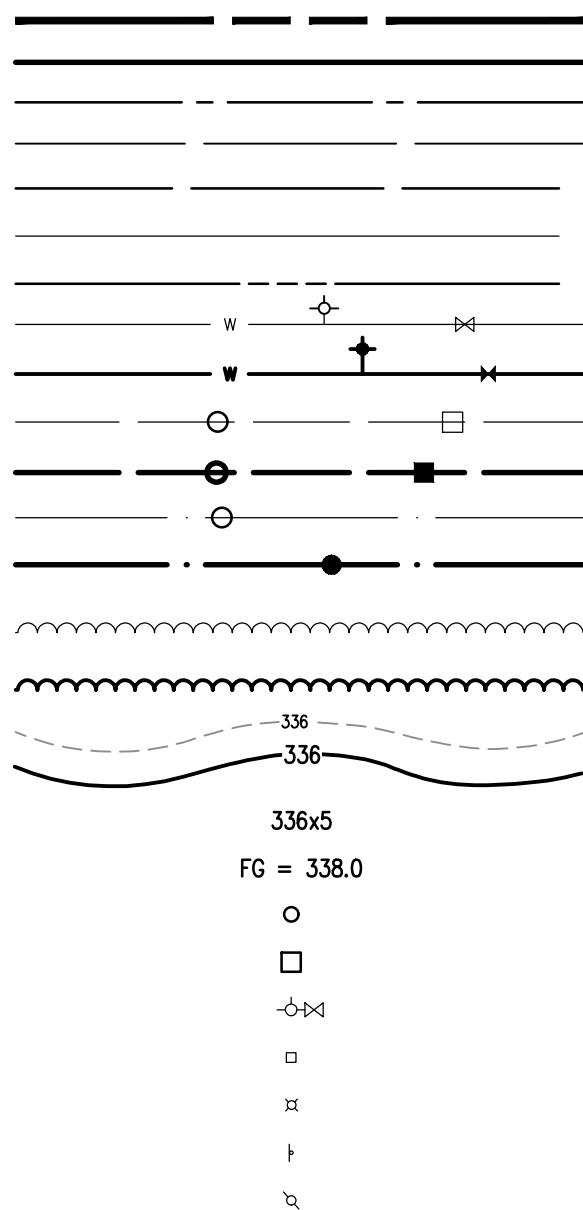
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- ANY PORTION OF A SEWER/LATERAL WITH LESS THAN FOUR-FEET (4') OF COVER WILL REQUIRE CONCRETE ENCASEMENT. SEWERS/LATERALS WITH LESS THAN THREE-FEET (3') OF COVER ARE NOT ALLOWED.
- THE REQUIREMENTS OF THE HIGHWAY/PROPERTY OWNER SHALL BE ADHERED TO FOR ITEMS ABOVE THE PIPE BEDDING, INCLUDING, BUT NOT LIMITED TO, MAINTENANCE AND PROTECTION OF TRAFFIC, BACKFILL MATERIAL AND SURFACE RESTORATION.
- ALL EXISTING AND/OR PROPOSED EASEMENTS AND/OR RIGHT-OF-WAYS (ROW) ARE TO BE STAKED OUT IN THE FIELD BY AN ENGINEER/SURVEYOR PRIOR TO THE START OF ANY SITE CONSTRUCTION/EXCAVATION AND MAINTAINED DURING COURSE OF THE PROJECT TO ENSURE THE PURE WATERS LOT LINE CLEAN OUTS ON THE BUILDING LATERALS ARE PROPERLY PLACED AND THAT NO PERMANENT AND/OR NONPERMANENT STRUCTURES ARE INSTALLED WITHIN EASEMENTS AND/OR ROW. IT IS THE OWNER'S OR THEIR AGENT'S RESPONSIBILITY TO STAKE OUT ALL EASEMENTS. THIS WILL NOT BE THE RESPONSIBILITY OF THE RPWD.

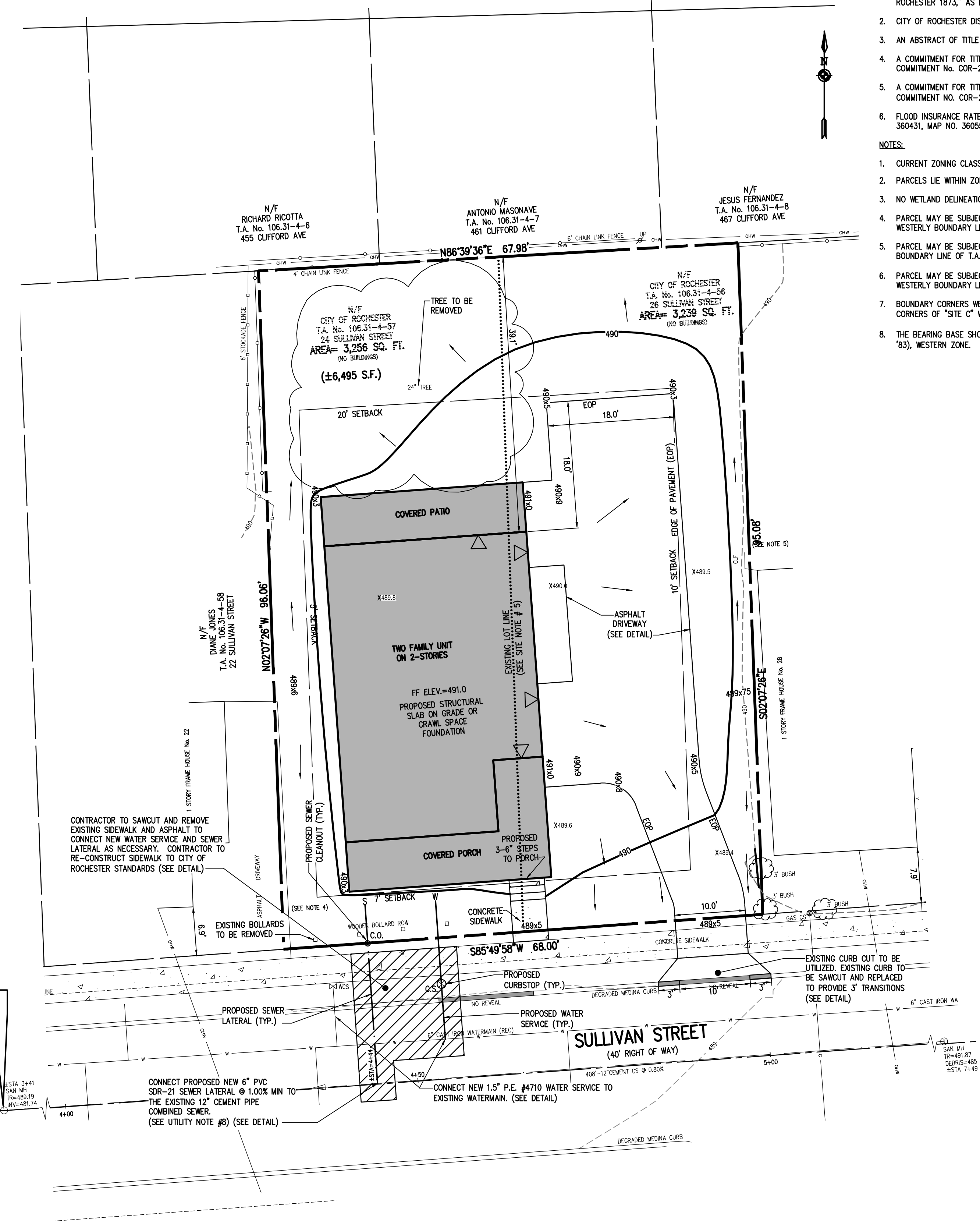
SEE BME DRAWING NUMBER
2555-27F, 28F AND 29F
FOR STANDARD DETAILS

LEGEND



- BOUNDARY LINE
- PROPOSED LOT LINE
- CENTERLINE
- SETBACK LINE
- ADJOINER LINE
- EDGE OF PAVEMENT LINE
- EXISTING EASEMENT LINE
- EX. WATERMAIN, HYDRANT AND VALVE
- PROP. WATERMAIN, HYDRANT AND VALVE
- EXISTING STORM SEWER, AND MANHOLE
- PROPOSED STORM SEWER, MANHOLE AND INLET
- EXISTING SANITARY SEWER AND MANHOLE
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING TREELINE
- PROPOSED TREE LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED FINISHED GRADE
- PROPERTY MARKER FOUND
- CONCRETE HIGHWAY MONUMENT FOUND
- EXISTING HYDRANT AND VALVE
- EXISTING CATCH BASIN
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING UTILITY POLE

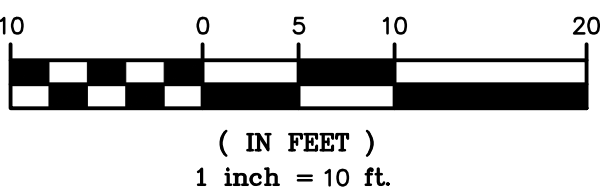
PROJECT BENCHMARK
TOP OF RIM SANITARY
MANHOLE @ ± STA 3+41
ELEV=489.19 (NAVD 88)



NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

GRAPHIC SCALE



REFERENCES:

- A PLAN ENTITLED "MAP OF A SUBDIVISION OF LOT 12 AND PORTION OF L13 OF THE LEE TRACT IN THE CITY OF ROCHESTER 1873," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 3 OF MAPS, PAGE 58.
- CITY OF ROCHESTER DISTRICT 14, MAP 17 & 18.
- AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.
- A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT NO. COR-217-21053, EFFECTIVE DATE MARCH 2, 2017.
- A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT NO. COR-217-21053-(A), EFFECTIVE DATE JULY 7, 2017.
- FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY NO. 360431, MAP NO. 36055C0211G, EFFECTIVE DATE AUGUST 28, 2008.

NOTES:

- CURRENT ZONING CLASSIFICATION: R-2
- PARCELS LIE WITHIN ZONE X PER REFERENCE 6.
- NO WETLAND DELINEATION MARKERS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE ASPHALT DRIVEWAY ALONG THE WESTERLY BOUNDARY LINE OF T.A. No. 106.31-4-57 AS SHOWN HEREON.
- PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE CHAIN LINK FENCE ALONG THE EASTERLY BOUNDARY LINE OF T.A. No. 106.31-4-56 AS SHOWN HEREON.
- PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE 6" STOCKADE FENCE ALONG THE WESTERLY BOUNDARY LINE OF T.A. No. 106.31-4-57 AS SHOWN HEREON.
- BOUNDARY CORNERS WERE NOT SET IN THE PROCESS OF CONDUCTING THE FIELDWORK. EXTERIOR BOUNDARY CORNERS OF "SITE C" WILL BE SET WITH CAPPED 5/8" REBAR PRIOR TO ISSUANCE OF FINAL SURVEY MAPS.
- THE BEARING BASE SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD '83), WESTERN ZONE.

SITE NOTES:

- EXISTING ZONING: R-2
- TOTAL LOT AREA IS ± 6,495 S.F.
- PROPOSED USE: ONE-TWO STORY DUPLEX UNIT (2-3 BEDROOM UNITS) [2 UNITS TOTAL]
- LOT DIMENSIONS ARE AS FOLLOWS:

	REQUIRED	PROPOSED
MIN. LOT AREA	6,000 SF	6,495 SF
MIN. LOT FRONTAGE	41' (AVERAGE BLOCK FRONTAGE)	68'
SETBACKS		
FRONT YARD	AVG. BLDG. DEPTH OR 20'	AVG. BLOCK=7'
SIDE YARD	5' MIN	>5'
REAR YARD	15' TOTAL	>15' TOTAL
MAX. BLDG. HEIGHT	20' OR EXISTING	>20'
MAX. LOT COVERAGE	2.5 STORIES / 35'	2 STY. / ±30'
	50%	45%

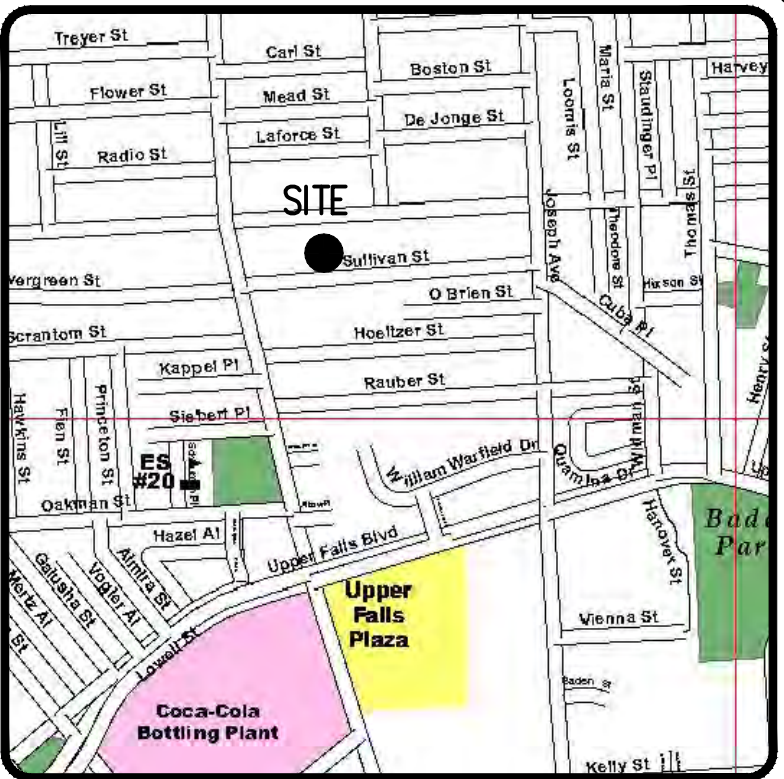
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
- THE EXISTING PARCELS NEED TO BE ADMINISTRATIVELY RE-SUBDIVIDED INTO ONE LOT BY THE CITY OF ROCHESTER.

UTILITY AND GRADING NOTES:

- BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY. NO RESTRICTION IS INTENDED AS TO SIZE OR LOCATION OTHER THAN APPLICABLE ZONING REQUIREMENTS.
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER, THE APPROPRIATE AGENCIES (IE, MONROE COUNTY PURE WATERS, AND THE MONROE COUNTY HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
- THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
- EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, A FIELD SURVEY NEEDS TO BE COMPLETED AND THE CONTRACTOR SHALL CALL THE UPO HOTLINE AT 1(800)962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
- ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS.
WATER: 1 INCH (MIN) PE #4710 FROM THE CURB BOX TO THE METER, WITH TRACER WIRE.
SEWER: 6" PVC SDR-21 @ 1% MIN SLOPE COMBINED SANITARY AND STORM SEWER LATERAL
EXTEND LATERALS TO 10 FEET BEYOND THE RIGHT-OF-WAY, OR 10 FEET BEYOND THE EASEMENT LINES, WHICHEVER IS GREATER.
- CONTRACTOR TO PERFORM EXPLORATORY EXCAVATIONS TO LOCATE EXISTING SANITARY SEWER LATERALS AS NECESSARY. IF EXISTING SANITARY LATERALS ARE LOCATED THE CONTRACTOR SHOULD REVIEW THE CONDITION OF THE EXISTING SANITARY SEWER LATERAL WITH THE DEVELOPER AND MCPW. IF A SANITARY LATERAL IS NOT FOUND, THE CONTRACTOR SHOULD INSTALL A NEW 6" PVC SEWER LATERAL AS SHOWN ON THE PLANS ACCORDING TO MCPW REQUIREMENTS.
- THE OWNER AND THE CONTRACTOR SHALL HAVE COMPLETE KNOWLEDGE OF THE CURRENT BLASTING POLICY FOR THE CITY OF ROCHESTER, AND THEY WILL CONFORM TO THIS POLICY AT ALL TIMES.
- THE HOME BUILDER SHALL BE RESPONSIBLE FOR IMPLEMENTING INDIVIDUAL LOT EROSION CONTROL MEASURES FOR INDIVIDUAL HOUSE CONSTRUCTION. THE MEASURES ARE TO REMAIN IN PLACE UNTIL HOUSE CONSTRUCTION IS COMPLETE AND THE LAWN IS ESTABLISHED.
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, 585-428-6848.
- A PERMIT FOR THE WATER SERVICE INSTALLATION IS TO BE OBTAINED BY A PLUMBER, LICENSED BY THE CITY OF ROCHESTER. A PERMIT MAY BE OBTAINED THROUGH THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, CITY HALL, 30 CHURCH STREET, ROOM 121B, 585-428-6848.
- APPROXIMATE BEDROCK ELEVATION IS ±483.5 BASED ON FOUNDATION DESIGN, P.C.'S DECEMBER 2017 GEOTECHNICAL EVALUATION REPORT FOR THE PUEBLO NUEVO HOUSING.
- PARCEL C HAS BEEN IDENTIFIED WITH SHALLOW BEDROCK. HOUSE TO BE CONSTRUCTED WITH A CRAWL SPACE OR STRUCTURAL SLAB ON GRADE

ROCHESTER PURE WATERS DISTRICT:

PROJECT	LOCATION	CLIENT	DRAWING TITLE
PUEBLO NUEVO HOUSING	CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE	IBERO-MERCADO DEVELOPMENT 300 CLIFFORD AVE ROCHESTER, NY 14621	24 SULLIVAN ST. & 26 SULLIVAN ST.
PROJECT MANAGER	PROJECT ENGINEER	FA SHELLEY	DATE ISSUED
JL SWEDROCK	FA SHELLEY	FA SHELLEY	MARCH 2018
SCALE	1"=10'	PROJECT NO.	2555
DRAWING NO.	06F		



LOCATION MAP
NOT TO SCALE

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "Altered By" followed by his signature and the date of such alteration, and a specific description of the alteration."

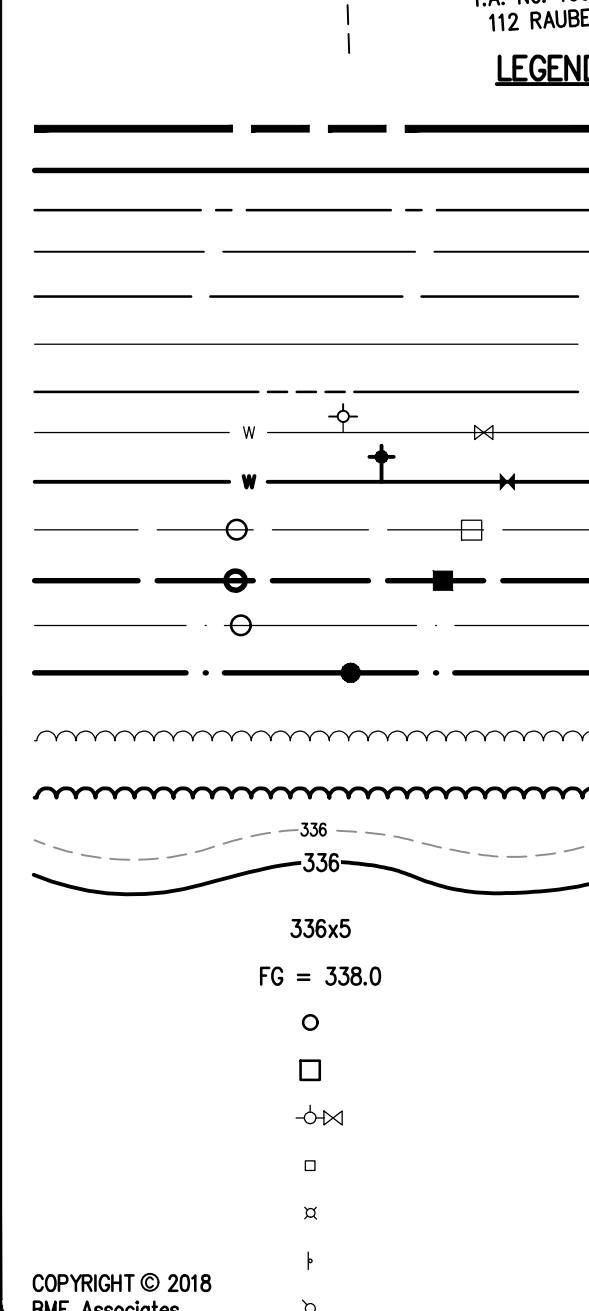
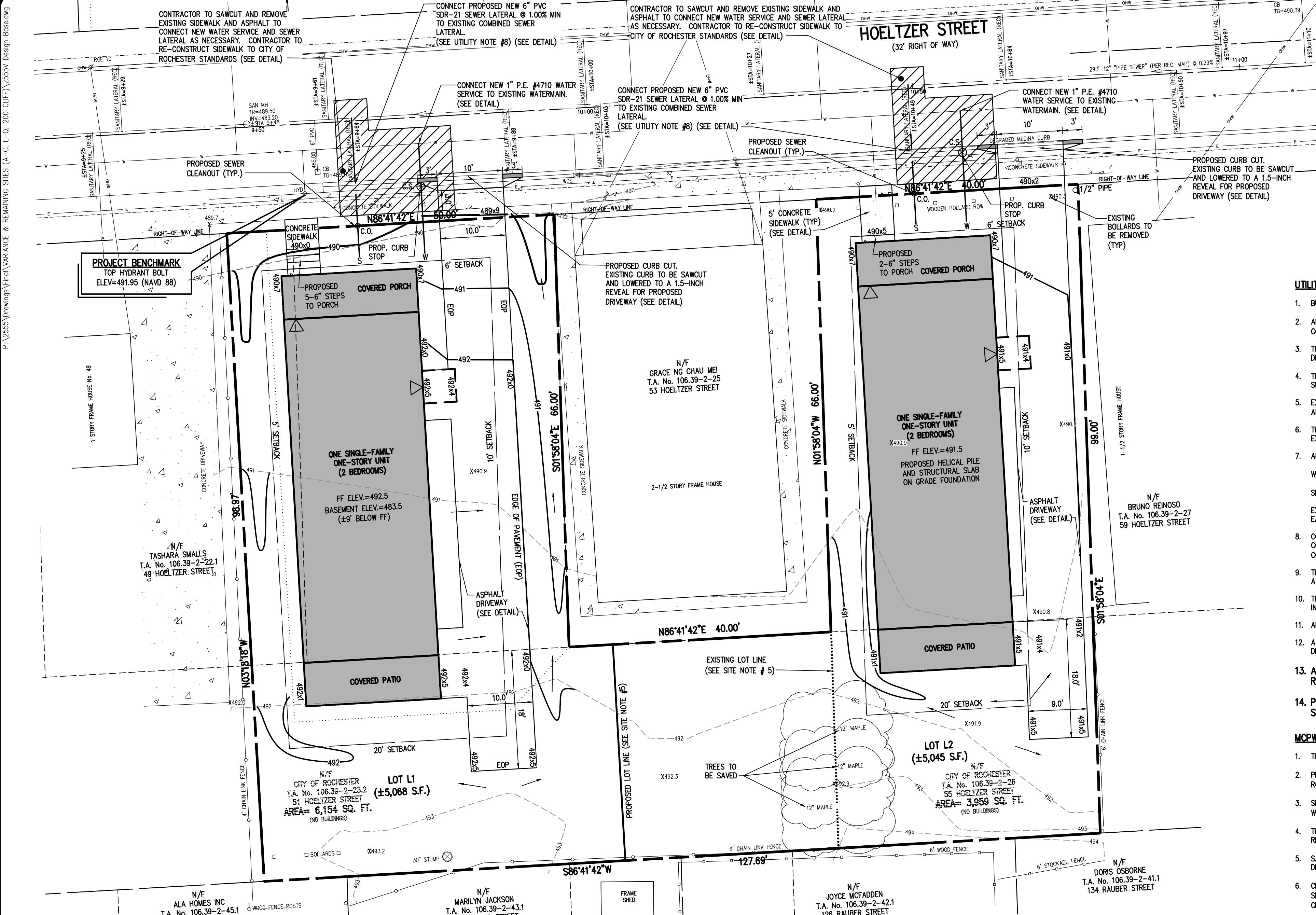
REVISIONS	DATE	BY
1	8/14/18	FAS
2		
3		
4		
5		
6		
7		

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIFT BRIDGE LANE EAST
ROCHESTER, NEW YORK 14650
WWW.BMEKYCON.COM
PHONE 585-377-7360
FAX 585-377-7369

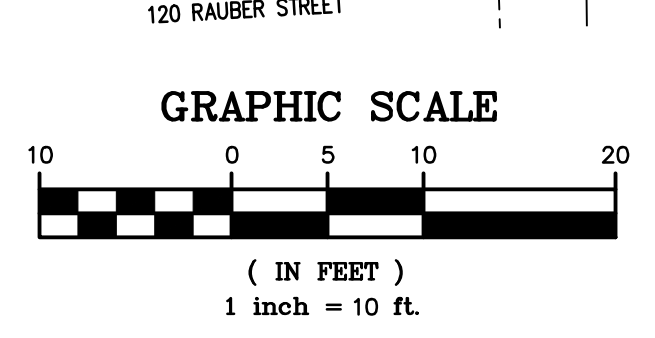


PUEBLO NUEVO HOUSING
FINAL
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
IBERO-MERCADO DEVELOPMENT
300 CLIFFORD AVE
ROCHESTER, NY 14621
PLOT PLAN - SITE C
24 SULLIVAN ST. & 26 SULLIVAN ST.

PROJECT MANAGER
JL SWEDROCK
PROJECT ENGINEER
FA SHELLEY
DRAWN BY
FA SHELLEY
SCALE
1"=10"
DATE ISSUED
MARCH 2018
PROJECT NO.
2555
DRAWING NO.
06F



BOUNDARY LINE
PROPOSED LOT LINE
CENTERLINE
SETBACK LINE
ADJOINER LINE
EDGE OF PAVEMENT LINE
EXISTING EASEMENT LINE
EX. WATERMAIN, HYDRANT AND VALVE
PROP. WATERMAIN, HYDRANT AND VALVE
EXISTING STORM SEWER, AND MANHOLE
PROPOSED STORM SEWER, MANHOLE AND INLET
EXISTING SANITARY SEWER AND MANHOLE
PROPOSED SANITARY SEWER AND MANHOLE
EXISTING TREELINE
PROPOSED TREE LINE
EXISTING CONTOUR
PROPOSED CONTOUR
PROPOSED SPOT ELEVATION
PROPOSED FINISHED GRADE
PROPERTY MARKER FOUND
CONCRETE HIGHWAY MONUMENT FOUND
EXISTING HYDRANT AND VALVE
EXISTING CATCH BASIN
EXISTING LIGHT POLE
EXISTING SIGN
EXISTING UTILITY POLE



- SITE NOTES:**
- EXISTING ZONING: R-2
 - TOTAL LOT AREA IS $\pm 10,113$ S.F.
 LOT L1 = $\pm 5,068$ S.F.
 LOT L2 = $\pm 5,045$ S.F.
- PROPOSED USE: TWO-ONE STORY SINGLE FAMILY UNITS (1-2 BEDROOM UNIT) [2 UNITS TOTAL]
- LOT DIMENSIONS ARE AS FOLLOWS:
- | | <u>REQUIRED</u> | <u>PROPOSED LOT L1</u> | <u>PROPOSED LOT L2</u> |
|-------------------|------------------------------|------------------------|------------------------|
| MIN. LOT AREA | 5,000 SF | 5,068 SF | 5,045 SF |
| MIN. LOT FRONTAGE | 47' (AVERAGE BLOCK FRONTAGE) | 50' (EXISTING) | 40' (EXISTING) |
| SETBACKS | | | |
| FRONT YARD | AVG. BLDG. DEPTH OR 20' | AVG. BLOCK=6' | AVG. BLOCK=6' |
| SIDE YARD | 5' MIN | >5' | >5' |
| | 15' TOTAL | >15' TOTAL | >15' TOTAL |
| REAR YARD | 20' OR EXISTING | >20' | >20' |
| MAX BLDG. HEIGHT | 2.5 STORIES / 35' | 2 STY. / $\pm 29'$ | 2 STY. / $\pm 28'$ |
| MAX. LOT COVERAGE | 50% | 46% | 45% |
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
 - THE EXISTING PARCELS SHALL BE ADMINISTRATIVELY RE-SUBDIVIDED INTO TWO LOTS BY THE CITY OF ROCHESTER.

	REQUIRED 5,068 SF 47' (AVERAGE BLOCK FRONTAGE)	PROPOSED LOT L1 5,068 SF 50' (EXISTING)	PROPOSED LOT L2 5,046 SF 40' (EXISTING)
MIN. LOT AREA			
MIN. LOT FRONTAGE			
SETBACKS			
FRONT YARD	AVG. BLDG. DEPTH OR 20'	AVG. BLOCK=6'	AVG. BLOCK=6'
SIDE YARD	5' MIN	>5'	>5'
	15' TOTAL	>15' TOTAL	>15' TOTAL
REAR YARD	>20' OR EXISTING	>20'	>20'
MAX BLDG. HEIGHT	2.5 STORIES / 35'	2.5 STY. / ±29'	2 STY. / ±28'
MAX LOT COVERAGE	50%	46%	45%

- REFERENCES:
1. A PLAN ENTITLED "SUBDIVISION OF LOT NO. 4 AND PART OF LOT NO. 5 OF THE LEE TRACT IN THE CITY OF ROCHESTER," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 3 OF MAPS, PAGE 95.
 2. A PLAN ENTITLED "RESUBDIVISION MAP OF 31, 33, 35, & 37 HOELTZER ST., BEING LOTS 1 & 2 OF THE HOELTZER SUB IN LOTS 14 & 15 OF THE F.C. LAUER SUB, IN LOTS 15 & 16 OF THE LEE TRACT (EAST PART)," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 281 OF MAPS, PAGE 72.
 3. CITY OF ROCHESTER DISTRICT 14, MAP 17 & 18.
 4. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.
 5. A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT NO. COR-217-21053, EFFECTIVE DATE MARCH 2, 2017.
 6. A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT NO. COR-217-21053-(A), EFFECTIVE DATE JULY 7, 2017.
 7. FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY NO. 360431, MAI NO. 36055002116, EFFECTIVE DATE AUGUST 28, 2008.
- NOTES:
1. CURRENT ZONING CLASSIFICATION: R-2
 2. PARCELS LIE WITHIN ZONE X PER REFERENCE 7.
 3. NO WETLAND DELINEATION MARKERS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
 4. BOUNDARY CORNERS WERE NOT SET IN THE PROCESS OF CONDUCTING THE FIELDWORK. EXTERIOR BOUNDARY CORNERS OF "A" LOT WILL BE SET WITH CAPPED 5/8" REBAR PRIOR TO ISSUANCE OF FINAL SURVEY MAPS.
 5. THE BEARING BASE SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD '83), WESTERN ZONE.

UTILITY AND GRADING NOTES:

NOT TO SCALE

1. BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY. NO RESTRICTION IS INTENDED AS TO SIZE OR LOCATION OTHER THAN APPLICABLE ZONING REQUIREMENTS.

2. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER, THE APPROPRIATE AGENCIES (IE, MONROE COUNTY PURE WATERS, AND THE MONROE COUNTY HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.

3. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.

4. THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.

5. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, A FIELD SURVEY NEEDS TO BE COMPLETED AND THE CONTRACTOR SHALL CALL THE UFPO HOTLINE AT (800)962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.

6. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.

7. ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS.

WATER: 1 INCH (MIN) PE #4710 FROM THE CURB BOX TO THE METER, WITH TRACER WIRE.

SEWER: 6" PVC SDR-21 @ 1% MIN SLOPE COMBINED SANITARY AND STORM SEWER LATERAL

EXTEND LATERALS TO 10 FEET BEYOND THE RIGHT-OF-WAY, OR 10 FEET BEYOND THE EASEMENT LINES, WHICHEVER IS GREATER.

8. CONTRACTOR TO PERFORM EXPLORATORY EXCAVATIONS TO LOCATE EXISTING SANITARY SEWER LATERALS AS NECESSARY. IF EXISTING SANITARY LATERALS ARE LOCATED THE CONTRACTOR SHOULD REVIEW THE CONDITION OF THE EXISTING SANITARY SEWER LATERAL WITH THE DEVELOPER AND MCPWF. IF A SANITARY LATERAL IS NOT FOUND, THE CONTRACTOR SHOULD INSTALL A NEW 6" PVC SEWER LATERAL AS SHOWN ON THE PLANS ACCORDING TO MCPWF REQUIREMENTS.

9. THE OWNER AND THE CONTRACTOR SHALL HAVE COMPLETE KNOWLEDGE OF THE CURRENT BLASTING POLICY FOR THE CITY OF ROCHESTER, AND THEY WILL CONFORM TO THIS POLICY AT ALL TIMES.

10. THE HOME BUILDER SHALL BE RESPONSIBLE FOR IMPLEMENTING INDIVIDUAL LOT EROSION CONTROL MEASURES FOR INDIVIDUAL HOUSE CONSTRUCTION. THE MEASURES ARE TO REMAIN IN PLACE UNTIL HOUSE CONSTRUCTION IS COMPLETE AND THE LAWN IS ESTABLISHED.

11. ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, 585-428-6848.

12. A PERMIT FOR THE WATER SERVICE INSTALLATION IS TO BE OBTAINED BY A PLUMBER, LICENSED BY THE CITY OF ROCHESTER. A PERMIT MAY BE OBTAINED THROUGH THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, CITY HALL, 30 CHURCH STREET, ROOM 1218, 585-428-6848.

13. APPROXIMATE BEDROCK ELEVATION IS ± 480.6 TO ± 482.2 BASED ON FOUNDATION DESIGN, P.C.'S DECEMBER 2017 GEOTECHNICAL EVALUATION REPORT FOR THE PUEBLO NUEVO HOUSING.

14. PARCEL L2 HAS BEEN IDENTIFIED WITH POTENTIAL SOIL CONTAMINATION. HOUSE TO BE CONSTRUCTED WITH HELICAL PILES AND A STRUCTURAL SLAB ON GRADE

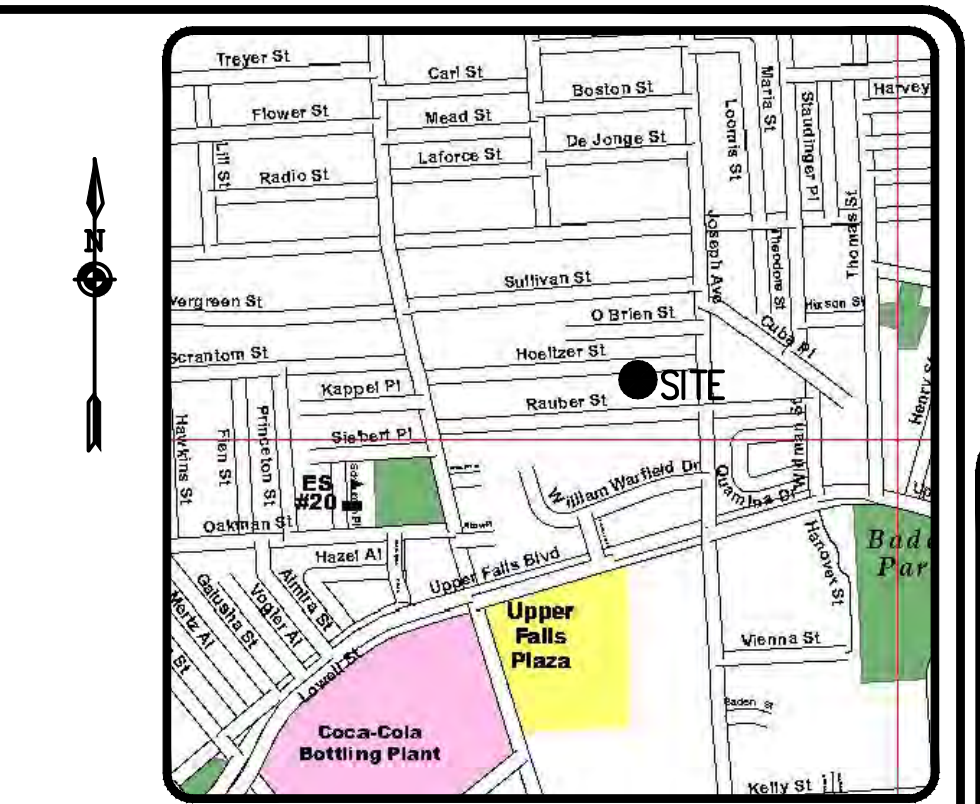
MCPW – MONROE PURE WATERS DISTRICT SEWER NOTES:

1. THIS PLAN REQUIRES APPROVAL AND ISSUANCE OF A PLUMBING PERMIT FROM THE CITY OF ROCHESTER PLUMBING DEPARTMENT.
2. PRIOR TO CONSTRUCTION, A SEWER CONNECTION PERMIT MUST BE OBTAINED FROM THE MONROE COUNTY PURE WATERS (MCPW) PERMIT OFFICE AT 145 PAUL ROAD, BUILDING 11, ROCHESTER, NY 14624, PHONE # 753-7600 (OPT. 5).
3. SEWER CONNECTION PERMIT(S) CAN ONLY BE ISSUED TO A PLUMBER LICENSED IN THE CITY OF ROCHESTER AND WHO IS FULLY INSURED AND BONDED IN THE ROCHESTER PURE WATERS DISTRICT (RPWD). PAYMENT (CHECK OR MONEY ORDER TO 'RPWD') OF ALL APPLICABLE PERMIT FEES MUST BE PAID PRIOR TO PERMIT ISSUANCE.
4. THE RPWD SHALL BE NOTIFIED FORTY-EIGHT HOURS IN ADVANCE OF A CONNECTION OR TAP. [753-7600 (OPT. 5)]. THE CONTRACTOR SHALL MAKE ALL REQUIRED TAPS TO THE RPWD SEWERS. ALL TAPS AND CONNECTIONS TO DISTRICT UTILITIES SHALL BE WITNESSED BY A DISTRICT INSPECTOR.
5. SANITARY/STORM/COMBINATION SEWER LATERAL(S) AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE ROCHESTER PURE WATERS DISTRICT. ALL NEW CONNECTIONS SHALL BE INSPECTED BY A REPRESENTATIVE OF THE DISTRICT.
6. CLEANOUTS SHALL BE INSTALLED ON ALL 4" AND 6" DIAMETER SEWER LATERALS AT THE RIGHT-OF-WAY (ROW) LINE, OR THE SEWER EASEMENT LINE WHERE APPLICABLE. (THE SEWER EASEMENT, RIGHT-OF-WAY AND/OR PROPERTY LINE MUST BE STAKED OUT PRIOR TO INSTALLATION OF LOT LINE CLEANOUTS TO ENSURE PROPER LOCATION OF THE CLEANOUTS. [REFER TO CLEANOUT DETAIL FOR PROPER INSTALLATION]).
7. IF AN EXISTING LATERAL IS TO BE UTILIZED, THE PLUMBER/CONTRACTOR MUST ENSURE THAT THE LATERAL IS IN GOOD CONDITION AND IS FREE OF DEBRIS (DIRT, MUD, STONE, ROOTS, ETC.) VIA A VIDEO TAPED INSPECTION PERFORMED BY THE PLUMBER/CONTRACTOR OR HIS/HER/ THEIR AGENT. **PRIOR TO CONNECTION**, THE VIDEO TAPED INSPECTION OF THE EXISTING LATERAL MUST BE PRESENTED TO THE DISTRICT FOR REVIEW AND APPROVAL TO UTILIZE AN EXISTING LATERAL. IT IS THE RESPONSIBILITY OF THE BUILDER OR THEIR AGENT TO CLEAN AND/OR REPLACE THE PIPE/LATERAL AS NEEDED.
8. ANY NEW PORTION OF A SEWER LATERAL INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY AND SEWER EASEMENT MUST BE SDR-21 PVC.
9. ANY EXISTING LATERALS NOT UTILIZED MUST BE ABANDONED TO MONROE COUNTY PURE WATERS (MCPW) STANDARDS AT THE PROPERTY LINE OR, WHERE APPLICABLE, THE SEWER EASEMENT LINE.
10. FLOOR DRAINS IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. **NOTE:** ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR MONROE COUNTY SEWER USE LAW.
11. ANY PORTION OF A SEWER/LATERAL WITH LESS THAN FOUR-FEET (4') OF COVER WILL REQUIRE CONCRETE ENCASEMENT. SEWERS/LATERALS WITH LESS THAN THREE-FEET (3') OF COVER ARE NOT ALLOWED.
12. THE REQUIREMENTS OF THE HIGHWAY PROPERTY OWNER SHALL BE ADHERED TO FOR ITEMS ABOVE THE PIPE BEDDING, INCLUDING, BUT NOT LIMITED TO, MAINTENANCE AND PROTECTION OF TRAFFIC, BACKFILL MATERIAL AND SURFACE RESTORATION.
13. ALL EXISTING AND/OR PROPOSED EASEMENTS AND/OR RIGHT-OF-WAYS (ROW) ARE TO BE STAKED OUT IN THE FIELD BY AN ENGINEER/SURVEYOR PRIOR TO THE START OF ANY SITE CONSTRUCTION/EXCAVATION AND MAINTAINED DURING COURSE OF THE PROJECT TO ENSURE THE PURE WATERS LOT LINE CLEAN OUTS ON THE BUILDING LATERALS ARE PROPERLY PLACED AND THAT NO PERMANENT AND/OR NONPERMANENT STRUCTURES ARE INSTALLED WITHIN EASEMENTS AND/OR ROW. IT IS THE OWNER'S OR THEIR AGENT'S RESPONSIBILITY TO STAKE OUT ALL EASEMENTS. THIS WILL **NOT** BE THE RESPONSIBILITY OF THE RPWD.

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

SEE BME DRAWING NUMBER
2555-27F, 28F AND 29F
FOR STANDARD DETAILS



LOCATION MAP
NOT TO SCALE

NOT TO SCALE
ON OTHER THAN APPLICABLE

Drawing Alteration

The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:

"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered by the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description

7				
6				
5				
4				
3				
2				
1	REVISIONS PER CITY AGENCY COMMENTS	8/14/18	FAS	
	REVISIONS	DATE	BY	

BME ASSOCIATES
ENGINEERS • SURVIVORS • LANDSCAPE ARCHITECTS

10, 1017 BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
PHONE 585-377-7360
FAX 585-377-7360
WWW.BMEPC.COM



PROJECT	PUEBLO NUEVO HOUSING
LOCATION	FINAL
CLIENT	CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE IBERO-AMERICAN DEVELOPMENT 954 CLIFFORD AVE ROCHESTER, NY 14621
DRAWING TITLE	PLOT PLAN -- SITE L (LOTS L1 AND L2) 51 HOELTZER ST. & 55 HOELTZER ST.

T.A. NUMBERS 106.39-2-23.002 & 106.39-2-13

PROJECT MANAGER	
JL SWEDROCK	
PROJECT ENGINEER	
FA SHELLEY	
DRAWN BY	
FA SHELLEY	
SCALE	DATE ISSUED
1"=10'	MARCH 2018
PROJECT NO.	
2555	
DRAWING NO.	
15F	

MCPW – ROCHESTER PURE WATERS DISTRICT SEWER NOTES:

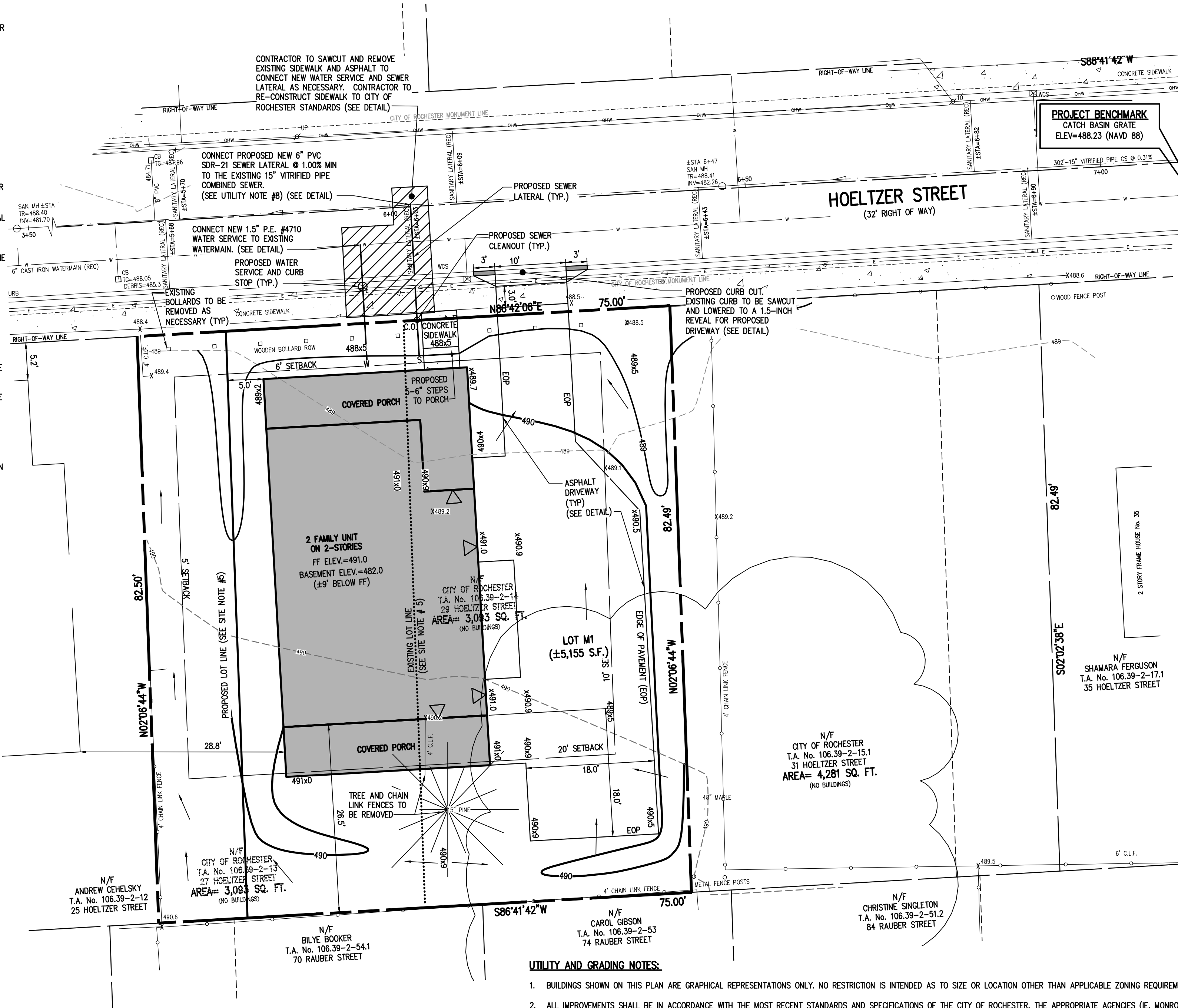
- THIS PLAN REQUIRES APPROVAL AND ISSUANCE OF A PLUMBING PERMIT FROM THE CITY OF ROCHESTER PLUMBING DEPARTMENT.
- PRIOR TO CONSTRUCTION, A SEWER CONNECTION PERMIT MUST BE OBTAINED FROM THE MONROE COUNTY PURE WATERS (MCPW) PERMIT OFFICE AT 145 PAUL ROAD, BUILDING 11, ROCHESTER, NY 14624, PHONE # 753-7600 (OPT. 5).
- SEWER CONNECTION PERMIT(S) CAN ONLY BE ISSUED TO A PLUMBER LICENSED IN THE CITY OF ROCHESTER AND WHO IS FULLY INSURED AND BONDED IN THE ROCHESTER PURE WATERS DISTRICT (RPWD). PAYMENT (CHECK OR MONEY ORDER TO RPWD) OF ALL APPLICABLE PERMIT FEES MUST BE PAID PRIOR TO PERMIT ISSUANCE.
- THE RPWD SHALL BE NOTIFIED FORTY-EIGHT HOURS IN ADVANCE OF A CONNECTION OR TAP. [753-7600 (OPT. 5)]. THE CONTRACTOR SHALL MAKE ALL REQUIRED TAPS TO THE RPWD SEWERS. ALL TAPS AND CONNECTIONS TO DISTRICT UTILITIES MUST BE WITNESSED BY A DISTRICT INSPECTOR.
- SANITARY/STORM/COMBINATION SEWER LATERAL(S) AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE ROCHESTER PURE WATERS DISTRICT. ALL NEW CONNECTIONS SHALL BE INSPECTED BY A REPRESENTATIVE OF THE DISTRICT.
- CLEANOUTS SHALL BE INSTALLED ON ALL 4" AND 6" DIAMETER SEWER LATERALS AT THE RIGHT-OF-WAY (ROW) LINE, OR THE SEWER EASEMENT LINE WHERE APPLICABLE. (THE SEWER EASEMENT, RIGHT-OF-WAY AND/OR PROPERTY LINE MUST BE STAKED OUT PRIOR TO INSTALLATION OF LOT LINE CLEANOUTS TO ENSURE PROPER LOCATION OF THE CLEANOUTS. [REFER TO CLEANOUT DETAIL FOR PROPER INSTALLATION]).
- IF AN EXISTING LATERAL IS TO BE UTILIZED, THE PLUMBER/CONTRACTOR MUST ENSURE THAT THE LATERAL IS IN GOOD CONDITION AND IS FREE OF DEBRIS (DIRT, MUD, STONE, ROOTS, ETC.) VIA A VIDEO TAPED INSPECTION PERFORMED BY THE PLUMBER/CONTRACTOR OR HIS/HER/THEIR AGENT. PRIOR TO CONNECTION, THE VIDEO TAPED INSPECTION OF THE EXISTING LATERAL MUST BE PRESENTED TO THE DISTRICT FOR REVIEW AND APPROVAL TO UTILIZE AN EXISTING LATERAL. IT IS THE RESPONSIBILITY OF THE BUILDER OR THEIR AGENT TO CLEAN AND/OR REPLACE THE PIPE/LATERAL AS NEEDED.
- ANY NEW PORTION OF A SEWER LATERAL INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY AND SEWER EASEMENT MUST BE SDR-21 PVC.
- ANY EXISTING LATERALS NOT UTILIZED MUST BE ABANDONED TO MONROE COUNTY PURE WATERS (MCPW) STANDARDS AT THE PROPERTY LINE OR, WHERE APPLICABLE, THE SEWER EASEMENT LINE.
- FLOOR DRAINS IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR MONROE COUNTY SEWER USE LAW.
- ANY PORTION OF A SEWER/LATERAL WITH LESS THAN FOUR-FEET (4') OF COVER WILL REQUIRE CONCRETE ENCASUREMENT. SEWERS/LATERALS WITH LESS THAN THREE-FEET (3') OF COVER ARE NOT ALLOWED.
- THE REQUIREMENTS OF THE HIGHWAY/PROPERTY OWNER SHALL BE ADHERED TO FOR ITEMS ABOVE THE PIPE BEDDING, INCLUDING, BUT NOT LIMITED TO, MAINTENANCE AND PROTECTION OF TRAFFIC, BACKFILL MATERIAL AND SURFACE RESTORATION.
- ALL EXISTING AND/OR PROPOSED EASEMENTS AND/OR RIGHT-OF-WAYS (ROW) ARE TO BE STAKED OUT IN THE FIELD BY AN ENGINEER/SURVEYOR PRIOR TO THE START OF ANY SITE CONSTRUCTION/EXCAVATION AND MAINTAINED DURING COURSE OF THE PROJECT TO ENSURE THE PURE WATERS LOT LINE CLEAN OUTS ON THE BUILDING LATERALS ARE PROPERLY PLACED AND THAT NO PERMANENT AND/OR NONPERMANENT STRUCTURES ARE INSTALLED WITHIN EASEMENTS AND/OR ROW. IT IS THE OWNER'S OR THEIR AGENT'S RESPONSIBILITY TO STAKE OUT ALL EASEMENTS. THIS WILL NOT BE THE RESPONSIBILITY OF THE RPWD.

SEE BME DRAWING NUMBER
2555-27F, 28F AND 29F
FOR STANDARD DETAILS

LEGEND

	BOUNDARY LINE
	PROPOSED LOT LINE
	CENTERLINE
	SETBACK LINE
	ADJOINER LINE
	EDGE OF PAVEMENT LINE
	EXISTING EASEMENT LINE
	EX. WATERMAIN, HYDRANT AND VALVE
	PROP. WATERMAIN, HYDRANT AND VALVE
	EXISTING STORM SEWER, AND MANHOLE
	PROPOSED STORM SEWER, MANHOLE AND INLET
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER AND MANHOLE
	EXISTING TREELINE
	PROPOSED TREE LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED FINISHED GRADE
	PROPERTY MARKER FOUND
	CONCRETE HIGHWAY MONUMENT FOUND
	EXISTING HYDRANT AND VALVE
	EXISTING CATCH BASIN
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING UTILITY POLE

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BME Associates



UTILITY AND GRADING NOTES:

- BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY. NO RESTRICTION IS INTENDED AS TO SIZE OR LOCATION OTHER THAN APPLICABLE ZONING REQUIREMENTS.
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER, THE APPROPRIATE AGENCIES (IE, MONROE COUNTY PURE WATERS, AND THE MONROE COUNTY HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
- THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
- EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, A FIELD SURVEY NEEDS TO BE COMPLETED AND THE CONTRACTOR SHALL CALL THE UPDO HOTLINE AT (800)962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
- ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS.
WATER: 1 INCH (MIN) PE #4710 FROM THE CURB BOX TO THE METER, WITH TRACER WIRE.
SEWER: 6" PVC SDR-21 @ 1% MIN SLOPE COMBINED SANITARY AND STORM SEWER LATERAL.
EXTEND LATERALS TO 10 FEET BEYOND THE RIGHT-OF-WAY, OR 10 FEET BEYOND THE EASEMENT LINES, WHICHEVER IS GREATER.
- CONTRACTOR TO PERFORM EXPLORATORY EXCAVATIONS TO LOCATE EXISTING SANITARY SEWER LATERALS AS NECESSARY. IF EXISTING SANITARY LATERALS ARE LOCATED THE CONTRACTOR SHOULD REVIEW THE CONDITION OF THE EXISTING SANITARY SEWER LATERAL WITH THE DEVELOPER AND MCPW. IF A SANITARY LATERAL IS NOT FOUND, THE CONTRACTOR SHOULD INSTALL A NEW 6" PVC SEWER LATERAL AS SHOWN ON THE PLANS ACCORDING TO MCPW REQUIREMENTS.
- THE OWNER AND THE CONTRACTOR SHALL HAVE COMPLETE KNOWLEDGE OF THE CURRENT BLASTING POLICY FOR THE CITY OF ROCHESTER, AND THEY WILL CONFORM TO THIS POLICY AT ALL TIMES.
- THE HOME BUILDER SHALL BE RESPONSIBLE FOR IMPLEMENTING INDIVIDUAL LOT EROSION CONTROL MEASURES FOR INDIVIDUAL HOUSE CONSTRUCTION. THE MEASURES ARE TO REMAIN IN PLACE UNTIL HOUSE CONSTRUCTION IS COMPLETE AND THE LAWN IS ESTABLISHED.
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, 585-428-6848.
- A PERMIT FOR THE WATER SERVICE INSTALLATION IS TO BE OBTAINED BY A PLUMBER, LICENSED BY THE CITY OF ROCHESTER. A PERMIT MAY BE OBTAINED THROUGH THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, CITY HALL, 30 CHURCH STREET, ROOM 121B, 585-428-6848.
- APPROXIMATE BEDROCK ELEVATION IS ±481.0 TO ±487.5 BASED ON FOUNDATION DESIGN, P.C.'S DECEMBER 2017 GEOTECHNICAL EVALUATION REPORT FOR THE PUEBLO NUEVO HOUSING.

SITE NOTES:

- EXISTING ZONING: R-2
- TOTAL LOT AREA IS ± 10,467 S.F.
LOT M1 = ± 5155 S.F.
PROPOSED USE: LOT M1 – ONE-TWO STORY DUPLEX UNITS (1-2 BEDROOM UNITS)
[3 UNITS TOTAL]
- LOT DIMENSIONS ARE AS FOLLOWS:

	REQUIRED	PROPOSED LOT M1
MIN. LOT AREA	6,000 SF (2 FAMILY)	±5,155 S.F.
MIN. LOT FRONTAGE	47' (AVERAGE BLOCK FRONTAGE)	±63
SETBACKS		
FRONT YARD	AVG. BLDG. DEPTH OR 20'	AVG. BLOCK=6'
SIDE YARD	5' MIN	>5'
REAR YARD	15' TOTAL	>15' TOTAL
MAX. BLDG. HEIGHT	20' OR EXISTING	>20'
MAX. LOT COVERAGE	2.5 STORIES / 35'	1.5 STY. / ±24'
	50%	±56%

* MINIMUM LOT AREA VARIANCE WILL BE REQUESTED ON EACH LOT (PER CHAPTER 120-20.8.(1)(b)(1))
** MAXIMUM LOT COVERAGE VARIANCE WILL BE REQUESTED ON LOT M1 (PER CHAPTER 120-20.8.(1)(b)(2))
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
- THE EXISTING PARCELS NEED TO BE ADMINISTRATIVELY RE-SUBDIVIDED INTO TWO LOTS BY THE CITY OF ROCHESTER.

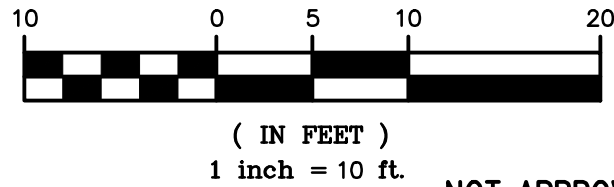
REFERENCES:

- A PLAN ENTITLED "SUBDIVISION OF LOT No. 4 AND PART OF LOT No. 5 OF THE LEE TRACT IN THE CITY OF ROCHESTER," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 3 OF MAPS, PAGE 95.
- A PLAN ENTITLED "RESUBDIVISION MAP OF 31, 33, 35, & 37 HOELTZER ST., BEING LOTS 1 & 2 OF THE HOELTZER SUB. & LOTS 14 & 15 OF THE F.C. LAUER SUB. IN LOTS 15 & 16 OF THE LEE TRACT (EAST PART)," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 281 OF MAPS, PAGE 72.
- CITY OF ROCHESTER DISTRICT 14, MAP 17 & 18.
- AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.
- A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT No. COR-217-21053, EFFECTIVE DATE MARCH 2, 2017.
- A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT No. COR-217-21053-(A), EFFECTIVE DATE JULY 7, 2017.
- FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY NO. 360431, MAP NO. 3605SC0211G, EFFECTIVE DATE AUGUST 28, 2008.

NOTES:

- CURRENT ZONING CLASSIFICATION: R-2
- PARCELS LIE WITHIN ZONE X PER REFERENCE 7.
- NO WETLAND DELINEATION MARKERS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- BOUNDARY CORNERS WERE NOT SET IN THE PROCESS OF CONDUCTING THE FIELDWORK. EXTERIOR BOUNDARY CORNERS OF "SITE M" WILL BE SET WITH CAPPED 5/8" REBAR PRIOR TO ISSUANCE OF FINAL SURVEY MAPS.
- THE BEARING BASE SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD '83), WESTERN ZONE.

GRAPHIC SCALE

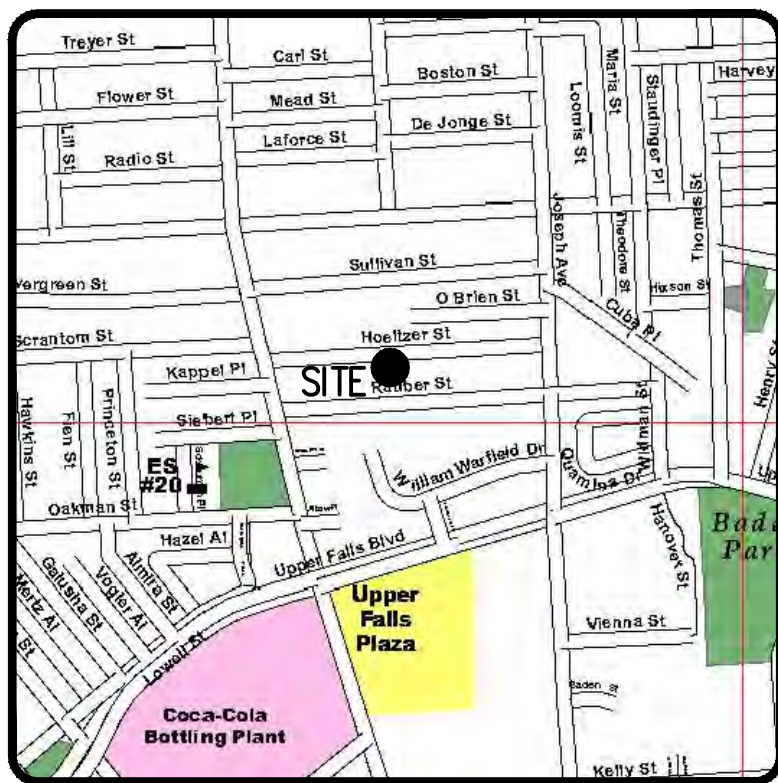


NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

ROCHESTER PURE WATERS DISTRICT:

PROJECT	
LOCATION	
CLIENT	
DRAWING TITLE	
PROJECT MANAGER	
PROJECT ENGINEER	
FA SHELLEY	
DRAWN BY	
FA SHELLEY	
SCALE	DATE ISSUED
1"=10'	MARCH 2018
PROJECT NO.	
2555	
DRAWING NO.	
16F	



LOCATION MAP
NOT TO SCALE

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
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REVISIONS	DATE	BY
7		
6		
5		
4		
3		
2		
1	8/14/18	FAS

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIFT BRIDGE LANE EAST
ROCHESTER, NEW YORK 14650
WWW.BME-CC.COM
PHONE 585-577-7360
FAX 585-577-7369



PUEBLO NUEVO HOUSING
FINAL
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
IBERO AMERICA DEVELOPMENT
CORPORATION
ROCHESTER, NY 14621
PLOT PLAN – SITE M (LOTS M1)
27 HOELTZER ST. & 29 HOELTZER ST.

PROJECT
LOCATION
CLIENT
DRAWING TITLE
PROJECT MANAGER
PROJECT ENGINEER
FA SHELLEY
DRAWN BY
FA SHELLEY
SCALE
DATE ISSUED
1"=10'
MARCH 2018
PROJECT NO.
2555
DRAWING NO.
16F

T.A. NUMBERS 106.39-2-13, 106.39-2-14 & 106.39-2-15.001

MCPW - ROCHESTER PURE WATERS DISTRICT SEWER NOTES:

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2. PRIOR TO CONSTRUCTION, A SEWER CONNECTION PERMIT MUST BE OBTAINED FROM THE MONROE COUNTY PURE WATERS (MCPW) PERMIT OFFICE AT 145 PAUL ROAD, BUILDING 11, ROCHESTER, NY 14624, PHONE # 753-7600 (OPT. 5).
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5. SANITARY/STORM/COMBINATION SEWER LATERAL(S) AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE ROCHESTER PURE WATERS DISTRICT. ALL NEW CONNECTIONS SHALL BE INSPECTED BY A REPRESENTATIVE OF THE DISTRICT.
6. CLEANOUTS SHALL BE INSTALLED ON ALL 4" AND 6" DIAMETER SEWER LATERALS AT THE RIGHT-OF-WAY (ROW) LINE, OR THE SEWER EASEMENT LINE WHERE APPLICABLE. (THE SEWER EASEMENT, RIGHT-OF-WAY AND/OR PROPERTY LINE MUST BE STAKED OUT PRIOR TO INSTALLATION OF LOT LINE CLEANOUTS TO ENSURE PROPER LOCATION OF THE CLEANOUTS. [REFER TO CLEANOUT DETAIL FOR PROPER INSTALLATION]).
7. IF AN EXISTING LATERAL IS TO BE UTILIZED, THE PLUMBER/CONTRACTOR MUST ENSURE THAT THE LATERAL IS IN GOOD CONDITION AND IS FREE OF DEBRIS (DIRT, MUD, STONE, ROOTS, ETC.) VIA A VIDEO TAPED INSPECTION PERFORMED BY THE PLUMBER/CONTRACTOR OR HIS/HER/THEIR AGENT. PRIOR TO CONNECTION, THE VIDEO TAPED INSPECTION OF THE EXISTING LATERAL MUST BE PRESENTED TO THE DISTRICT FOR REVIEW AND APPROVAL TO UTILIZE AN EXISTING LATERAL. IT IS THE RESPONSIBILITY OF THE BUILDER OR THEIR AGENT TO CLEAN AND/OR REPLACE THE PIPE/LATERAL AS NEEDED.
8. ANY NEW PORTION OF A SEWER LATERAL INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY AND SEWER EASEMENT MUST BE SDR-21 PVC.
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10. FLOOR DRAINS IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR MONROE COUNTY SEWER USE LAW.
11. ANY PORTION OF A SEWER/LATERAL WITH LESS THAN FOUR-FEET (4') OF COVER WILL REQUIRE CONCRETE ENCASEMENT. SEWERS/LATERALS WITH LESS THAN THREE-FEET (3') OF COVER ARE NOT ALLOWED.
12. THE REQUIREMENTS OF THE HIGHWAY/PROPERTY OWNER SHALL BE ADHERED TO FOR ITEMS ABOVE THE PIPE BEDDING, INCLUDING, BUT NOT LIMITED TO, MAINTENANCE AND PROTECTION OF TRAFFIC, BACKFILL MATERIAL AND SURFACE RESTORATION.
13. ALL EXISTING AND/OR PROPOSED EASEMENTS AND/OR RIGHT-OF-WAYS (ROW) ARE TO BE STAKED OUT IN THE FIELD BY AN ENGINEER/SURVEYOR PRIOR TO THE START OF ANY SITE CONSTRUCTION/EXCAVATION AND MAINTAINED DURING COURSE OF THE PROJECT TO ENSURE THE PURE WATERS LOT LINE CLEAN OUTS ON THE BUILDING LATERALS ARE PROPERLY PLACED AND THAT NO PERMANENT AND/OR NONPERMANENT STRUCTURES ARE INSTALLED WITHIN EASEMENTS AND/OR ROW. IT IS THE OWNER'S OR THEIR AGENT'S RESPONSIBILITY TO STAKE OUT ALL EASEMENTS. THIS WILL NOT BE THE RESPONSIBILITY OF THE RPWD.

SEE BME DRAWING NUMBER
2555-27F, 28F AND 29F
FOR STANDARD DETAILS

LEGEND

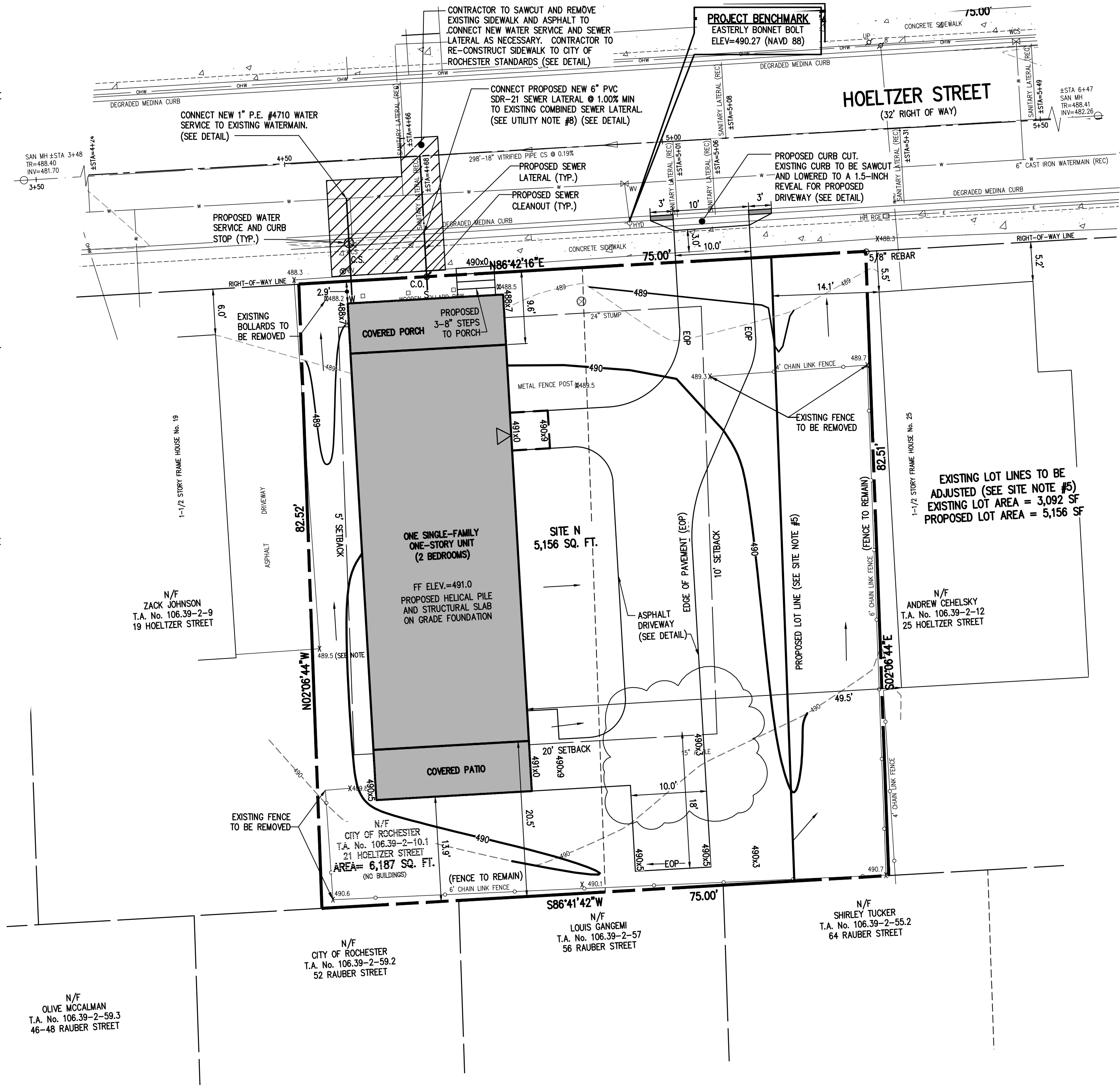
	BOUNDARY LINE
	PROPOSED LOT LINE
	CENTERLINE
	SETBACK LINE
	ADJOINER LINE
	EDGE OF PAVEMENT LINE
	EXISTING EASEMENT LINE
	EX. WATERMAIN, HYDRANT AND VALVE
	PROP. WATERMAIN, HYDRANT AND VALVE
	EXISTING STORM SEWER, AND MANHOLE
	PROPOSED STORM SEWER, MANHOLE AND INLET
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER AND MANHOLE
	EXISTING TREELINE
	PROPOSED TREE LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED FINISHED GRADE
	PROPERTY MARKER FOUND
	CONCRETE HIGHWAY MONUMENT FOUND
	EXISTING HYDRANT AND VALVE
	EXISTING CATCH BASIN
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING UTILITY POLE

REFERENCES:

1. A PLAN ENTITLED "SUBDIVISION OF LOT No. 4 AND PART OF LOT No. 5 OF THE LEE TRACT IN THE CITY OF ROCHESTER," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 3 OF MAPS, PAGE 95.
2. A PLAN ENTITLED "RESUBDIVISION MAP OF 31, 33, 35, & 37 HOELTZER ST., BEING LOTS 1 & 2 OF THE HOELTZER SUB. & LOTS 14 & 15 OF THE F.C. LAUER SUB. IN LOTS 15 & 16 OF THE LEE TRACT (EAST PART)," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 281 OF MAPS, PAGE 72.
3. CITY OF ROCHESTER DISTRICT 14, MAP 17 & 18.
4. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.
5. A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT No. COR-217-21053, EFFECTIVE DATE MARCH 2, 2017.
6. A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT No. COR-217-21053-(A), EFFECTIVE DATE JULY 7, 2017.
7. FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY NO. 360431, MAP NO. 36055C02116, EFFECTIVE DATE AUGUST 28, 2008.

NOTES:

1. CURRENT ZONING CLASSIFICATION: R-2
2. PARCELS LIE WITHIN ZONE X PER REFERENCE 7.
3. NO WETLAND DELINEATION MARKERS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
4. PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE ASPHALT DRIVEWAY ALONG THE WESTERLY BOUNDARY LINE AS SHOWN HEREON.
5. BOUNDARY CORNERS WERE NOT SET IN THE PROCESS OF CONDUCTING THE FIELDWORK. EXTERIOR BOUNDARY CORNERS OF "SITE N" MUST BE SET WITH CAPPED 5/8" REBAR PRIOR TO ISSUANCE OF FINAL SURVEY MAPS.
6. THE BEARING BASE SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD '83), WESTERN ZONE.



PROJECT BENCHMARK
EASTERLY BONNET BOLT
ELEV=490.27 (NAVD 88)

HOELTZER STREET
(32' RIGHT OF WAY)

EXISTING LOT LINES TO BE
ADJUSTED (SEE SITE NOTE #5)
EXISTING LOT AREA = 3,092 SF
PROPOSED LOT AREA = 5,156 SF

SITE NOTES:

1. EXISTING ZONING: R-2
2. TOTAL LOT AREA IS \pm 5,156 S.F.
PROPOSED USE: ONE-1 STORY SINGLE FAMILY RESIDENTIAL UNIT
3. LOT DIMENSIONS ARE AS FOLLOWS:

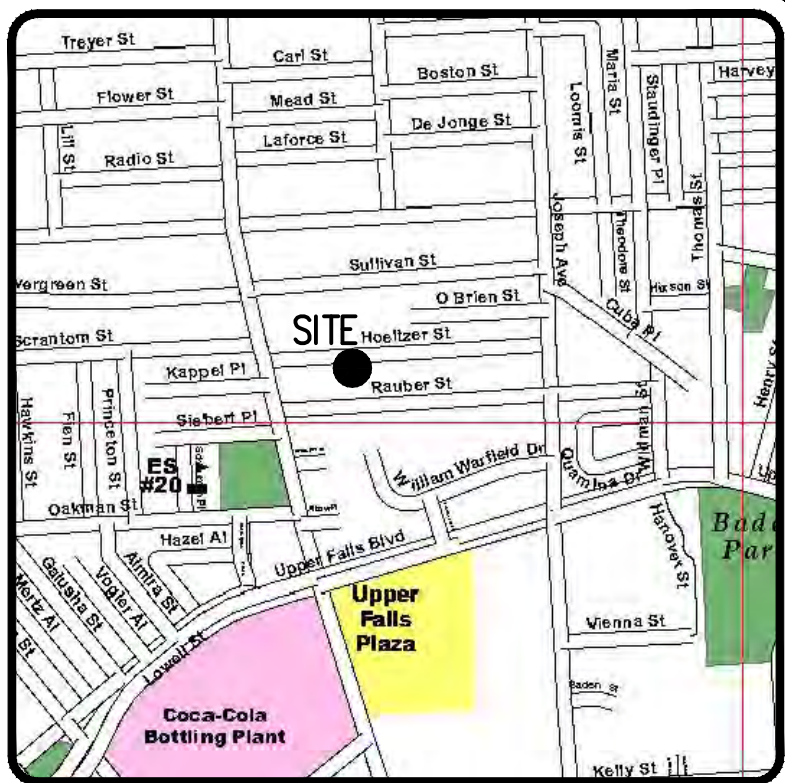
	REQUIRED	PROPOSED
MIN. LOT AREA	5,000 SF	5,156 SF
MIN. LOT FRONTAGE	47' (AVERAGE BLOCK FRONTAGE)	\pm 63'
SETBACKS		
FRONT YARD	AVG. BLDG. DEPTH OR 20'	AVG. BLOCK=6'
SIDE YARD	5' MIN	>5'
REAR YARD	15' TOTAL	>15' TOTAL
	20' OR EXISTING	>20'
MAX. LOT COVERAGE	50%	48%
MAX BLDG. HEIGHT	2.5 STORIES / 35'	1 STR / \pm 24'
4. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
5. LOTS LINES OF THE EXISTING NON-CONFORMING LOT OF 25 HOELTZER STREET (T.A. No. 106.39-2-12) TO BE ADJUSTED. THE EXISTING PARCELS NEED TO BE ADMINISTRATIVELY RE-SUBDIVIDED INTO TWO LOTS BY THE CITY OF ROCHESTER.

UTILITY AND GRADING NOTES:

1. BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY. NO RESTRICTION IS INTENDED AS TO SIZE OR LOCATION OTHER THAN APPLICABLE ZONING REQUIREMENTS.
2. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER, THE APPROPRIATE AGENCIES (IE, MONROE COUNTY PURE WATERS, AND THE MONROE COUNTY HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
4. THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
5. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, A FIELD SURVEY NEEDS TO BE COMPLETED AND THE CONTRACTOR SHALL CALL THE UPFO HOTLINE AT (800)962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
6. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
7. ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS.
WATER: 1 INCH (MIN) PE #4710 FROM THE CURB BOX TO THE METER, WITH TRACER WIRE.
SEWER: 6" PVC SDR-21 @ 1% MIN SLOPE COMBINED SANITARY AND STORM SEWER LATERAL.
EXTEND LATERALS TO 10 FEET BEYOND THE RIGHT-OF-WAY, OR 10 FEET BEYOND THE EASEMENT LINES, WHICHEVER IS GREATER.
8. CONTRACTOR TO PERFORM EXPLORATORY EXCAVATIONS TO LOCATE EXISTING SANITARY SEWER LATERALS AS NECESSARY. IF EXISTING SANITARY LATERALS ARE LOCATED THE CONTRACTOR SHOULD REVIEW THE CONDITION OF THE EXISTING SANITARY SEWER LATERAL WITH THE DEVELOPER AND MCPW. IF A SANITARY LATERAL IS NOT FOUND, THE CONTRACTOR SHOULD INSTALL A NEW 6" PVC SEWER LATERAL AS SHOWN ON THE PLANS ACCORDING TO MCPW REQUIREMENTS.
9. THE OWNER AND THE CONTRACTOR SHALL HAVE COMPLETE KNOWLEDGE OF THE CURRENT BLASTING POLICY FOR THE CITY OF ROCHESTER, AND THEY WILL CONFORM TO THIS POLICY AT ALL TIMES.
10. THE HOME BUILDER SHALL BE RESPONSIBLE FOR IMPLEMENTING INDIVIDUAL LOT EROSION CONTROL MEASURES FOR INDIVIDUAL HOUSE CONSTRUCTION. THE MEASURES ARE TO REMAIN IN PLACE UNTIL HOUSE CONSTRUCTION IS COMPLETE AND THE LAWN IS ESTABLISHED.
11. ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, 585-428-6848.
12. A PERMIT FOR THE WATER SERVICE INSTALLATION IS TO BE OBTAINED BY A PLUMBER, LICENSED BY THE CITY OF ROCHESTER. A PERMIT MAY BE OBTAINED THROUGH THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, CITY HALL, 30 CHURCH STREET, ROOM 121B, 585-428-6848.
13. APPROXIMATE BEDROCK ELEVATION IS \pm 482.5 BASED ON FOUNDATION DESIGN, P.C.'S DECEMBER 2017 GEOTECHNICAL EVALUATION REPORT FOR THE PUEBLO NUEVO HOUSING.
14. PARCEL N HAS BEEN IDENTIFIED WITH SHALLOW BEDROCK. HOUSE TO BE CONSTRUCTED WITH HELICAL PILES AND A STRUCTURAL SLAB ON GRADE

ROCHESTER PURE WATERS DISTRICT:

PROJECT	LOCATION	CLIENT	DRAWING TITLE
PROJECT MANAGER	JL SWEDROCK	PROJECT ENGINEER	FA SHELLEY
DRAWN BY	FA SHELLEY	SCALE	DATE ISSUED
1"=10'	MARCH 2018	PROJECT NO.	2555
DRAWING NO.	17F		



LOCATION MAP
NOT TO SCALE

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation 'altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

REVISIONS	DATE	BY
1	8/14/18	FAS
2		
3		
4		
5		
6		
7		

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIFT BRIDGE LANE EAST
ROCHESTER, NY 14650
PHONE: 585-377-7360
FAX: 585-377-7369
WWW.BME-CCON.COM



PUEBLO NUEVO HOUSING
FINAL
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
IBERO AMERICA DEVELOPMENT
CORPORATION
ROCHESTER, NY 14621
PLOT PLAN - SITE N
21 HOELTZER ST.

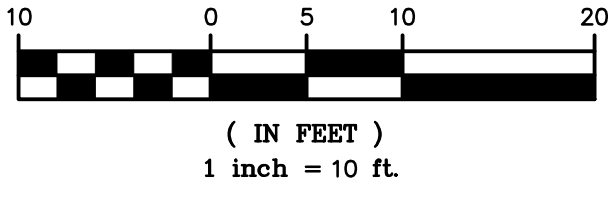
PROJECT
LOCATION
CLIENT
DRAWING TITLE

PROJECT MANAGER
JL SWEDROCK
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DRAWN BY
FA SHELLEY
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DATE ISSUED
1"=10' MARCH 2018
PROJECT NO.
2555
DRAWING NO.
17F

NOT APPROVED

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GRAPHIC SCALE



UTILITY AND GRADING NOTES:

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WATER: 1 INCH (MIN) PE #4710 FROM THE CURB BOX TO THE METER, WITH TRACER WIRE.

SEWER: 6" PVC SDR-21 @ 1% MIN SLOPE COMBINED SANITARY AND STORM SEWER LATERAL

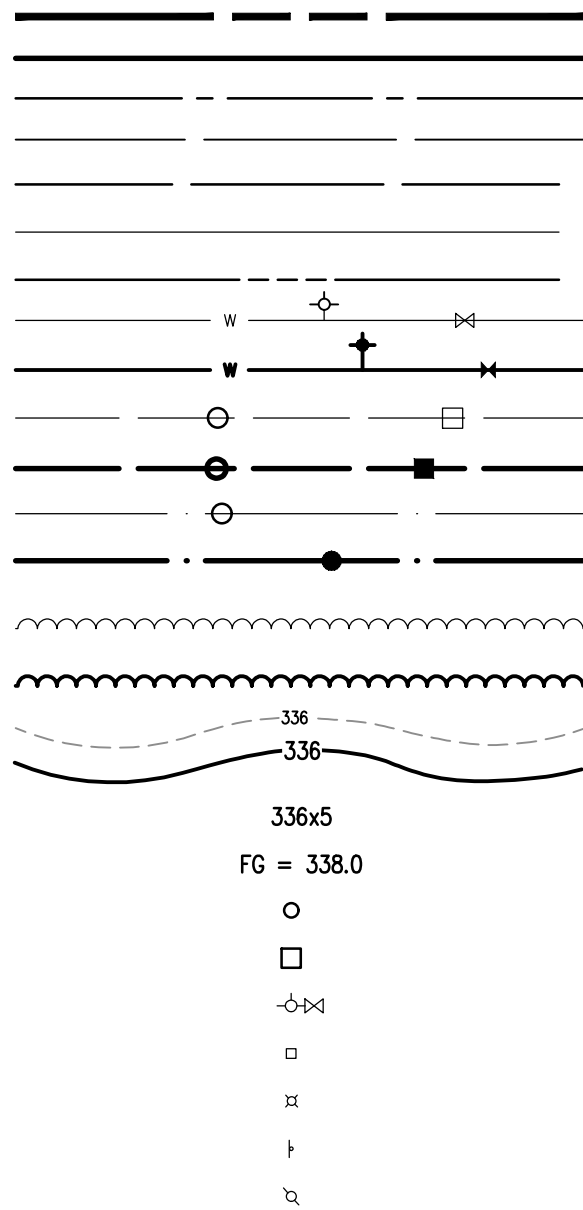
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MCPW - ROCHESTER PURE WATERS DISTRICT SEWER NOTES:

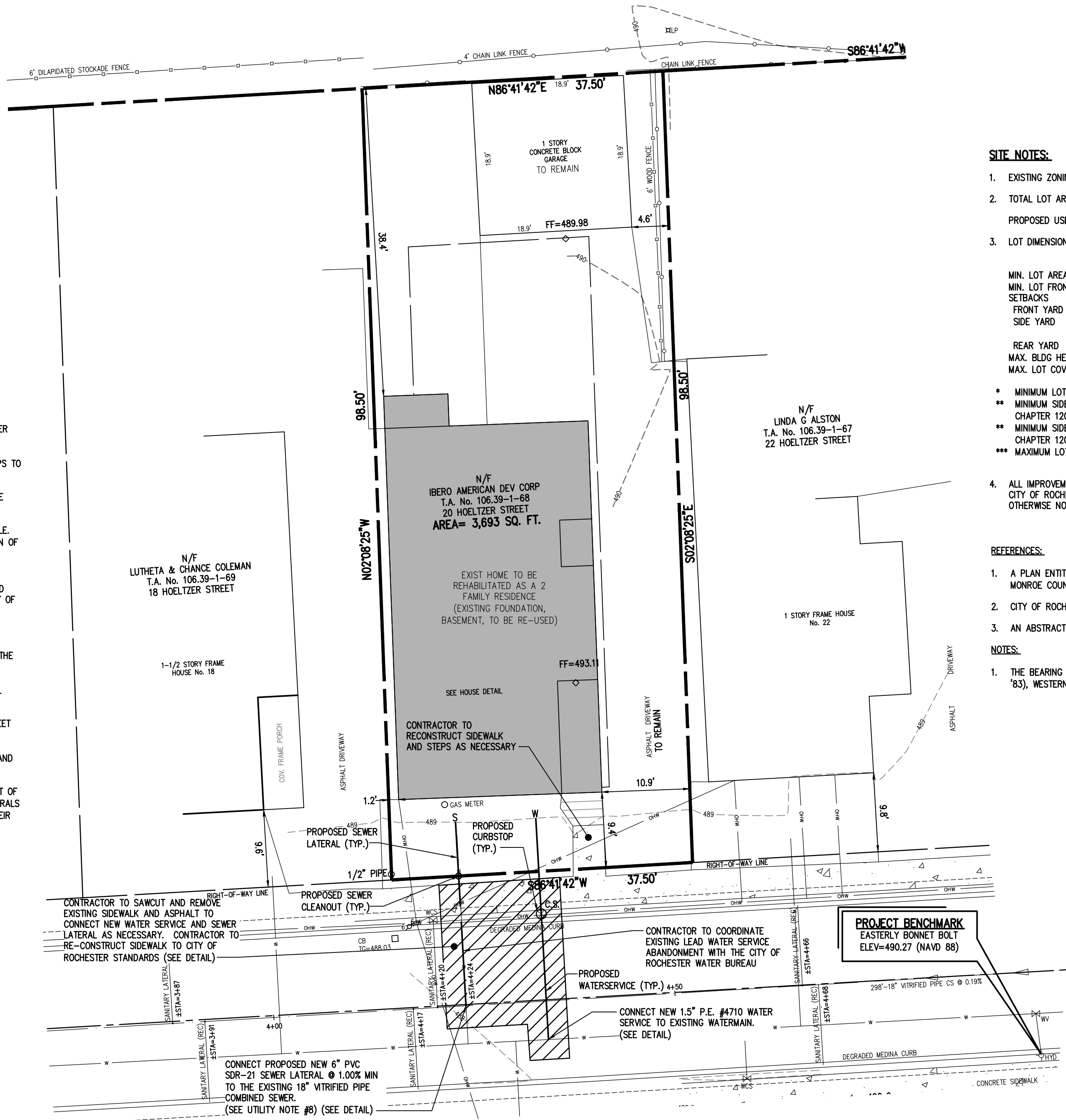
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2. PRIOR TO CONSTRUCTION, A SEWER CONNECTION PERMIT MUST BE OBTAINED FROM THE MONROE COUNTY PURE WATERS (MCPW) PERMIT OFFICE AT 145 PAUL ROAD, BUILDING 11, ROCHESTER, NY 14624, PHONE # 753-7600 (OPT. 5).
3. SEWER CONNECTION PERMIT(S) CAN ONLY BE ISSUED TO A PLUMBER LICENSED IN THE CITY OF ROCHESTER AND WHO IS FULLY INSURED AND BONDED IN THE ROCHESTER PURE WATERS DISTRICT (RPWD). PAYMENT (CHECK OR MONEY ORDER TO 'RPWD') OF ALL APPLICABLE PERMIT FEES MUST BE PAID PRIOR TO PERMIT ISSUANCE.
4. THE RPWD SHALL BE NOTIFIED FORTY-EIGHT HOURS IN ADVANCE OF A CONNECTION OR TAP. [753-7600 (OPT. 5)]. THE CONTRACTOR SHALL MAKE ALL REQUIRED TAPS TO THE RPWD SEWERS. ALL TAPS AND CONNECTIONS TO DISTRICT UTILITIES MUST BE WITNESSED BY A DISTRICT INSPECTOR.
5. SANITARY/STORM/COMBINATION SEWER LATERAL(S) AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE ROCHESTER PURE WATERS DISTRICT. ALL NEW CONNECTIONS SHALL BE INSPECTED BY A REPRESENTATIVE OF THE DISTRICT.
6. CLEANOUTS SHALL BE INSTALLED ON ALL 4" AND 6" DIAMETER SEWER LATERALS AT THE RIGHT-OF-WAY (ROW) LINE, OR THE SEWER EASEMENT LINE WHERE APPLICABLE. (THE SEWER EASEMENT, RIGHT-OF-WAY AND/OR PROPERTY LINE MUST BE STAKED OUT PRIOR TO INSTALLATION OF LOT LINE CLEANOUTS TO ENSURE PROPER LOCATION OF THE CLEANOUTS. [REFER TO CLEANOUT DETAIL FOR PROPER INSTALLATION]).
7. IF AN EXISTING LATERAL IS TO BE UTILIZED, THE PLUMBER/CONTRACTOR MUST ENSURE THAT THE LATERAL IS IN GOOD CONDITION AND IS FREE OF DEBRIS (DIRT, MUD, STONE, ROOTS, ETC.) VIA A VIDEO TAPED INSPECTION PERFORMED BY THE PLUMBER/CONTRACTOR OR HIS/HER/THEIR AGENT. PRIOR TO CONNECTION, THE VIDEO TAPED INSPECTION OF THE EXISTING LATERAL MUST BE PRESENTED TO THE DISTRICT FOR REVIEW AND APPROVAL TO UTILIZE AN EXISTING LATERAL. IT IS THE RESPONSIBILITY OF THE BUILDER OR THEIR AGENT TO CLEAN AND/OR REPLACE THE PIPE/LATERAL AS NEEDED.
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9. ANY EXISTING LATERALS NOT UTILIZED MUST BE ABANDONED TO MONROE COUNTY PURE WATERS (MCPW) STANDARDS AT THE PROPERTY LINE OR, WHERE APPLICABLE, THE SEWER EASEMENT LINE.
10. FLOOR DRAINS IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR MONROE COUNTY SEWER USE LAW.
11. ANY PORTION OF A SEWER/LATERAL WITH LESS THAN FOUR-FEET (4') OF COVER WILL REQUIRE CONCRETE ENCASUREMENT. SEWERS/LATERALS WITH LESS THAN THREE-FEET (3') OF COVER ARE NOT ALLOWED.
12. THE REQUIREMENTS OF THE HIGHWAY/PROPERTY OWNER SHALL BE ADHERED TO FOR ITEMS ABOVE THE PIPE BEDDING, INCLUDING, BUT NOT LIMITED TO, MAINTENANCE AND PROTECTION OF TRAFFIC, BACKFILL MATERIAL AND SURFACE RESTORATION.
13. ALL EXISTING AND/OR PROPOSED EASEMENTS AND/OR RIGHT-OF-WAYS (ROW) ARE TO BE STAKED OUT IN THE FIELD BY AN ENGINEER/SURVEYOR PRIOR TO THE START OF ANY SITE CONSTRUCTION/EXCAVATION AND MAINTAINED DURING COURSE OF THE PROJECT TO ENSURE THE PURE WATERS LOT LINE CLEAN OUTS ON THE BUILDING LATERALS ARE PROPERLY PLACED AND THAT NO PERMANENT AND/OR NONPERMANENT STRUCTURES ARE INSTALLED WITHIN EASEMENTS AND/OR ROW. IT IS THE OWNER'S OR THEIR AGENT'S RESPONSIBILITY TO STAKE OUT ALL EASEMENTS. THIS WILL NOT BE THE RESPONSIBILITY OF THE RPWD.

LEGEND



BOUNDARY LINE
PROPOSED LOT LINE
CENTERLINE
SETBACK LINE
ADJOINTER LINE
EDGE OF PAVEMENT LINE
EXISTING EASEMENT LINE
EX. WATERMAIN, HYDRANT AND VALVE
PROP. WATERMAIN, HYDRANT AND VALVE
EXISTING STORM SEWER, AND MANHOLE
PROPOSED STORM SEWER, MANHOLE AND INLET
EXISTING SANITARY SEWER AND MANHOLE
PROPOSED SANITARY SEWER AND MANHOLE
EXISTING TREELINE
PROPOSED TREE LINE
EXISTING CONTOUR
PROPOSED CONTOUR
PROPOSED SPOT ELEVATION
PROPOSED FINISHED GRADE
PROPERTY MARKER FOUND
CONCRETE HIGHWAY MONUMENT FOUND
EXISTING HYDRANT AND VALVE
EXISTING CATCH BASIN
EXISTING LIGHT POLE
EXISTING SIGN
EXISTING UTILITY POLE

SEE BME DRAWING NUMBER
2555-27F, 28F AND 29F
FOR STANDARD DETAILS



SITE NOTES:

1. EXISTING ZONING: R-2
2. TOTAL LOT AREA IS \pm 3,693 S.F.
PROPOSED USE: ONE-TWO STORY DUPLEX UNIT
3. LOT DIMENSIONS ARE AS FOLLOWS:

	REQUIRED	PROPOSED
MIN. LOT AREA	6,000 SF	3,693 SF (EXISTING)
MIN. LOT FRONTAGE	47' (AVERAGE BLOCK FRONTAGE)	37.5' (EXISTING)
SETBACKS		
FRONT YARD	AVG. BLDG. DEPTH OR 20'	9.4' (EXISTING)
SIDE YARD	5' MIN	**1.2'/10.9' (EXISTING)
REAR YARD	15' TOTAL	**1.2' (EXISTING)
MAX. BLDG HEIGHT	20' OR EXISTING	38.4' EXISTING
MAX. LOT COVERAGE	2.5 STORIES / 35'	2 STORIES / \pm 28'
	50%	***75% (EXISTING AND PROPOSED)

- * MINIMUM LOT AREA VARIANCE WILL BE REQUESTED (PER CHAPTER 120-20.B.(1)(b)(1))
- ** MINIMUM SIDE SETBACK VARIANCE WILL BE REQUESTED FOR 1.2' SETBACK ON ONE SIDE (5' REQUIRED PER CHAPTER 120-20.C.(1)(b)(1))
- *** MINIMUM SIDE SETBACK VARIANCE WILL BE REQUESTED FOR 10.9' TOTAL SIDE SETBACK (15' REQUIRED PER CHAPTER 120-20.C.(1)(b)(1))
- **** MAXIMUM LOT COVERAGE VARIANCE WILL BE REQUESTED (PER CHAPTER 120-20.B.(1)(b)(2))

4. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.

REFERENCES:

1. A PLAN ENTITLED "MAP OF A SUBDIVISION OF PART OF LOT 14 AND 15 IN THE LEE TRACT," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 116 OF DEEDS, PAGE 497.
2. CITY OF ROCHESTER DISTRICT 14, MAP 17 & 18.
3. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

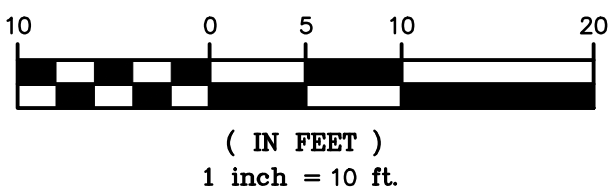
NOTES:

1. THE BEARING BASE SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD '83), WESTERN ZONE.

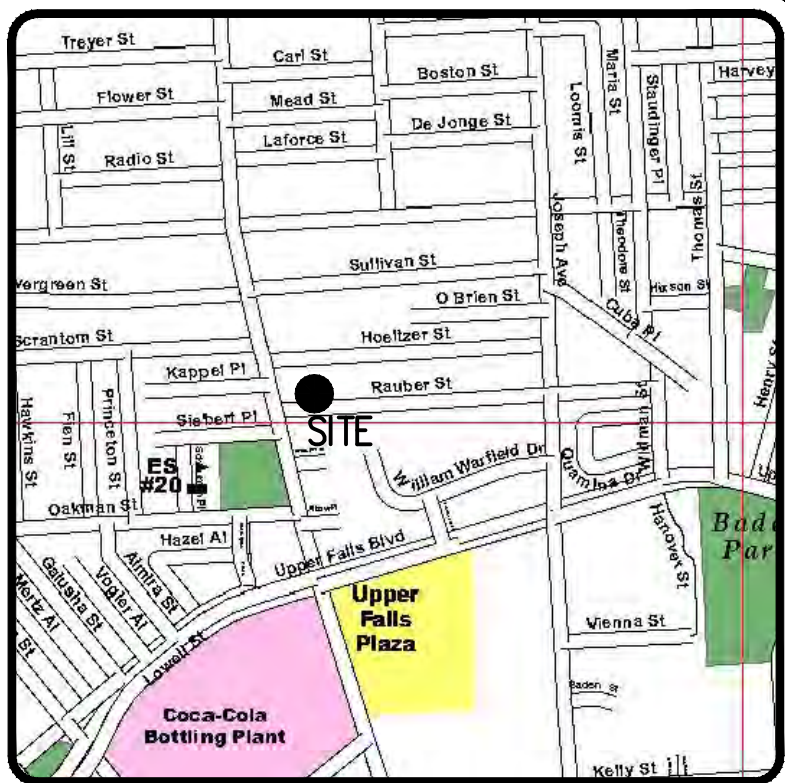
NOT APPROVED

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GRAPHIC SCALE



ROCHESTER PURE WATERS DISTRICT:



LOCATION MAP
NOT TO SCALE

Drawing Alteration
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	REVISIONS	DATE	BY
1	REVISIONS PER CITY AGENCY COMMENTS	8/14/18	FAS
2			
3			
4			
5			
6			
7			

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
PHONE 585-377-7260
FAX 585-377-7309
10 LIFT BRIDGELANE EAST
NEW YORK, NY 14650
WWW.BME-CCON.COM



PUEBLO NUEVO HOUSING
FINAL
PROJECT: CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
LOCATION: IBERO AMERICANO DEVELOPMENT
CLIENT: 20 HOELTZER ST.
DRAWING TITLE: PLOT PLAN - SITE 0

PROJECT MANAGER: J.L. SWEDROCK
PROJECT ENGINEER: FA SHELLEY
DRAWN BY: FA SHELLEY
SCALE: 1"=10'
DATE ISSUED: MARCH 2018
PROJECT NO.: 2555
DRAWING NO.: 18F

MCPW – ROCHESTER PURE WATERS DISTRICT SEWER NOTES:

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SEE BME DRAWING NUMBER
2555-27F, 28F AND 29F
FOR STANDARD DETAILS

LEGEND

	BOUNDARY LINE
	PROPOSED LOT LINE
	CENTERLINE
	SETBACK LINE
	ADJOINER LINE
	EDGE OF PAVEMENT LINE
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	EX. WATERMAIN, HYDRANT AND VALVE
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	CONCRETE HIGHWAY MONUMENT FOUND
	EXISTING HYDRANT AND VALVE
	EXISTING CATCH BASIN
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING UTILITY POLE

REFERENCES:

1. A PLAN ENTITLED "SUBDIVISION OF LOT 24 IN THE LEE TRACT," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 2 OF MAPS, PAGE 88.
2. CITY OF ROCHESTER DISTRICT 12, MAP 20.
3. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.
4. A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT NO. COR-217-21053, EFFECTIVE DATE MARCH 2, 2017.
5. A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT NO. COR-217-21053-(A), EFFECTIVE DATE JULY 7, 2017.
6. FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY NO. 360431, MAP NO. 36055C02116, EFFECTIVE DATE AUGUST 28, 2008.

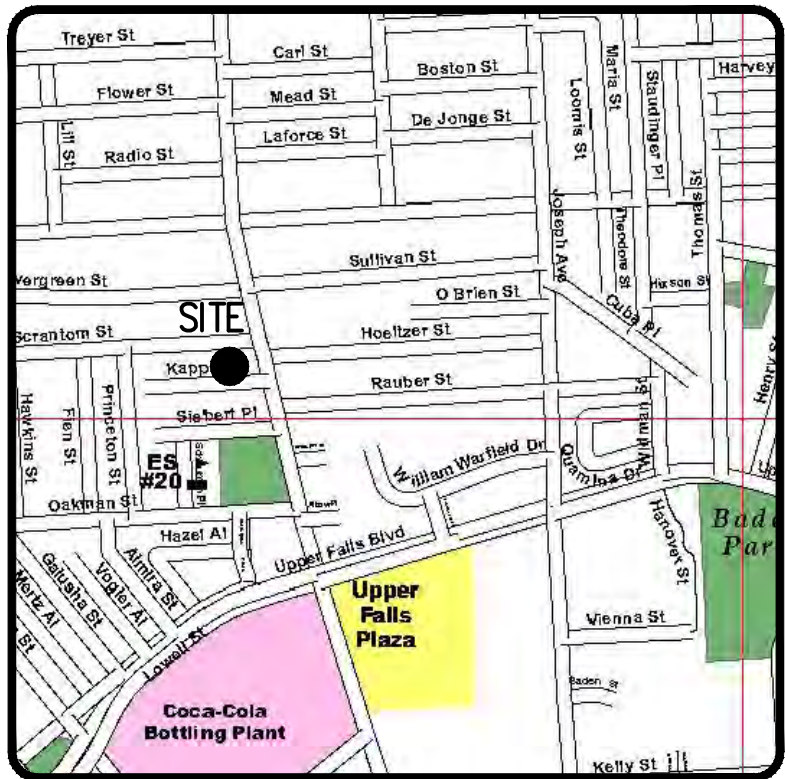
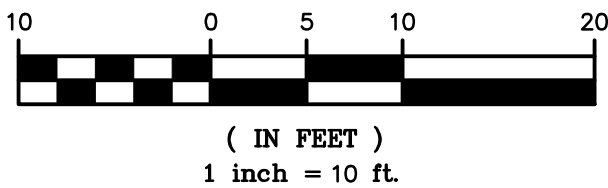
NOTES:

1. CURRENT ZONING CLASSIFICATION: R-2
2. PARCELS LIE WITHIN ZONE X PER REFERENCE 6.
3. NO WETLAND DELINEATION MARKERS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
4. PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE CHAIN LINK FENCE NEAR THE NORTHWESTERLY BOUNDARY CORNER AS SHOWN HEREON.
5. PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE WOOD FENCE NEAR THE NORTHEASTERLY BOUNDARY CORNER AS SHOWN HEREON.
6. PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE ASPHALT PAVEMENT NEAR THE NORTHEASTERLY BOUNDARY CORNER AS SHOWN HEREON.
7. BOUNDARY CORNERS WERE NOT SET IN THE PROCESS OF CONDUCTING THE FIELDWORK. EXTERIOR BOUNDARY CORNERS OF "SITE P" WILL BE SET WITH CAPPED 5/8" REBAR PRIOR TO ISSUANCE OF FINAL SURVEY MAPS.
8. THE BEARING BASE SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD '83), WESTERN ZONE.

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

GRAPHIC SCALE



LOCATION MAP
NOT TO SCALE

SITE NOTES:

1. EXISTING ZONING: R-2
2. TOTAL LOT AREA IS ± 5,336 S.F.
3. PROPOSED USE: ONE-TWO STORY DUPLEX UNIT (2-2 BEDROOM UNITS) [2 UNITS TOTAL]
4. LOT DIMENSIONS ARE AS FOLLOWS:

	REQUIRED	PROPOSED
MIN. LOT AREA	6,000 SF	±5,336 SF
MIN. LOT FRONTAGE	53' (AVERAGE BLOCK FRONTAGE)	70'
SETBACKS		
FRONT YARD	AVG. BLDG. DEPTH OR 20'	AVG. BLOCK=3'
SIDE YARD	5' MIN	>5'
REAR YARD	15' TOTAL	>15' TOTAL
	20' OR EXISTING	>20'
MAX. BLDG. HEIGHT	2.5 STORIES / 35'	2 STY. / ±30'
MAX. LOT COVERAGE	50%	±54%

- * MINIMUM LOT AREA VARIANCE WILL BE REQUESTED ON EACH LOT (PER CHAPTER 120-20.8.1)(b)(1))
 - ** MAXIMUM LOT COVERAGE VARIANCE WILL BE REQUESTED ON EACH LOT (PER CHAPTER 120-20.8.1)(b)(2))
4. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.

UTILITY AND GRADING NOTES:

1. BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY. NO RESTRICTION IS INTENDED AS TO SIZE OR LOCATION OTHER THAN APPLICABLE ZONING REQUIREMENTS.
2. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER, THE APPROPRIATE AGENCIES (IE, MONROE COUNTY PURE WATERS, AND THE MONROE COUNTY HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
4. THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
5. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, A FIELD SURVEY NEEDS TO BE COMPLETED AND THE CONTRACTOR SHALL CALL THE UFPO HOTLINE AT (800)962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
6. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
7. ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS.

WATER: 1 INCH (MIN) PE #4710 FROM THE CURB BOX TO THE METER, WITH TRACER WIRE.

SEWER: 6" PVC SDR-21 @ 1% MIN SLOPE COMBINED SANITARY AND STORM SEWER LATERAL

EXTEND LATERALS TO 10 FEET BEYOND THE RIGHT-OF-WAY, OR 10 FEET BEYOND THE EASEMENT LINES, WHICHEVER IS GREATER.

8. CONTRACTOR TO PERFORM EXPLORATORY EXCAVATIONS TO LOCATE EXISTING SANITARY SEWER LATERALS AS NECESSARY. IF EXISTING SANITARY LATERALS ARE LOCATED THE CONTRACTOR SHOULD REVIEW THE CONDITION OF THE EXISTING SANITARY SEWER LATERAL WITH THE DEVELOPER AND MCPW. IF A SANITARY LATERAL IS NOT FOUND, THE CONTRACTOR SHOULD INSTALL A NEW 6" PVC SEWER LATERAL AS SHOWN ON THE PLANS ACCORDING TO MCPW REQUIREMENTS.
9. THE OWNER AND THE CONTRACTOR SHALL HAVE COMPLETE KNOWLEDGE OF THE CURRENT BLASTING POLICY FOR THE CITY OF ROCHESTER, AND THEY WILL CONFORM TO THIS POLICY AT ALL TIMES.
10. THE HOME BUILDER SHALL BE RESPONSIBLE FOR IMPLEMENTING INDIVIDUAL LOT EROSION CONTROL MEASURES FOR INDIVIDUAL HOUSE CONSTRUCTION. THE MEASURES ARE TO REMAIN IN PLACE UNTIL HOUSE CONSTRUCTION IS COMPLETE AND THE LAWN IS ESTABLISHED.
11. ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, 585-428-6848.
12. A PERMIT FOR THE WATER SERVICE INSTALLATION IS TO BE OBTAINED BY A PLUMBER, LICENSED BY THE CITY OF ROCHESTER. A PERMIT MAY BE OBTAINED THROUGH THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, CITY HALL, 30 CHURCH STREET, ROOM 121B, 585-428-6848.
13. APPROXIMATE BEDROCK ELEVATION IS ±481.5 BASED ON FOUNDATION DESIGN, P.C.'S DECEMBER 2017 GEOTECHNICAL EVALUATION REPORT FOR THE PUEBLO NUEVO HOUSING.
14. PARCEL P HAS BEEN IDENTIFIED WITH POTENTIAL SOIL CONTAMINATION. HOUSE TO BE CONSTRUCTED WITH HELICAL PILES AND A STRUCTURAL SLAB ON GRADE

ROCHESTER PURE WATERS DISTRICT:

Drawing Alteration
The following is an exception from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if on item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation 'Altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

REVISIONS	DATE	BY
1	8/14/18	FAS
2		
3		
4		
5		
6		
7		

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIFT BRIDGE LANE EAST
ROCHESTER, NEW YORK 14650
WWW.BMEARCH.COM
PHONE: 585-377-7369
FAX: 585-377-7369

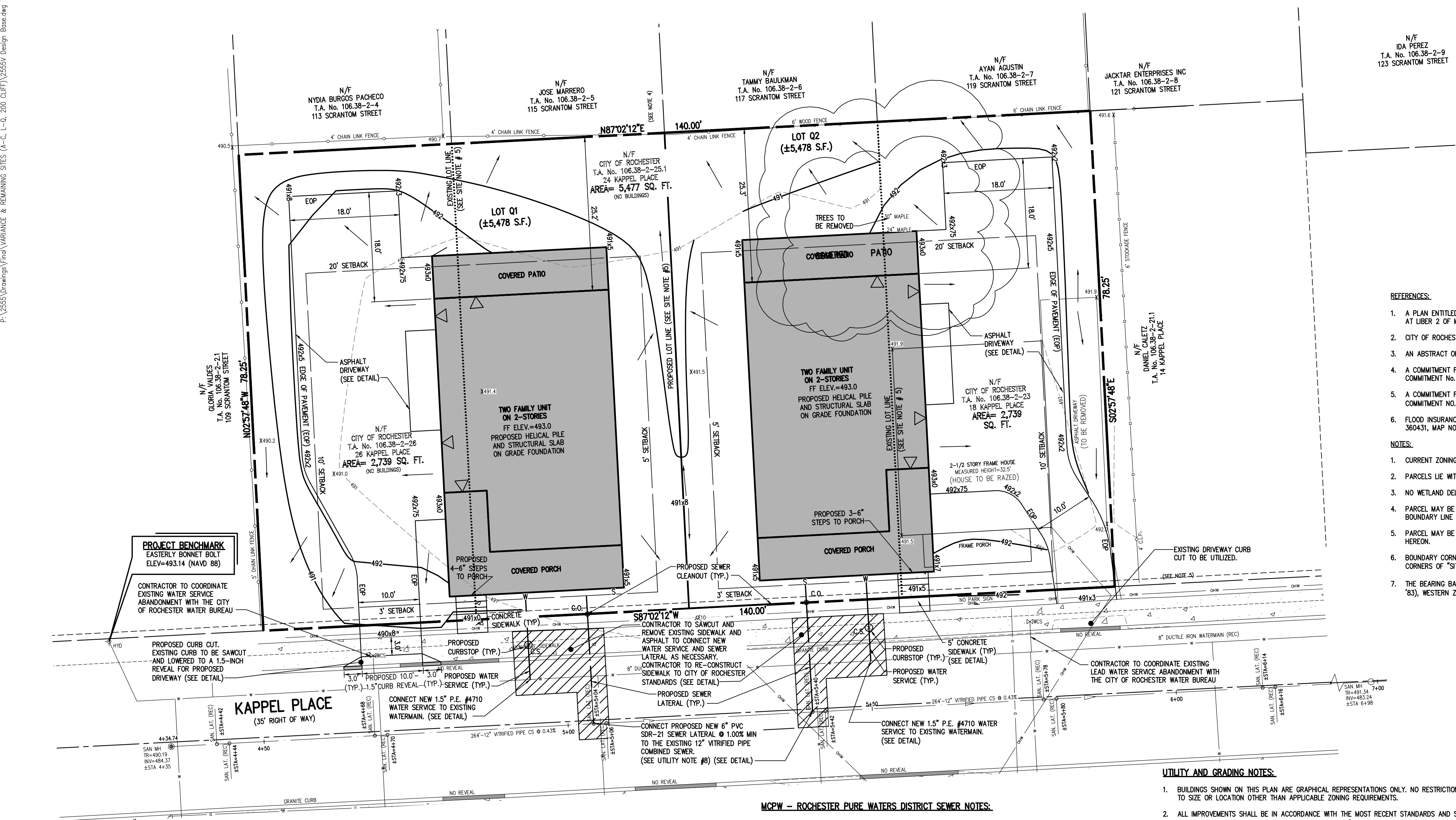


PUEBLO NUEVO HOUSING
FINAL
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
IBERO AMERICA DEVELOPMENT
CORPORATION
ROCHESTER, NY 14621
PROJECT LOCATION CLIENT
DRAWING TITLE

PROJECT MANAGER
JL SWEDROCK
PROJECT ENGINEER
FA SHELLEY
DRAWN BY
FA SHELLEY

SCALE
1"=10'
DATE ISSUED
MARCH 2018
PROJECT NO.

DRAWING NO.
2555
19F

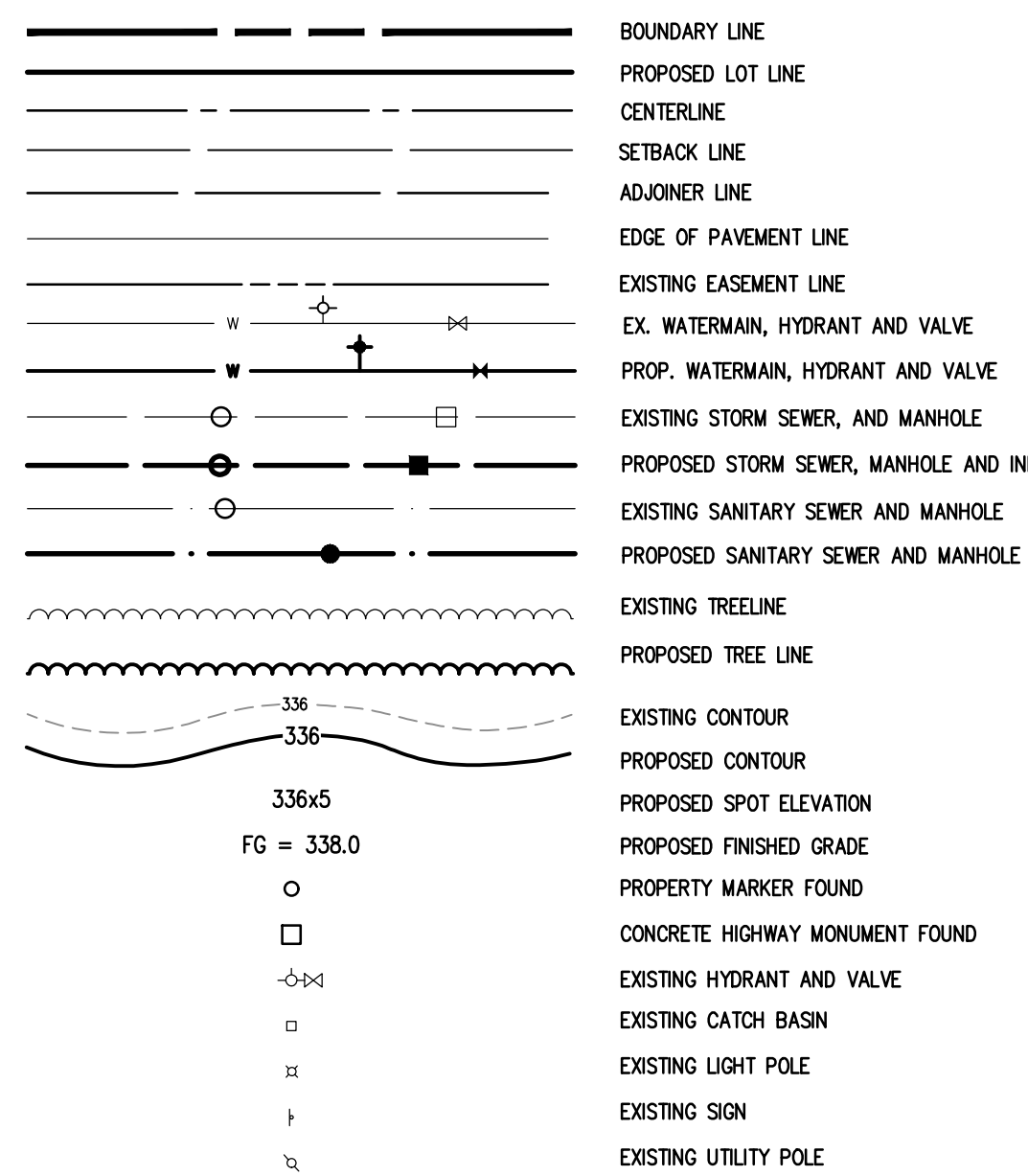


PROJECT BENCHMARK
EASTERLY BONNET BOLT
ELEV=493.14 (NAVD 88)

CONTRACTOR TO COORDINATE
EXISTING WATER SERVICE
ABANDONMENT WITH THE CITY
OF ROCHESTER WATER BUREAU

KAPPEL PLACE
(35' RIGHT OF WAY)

LEGEND



SITE NOTES:

- EXISTING ZONING: R-2
- TOTAL LOT AREA IS ± 10,750 S.F.
LOT Q1 = ± 5,478 S.F.
LOT Q2 = ± 5,478 S.F.

PROPOSED USE: TWO-TWO STORY DUPLEX UNITS (2-3 BEDROOM UNITS) [4 UNITS TOTAL]
- LOT DIMENSIONS ARE AS FOLLOWS:

	REQUIRED	PROPOSED LOT Q1	PROPOSED LOT Q2
MIN. LOT AREA	6,000 SF	±5,478 SF	±5,478 SF
MIN. LOT FRONTAGE	53' (AVERAGE BLOCK FRONTAGE)	70'	70'
SETBACKS			
FRONT YARD	AVG. BLDG. DEPTH OR 20'	AVG. BLOCK=3'	AVG. BLOCK=3'
SIDE YARD	5' MIN	>5'	>5'
REAR YARD	15' TOTAL	>15' TOTAL	>15' TOTAL
	20' OR EXISTING	>20'	>20'
MAX. BLDG. HEIGHT	2.5 STORIES / 35'	2 STY. / ±30'	2 STY. / ±30'
MAX. LOT COVERAGE	50%	±53%	±53%

* MINIMUM LOT AREA VARIANCE WILL BE REQUESTED ON EACH LOT (PER CHAPTER 120-20.8.1)(b)(1)
** MAXIMUM LOT COVERAGE VARIANCE WILL BE REQUESTED ON EACH LOT (PER CHAPTER 120-20.8.1)(b)(2)
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.
- THE EXISTING PARCELS NEED TO BE ADMINISTRATIVELY RE-SUBDIVIDED INTO TWO LOTS BY THE CITY OF ROCHESTER.

SEE BME DRAWING NUMBER
2555-27F, 28F AND 29F
FOR STANDARD DETAILS

MCPW - ROCHESTER PURE WATERS DISTRICT SEWER NOTES:

- THIS PLAN REQUIRES APPROVAL AND ISSUANCE OF A PLUMBING PERMIT FROM THE CITY OF ROCHESTER PLUMBING DEPARTMENT.
- PRIOR TO CONSTRUCTION, A SEWER CONNECTION PERMIT MUST BE OBTAINED FROM THE MONROE COUNTY PURE WATERS (MCPW) PERMIT OFFICE AT 145 PAUL ROAD, BUILDING 11, ROCHESTER, NY 14624, PHONE # 753-7600 (OPT. 5).
- SEWER CONNECTION PERMIT(S) CAN ONLY BE ISSUED TO A PLUMBER LICENSED IN THE CITY OF ROCHESTER AND WHO IS FULLY INSURED AND BONDED IN THE ROCHESTER PURE WATERS DISTRICT (RPWD). PAYMENT (CHECK OR MONEY ORDER TO "RPWD") OF ALL APPLICABLE PERMIT FEES MUST BE PAID PRIOR TO PERMIT ISSUANCE.
- THE RPWD SHALL BE NOTIFIED FORTY-EIGHT HOURS IN ADVANCE OF A CONNECTION OR TAP. [753-7600 (OPT. 5)]. THE CONTRACTOR SHALL MAKE ALL REQUIRED TAPS TO THE RPWD SEWERS. ALL TAPS AND CONNECTIONS TO DISTRICT UTILITIES MUST BE WITNESSED BY A DISTRICT INSPECTOR.
- SANITARY/STORM/COMBINATION SEWER LATERAL(S) AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE ROCHESTER PURE WATERS DISTRICT. ALL NEW CONNECTIONS SHALL BE INSPECTED BY A REPRESENTATIVE OF THE DISTRICT.
- CLEANOUTS SHALL BE INSTALLED ON ALL 4" AND 6" DIAMETER SEWER LATERALS AT THE RIGHT-OF-WAY (ROW) LINE, OR THE SEWER EASEMENT LINE WHERE APPLICABLE. THE SEWER EASEMENT, RIGHT-OF-WAY AND/OR PROPERTY LINE MUST BE STAKED OUT PRIOR TO INSTALLATION OF LOT LINE CLEANOUTS TO ENSURE PROPER LOCATION OF THE CLEANOUTS. [REFER TO CLEANOUT DETAIL FOR PROPER INSTALLATION].
- IF AN EXISTING LATERAL IS TO BE UTILIZED, THE PLUMBER/CONTRACTOR MUST ENSURE THAT THE LATERAL IS IN GOOD CONDITION AND IS FREE OF DEBRIS (DIRT, MUD, STONE, ROOTS, ETC.) VIA A VIDEO TAPED INSPECTION PERFORMED BY THE PLUMBER/CONTRACTOR OR HIS/HER/THEIR AGENT. PRIOR TO CONNECTION, THE VIDEO TAPED INSPECTION OF THE EXISTING LATERAL MUST BE PRESENTED TO THE DISTRICT FOR REVIEW AND APPROVAL. TO UTILIZE AN EXISTING LATERAL IT IS THE RESPONSIBILITY OF THE BUILDER OR THEIR AGENT TO CLEAN AND/OR REPLACE THE PIPE/LATERAL AS NEEDED.
- ANY NEW PORTION OF A SEWER LATERAL INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY AND SEWER EASEMENT MUST BE SDR-21 PVC.
- ANY EXISTING LATERALS NOT UTILIZED MUST BE ABANDONED TO MONROE COUNTY PURE WATERS (MCPW) STANDARDS AT THE PROPERTY LINE OR, WHERE APPLICABLE, THE SEWER EASEMENT LINE.
- FLOOR DRAINS IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR MONROE COUNTY SEWER USE LAW.
- ANY PORTION OF A SEWER/LATERAL WITH LESS THAN FOUR-FOOT (4') OF COVER WILL REQUIRE CONCRETE ENCASEMENT. SEWERS/LATERALS WITH LESS THAN THREE-FOOT (3') OF COVER ARE NOT ALLOWED.
- THE REQUIREMENTS OF THE HIGHWAY/PROPERTY OWNER SHALL BE ADHERED TO FOR ITEMS ABOVE THE PIPE BEDDING, INCLUDING, BUT NOT LIMITED TO, MAINTENANCE AND PROTECTION OF TRAFFIC, BACKFILL MATERIAL AND SURFACE RESTORATION.
- ALL EXISTING AND/OR PROPOSED EASEMENTS AND/OR RIGHT-OF-WAYS (ROW) ARE TO BE STAKED OUT IN THE FIELD BY AN ENGINEER/SURVEYOR PRIOR TO THE START OF ANY SITE CONSTRUCTION/EXCAVATION AND MAINTAINED DURING COURSE OF THE PROJECT TO ENSURE THE PURE WATERS LOT LINE CLEAN OUTS ON THE BUILDING LATERALS ARE PROPERLY PLACED AND THAT NO PERMANENT AND/OR NONPERMANENT STRUCTURES ARE INSTALLED WITHIN EASEMENTS AND/OR ROW. IT IS THE OWNER'S OR THEIR AGENT'S RESPONSIBILITY TO STAKE OUT ALL EASEMENTS. THIS WILL NOT BE THE RESPONSIBILITY OF THE RPWD.

UTILITY AND GRADING NOTES:

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- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER, THE APPROPRIATE AGENCIES (IE, MONROE COUNTY PURE WATERS, AND THE MONROE COUNTY HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
- THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
- EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, A FIELD SURVEY NEEDS TO BE COMPLETED AND THE CONTRACTOR SHALL CALL THE UFPO HOTLINE AT 1(800)982-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
- ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS.

WATER: 1.5 INCH (MIN) PE #4710 FROM THE CURB BOX TO THE METER, WITH TRACER WIRE.

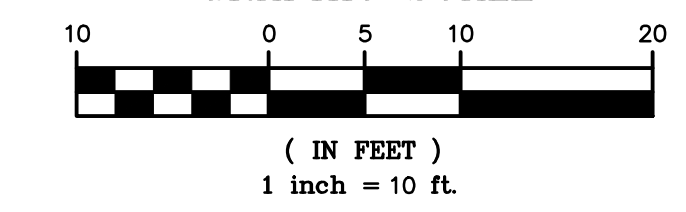
SEWER: 6" PVC SDR-21 1% MIN SLOPE COMBINED SANITARY AND STORM SEWER LATERAL

EXTEND LATERALS TO 10 FEET BEYOND THE RIGHT-OF-WAY, OR 10 FEET BEYOND THE EASEMENT LINES, WHICHEVER IS GREATER.
- THE CONTRACTOR TO PERFORM EXPLORATORY EXCAVATIONS TO LOCATE EXISTING SANITARY SEWER LATERALS AS NECESSARY. IF EXISTING SANITARY LATERALS ARE LOCATED THE CONTRACTOR SHOULD REVIEW THE CONDITION OF THE EXISTING SANITARY SEWER LATERAL WITH THE DEVELOPER AND MCPW. IF A SANITARY LATERAL IS NOT FOUND, THE CONTRACTOR SHOULD INSTALL A NEW 6" PVC SEWER LATERAL AS SHOWN ON THE PLANS ACCORDING TO MCPW REQUIREMENTS.
- THE OWNER AND THE CONTRACTOR SHALL HAVE COMPLETE KNOWLEDGE OF THE CURRENT BLASTING POLICY FOR THE CITY OF ROCHESTER, AND THEY WILL CONFORM TO THIS POLICY AT ALL TIMES.
- THE HOME BUILDER SHALL BE RESPONSIBLE FOR IMPLEMENTING INDIVIDUAL LOT EROSION CONTROL MEASURES FOR INDIVIDUAL HOUSE CONSTRUCTION. THE MEASURES ARE TO REMAIN IN PLACE UNTIL HOUSE CONSTRUCTION IS COMPLETE AND THE LAWN IS ESTABLISHED.
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE PERMIT FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, 585-428-6848.
- A PERMIT FOR THE WATER SERVICE INSTALLATION IS TO BE OBTAINED BY A PLUMBER, LICENSED BY THE CITY OF ROCHESTER. A PERMIT MAY BE OBTAINED THROUGH THE DEPARTMENT OF ENVIRONMENTAL SERVICES-PERMIT OFFICE, CITY HALL, 30 CHURCH STREET, ROOM 1218, 585-428-6848.
- APPROXIMATE BEDROCK ELEVATION IS ±480.0 BASED ON FOUNDATION DESIGN, P.C.'S DECEMBER 2017 GEOTECHNICAL EVALUATION REPORT FOR THE PUEBLO NUEVO HOUSING.
- PARCEL Q1 AND Q2 HAVE BEEN IDENTIFIED WITH POTENTIAL SOIL CONTAMINATION. HOUSE TO BE CONSTRUCTED WITH HELICAL PILES AND A STRUCTURAL SLAB ON GRADE

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

GRAPHIC SCALE



ROCHESTER PURE WATERS DISTRICT:



N/F
IDA PEREZ
T.A. No. 106.38-2-9
123 SCRANTON STREET

N/F
JACKTAR ENTERPRISES INC
T.A. No. 106.38-2-9
121 SCRANTON STREET

N/F
AYAN AGUSTIN
T.A. No. 106.38-2-7
119 SCRANTON STREET

N/F
TAMMY BAULKMAN
T.A. No. 106.38-2-6
117 SCRANTON STREET

N/F
JOSE MARRERO
T.A. No. 106.38-2-5
115 SCRANTON STREET

N/F
NYDIA BURGOS PACHECO
T.A. No. 106.38-2-4
113 SCRANTON STREET

REFERENCES:

- A PLAN ENTITLED "SUBDIVISION OF LOT 24 IN THE LEE TRACT," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 2 OF MAPS, PAGE 88.
- CITY OF ROCHESTER DISTRICT 12, MAP 20.
- AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.
- A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT No. COR-217-21053, EFFECTIVE DATE MARCH 2, 2017.
- A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, HAVING COMMITMENT No. COR-217-21053-(A), EFFECTIVE DATE JULY 7, 2017.
- FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY NO. 360431, MAP NO. 36055C0211G, EFFECTIVE DATE AUGUST 28, 2008.

NOTES:

- CURRENT ZONING CLASSIFICATION: R-2
- PARCELS LIE WITHIN ZONE X PER REFERENCE 6.
- NO WETLAND DELINEATION MARKERS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- PARCEL MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE CHAIN LINK FENCE ALONG THE SOUTHERLY BOUNDARY LINE OF LANDS OF JOSE MARRERO AS SHOWN HEREON.
- PARCEL MAY BE BENEFITED BY THE RIGHT TO USE THE ASPHALT DRIVEWAY OVER DANIEL CALETZ AS SHOWN HEREON.
- BOUNDARY CORNERS WERE NOT SET IN THE PROCESS OF CONDUCTING THE FIELDWORK. EXTERIOR BOUNDARY CORNERS OF "SITE Q" WILL BE SET WITH CAPPED 5/8" REBAR PRIOR TO ISSUANCE OF FINAL SURVEY MAPS.
- THE BEARING BASE SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD '83), WESTERN ZONE.

Drawing Alteration
The following is an excerpt from the
New York State Education Law Article
145 Section 7209 and applies to this
drawing:
"It is a violation of this law for any
person, unless he is acting under the
direction of a licensed professional
engineer or land surveyor to alter any
item in any way if an item bearing the
seal of an engineer or land surveyor is
altered, the altering engineer or land
surveyor shall affix to the item his seal
and the notation "altered by" followed
by his signature and the date of such
alteration, and a specific description of
the alteration."

REVISIONS	DATE	BY
1	8/14/18	FAS
2		
3		
4		
5		
6		
7		

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

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NEW YORK, NY 10003
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PHONE 585-577-7360
FAX 585-577-7369



PUEBLO NUEVO HOUSING
FINAL
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
IBERO AMERICA DEVELOPMENT
CORPORATION
ROCHESTER, NY 14621

PLOT PLAN - SITE Q (LOTS Q1 AND Q2)
18 KAPPEL PLACE, 24 KAPPEL PLACE
& 26 KAPPEL PLACE

PROJECT LOCATION CLIENT DRAWING TITLE

PROJECT MANAGER
JL SWEDROCK

PROJECT ENGINEER
FA SHELLEY

DRAWN BY
FA SHELLEY

SCALE
1"=10'

DATE ISSUED
MARCH 2018

PROJECT NO.
2555

DRAWING NO.
20F

SITE NOTES:

1. EXISTING ZONING: PD#3 (PLANNED DEVELOPMENT DISTRICT No.3, BUENA VISTA)

2. PARCEL AREAS:
200 CLIFFORD AVE = 81,039 S.F.
208-214 CLIFFORD AVE = 18,270 S.F.

3. BULK SPACE AND YARD REQUIREMENTS:

	REQUIRED	EXISTING LOT 3 (200 CLIFFORD)	EXISTING 208-214 CLIFFORD
MAX BUILDING COVERAGE	25%	37% (INCL. COVERED LOADING DOCK) - EXISTING	46% - EXISTING
DISTRICT	25%	N/A	N/A
SINGLE FAMILY DETACHED DWELLING	35%	70% - EXISTING	53% - EXISTING
MAX. LOT COVERAGE	50%	1 STY (13.72')	2 STY (24')
MAX. BUILDING HEIGHT	2 STORIES	2 STY (24')	2 STY (23')
MIN. YARD REQUIREMENTS			
ALONG CLIFFORD AVE	20'	±8.7'	N/A
PARKING LOTS	20'	17.9' - EXISTING	88.1' - EXISTING
PRINCIPAL BUILDING	10'	3.9' - EXISTING	N/A
ALONG RESIDENTIALLY ZONED PROPERTIES	10'	0.5' - EXISTING	0.2' - EXISTING
PARKING			
MAXIMUM ALLOWED	95 SPACES	45 SPACES - EXISTING	0

4. ANY/ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE AGENCIES, UNLESS OTHERWISE NOTED.

5. NO SITE IMPROVEMENTS ARE PROPOSED.

6. MATERIAL REMOVED FROM SITE SHOULD FOLLOW THE SOIL MANAGEMENT PLAN PREPARED BY AMD ENVIRONMENTAL CONSULTANTS, INC DATED OCTOBER 2017.

PARKING STALL COUNT

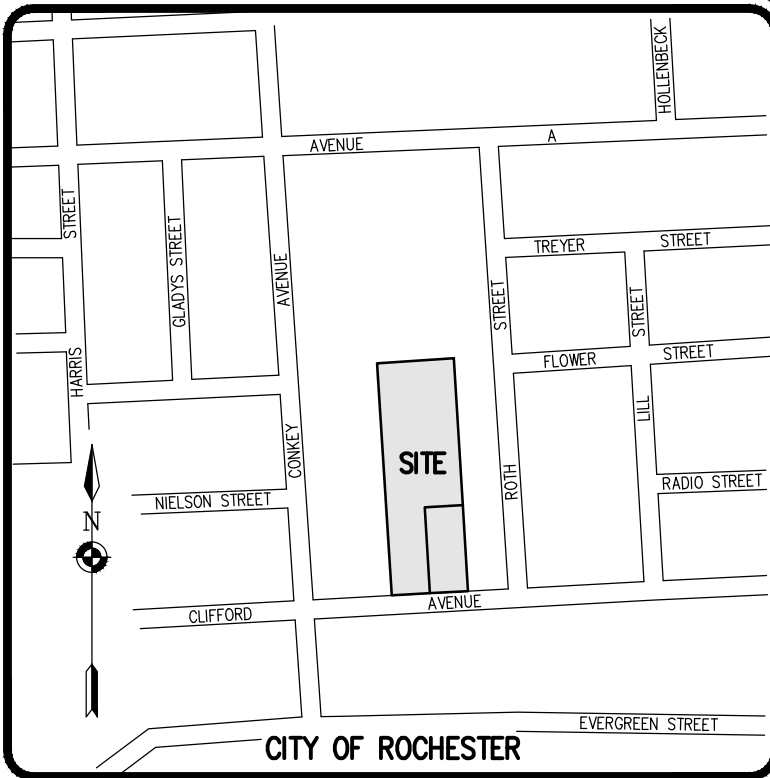
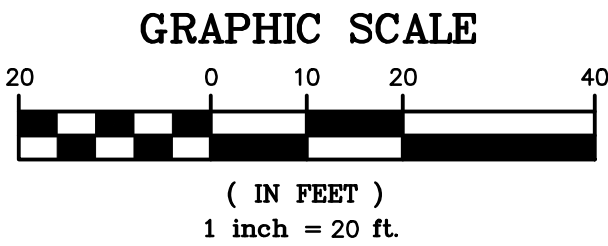
TYPE	COUNT
ACCESSIBLE	2
REGULAR	43
TOTAL	45

RECORD UTILITY INFORMATION PROVIDERS

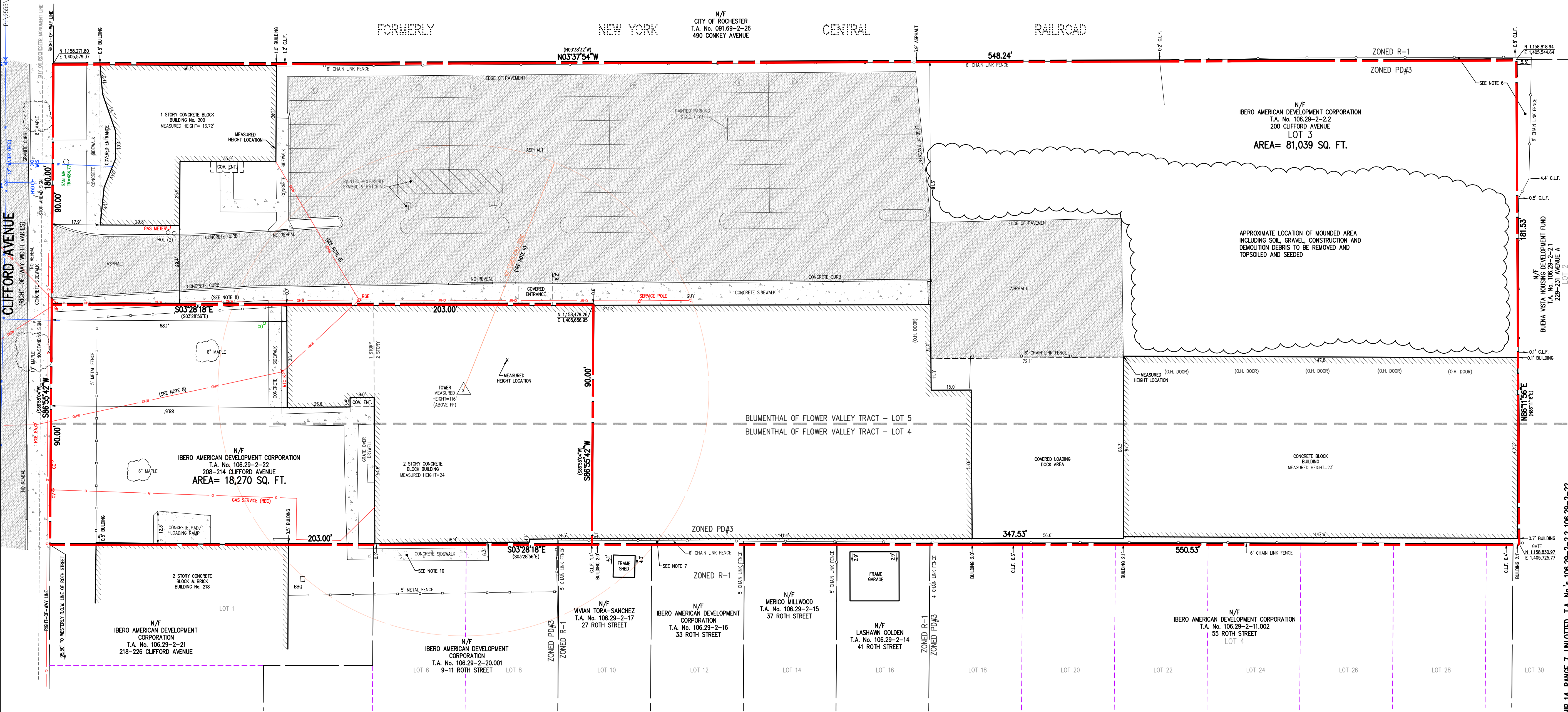
CITY OF ROCHESTER WATER BUREAU
MONROE COUNTY PURE WATERS
ROCHESTER GAS & ELECTRIC CORPORATION

LEGEND

BOUNDARY LINE
RECORD INFORMATION
CENTERLINE
SETBACK LINE
PROPERTY MARKER FOUND
EXISTING EASEMENT LINE
WATERMAIN/HYDRANT/VALVE
SANITARY-COMBINED SEWER/MH
STORM SEWER/MH/CB MH/CB
OVERHEAD WIRES/ UTILITY POLE
GASMAIN/ GAS VALVE



LOCATION MAP
NOT TO SCALE



REFERENCES:

- A PLAN ENTITLED "MAP OF A SUBDIVISION OF LOT No. 3, AND THE EAST THREE FOURTHS PART OF LOT No. 4 OF HUNTINGTON'S ADDITION TO THE BLUMENTHAL OR FLOWER VALLEY TRACT, FOR GEO SELBIG, HENRY KLINGER AND OTHERS," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 8 OF MAPS, PAGE 62.
- A PLAN ENTITLED "SUBDIVISION MAP FOR: BUENA VISTA," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 319 OF MAPS, PAGE 79.
- CITY OF ROCHESTER DISTRICT 12, MAP 28.
- AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.
- FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY NO. 360431, MAP NO. 360550221G, EFFECTIVE DATE AUGUST 28, 2008.

NOTES:

- CURRENT ZONING CLASSIFICATION: PD#3
- PARCELS LIE WITHIN ZONE X PER REFERENCE 5.
- NO WETLAND DELINEATION MARKERS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- BOUNDARY CORNERS WERE NOT SET IN THE PROCESS OF CONDUCTING THE FIELDWORK. EXTERIOR BOUNDARY CORNERS OF LOT 3 WILL BE SET WITH CAPPED 5/8" REBAR PRIOR TO ISSUANCE OF FINAL SURVEY MAPS.
- THE BEARING BASE SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD '83), WESTERN ZONE.

NOTES CONTINUED:

- 200 CLIFFORD AVENUE MAY BE BENEFITED BY RIGHTS TO USE THE LAND AREA TO THE FENCES NEAR THE NORTHWESTERLY BOUNDARY CORNER AND ALONG THE WESTERLY BOUNDARY LINE AS SHOWN HEREON.
- 200 CLIFFORD AVENUE MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE LAND AREA BETWEEN THE CHAIN LINK FENCE AND THE EASTERLY BOUNDARY LINE AS SHOWN HEREON.
- 200 CLIFFORD AVENUE MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE POLE LINE & SERVICE DROP EXTENDING NORTHERLY FROM CLIFFORD AVENUE AS SHOWN HEREON.
- 200 CLIFFORD AVENUE MAY BE SUBJECT TO THE RIGHTS OF OTHERS FOR USE OF THE TOWER FALL ZONE AS SHOWN HEREON.
- 208-214 CLIFFORD AVENUE MAY BE BENEFITED BY THE RIGHT TO USE THE CONCRETE SIDEWALK ALONG OTHER LANDS OF IBERO AMERICAN DEVELOPMENT CORPORATION (9-11 ROTH STREET).

"CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."

"THIS MAP AND THE INFORMATION SHOWN HEREON IS NOT TO BE USED WITH AN 'AFFIDAVIT OF NO CHANGE.' BME ASSOCIATES ASSUMES NO LIABILITY TO THE PARTIES NOTED HEREON OR TO ANY FUTURE OWNER, TITLE COMPANY, GOVERNMENTAL AGENCY, ATTORNEY OR LENDING INSTITUTION IN THE EVENT THAT THIS MAP IS USED WITH AN 'AFFIDAVIT OF NO CHANGE' OR SIMILAR INSTRUMENT."

"COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S ORIGINAL INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY."

"UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7206, OF THE NEW YORK STATE EDUCATION LAW."

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BME Associates

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation 'Altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2			
1			

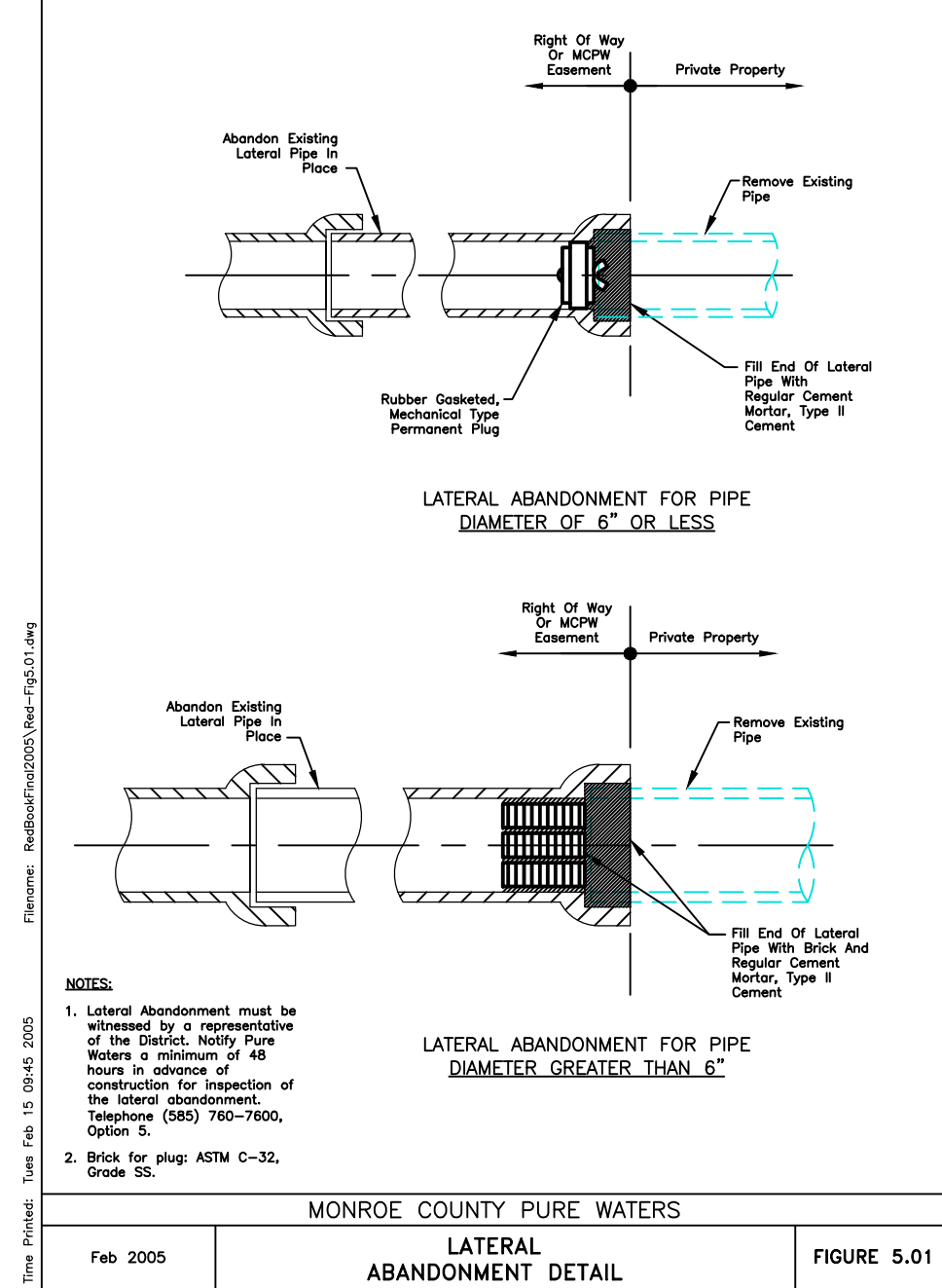
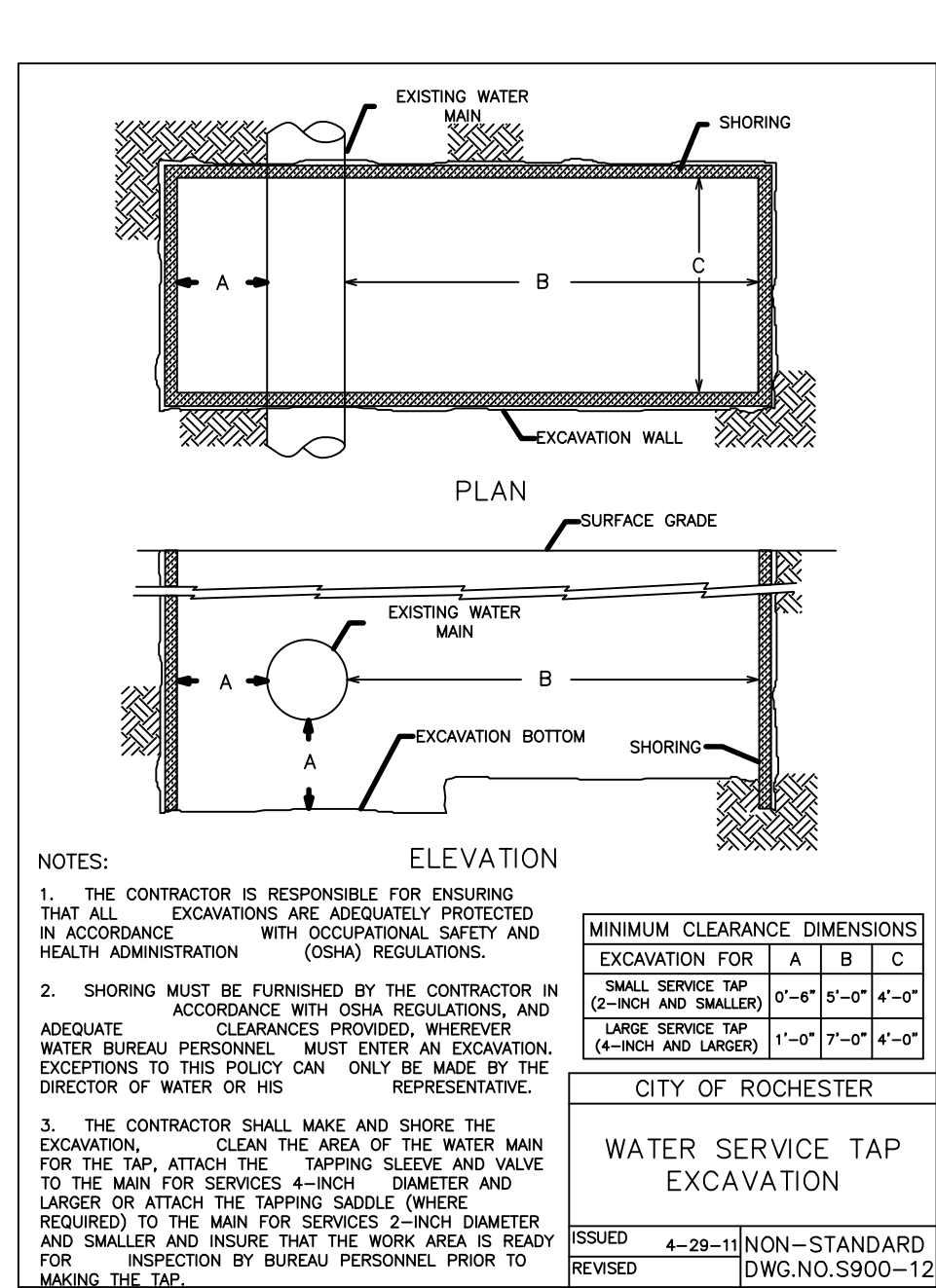
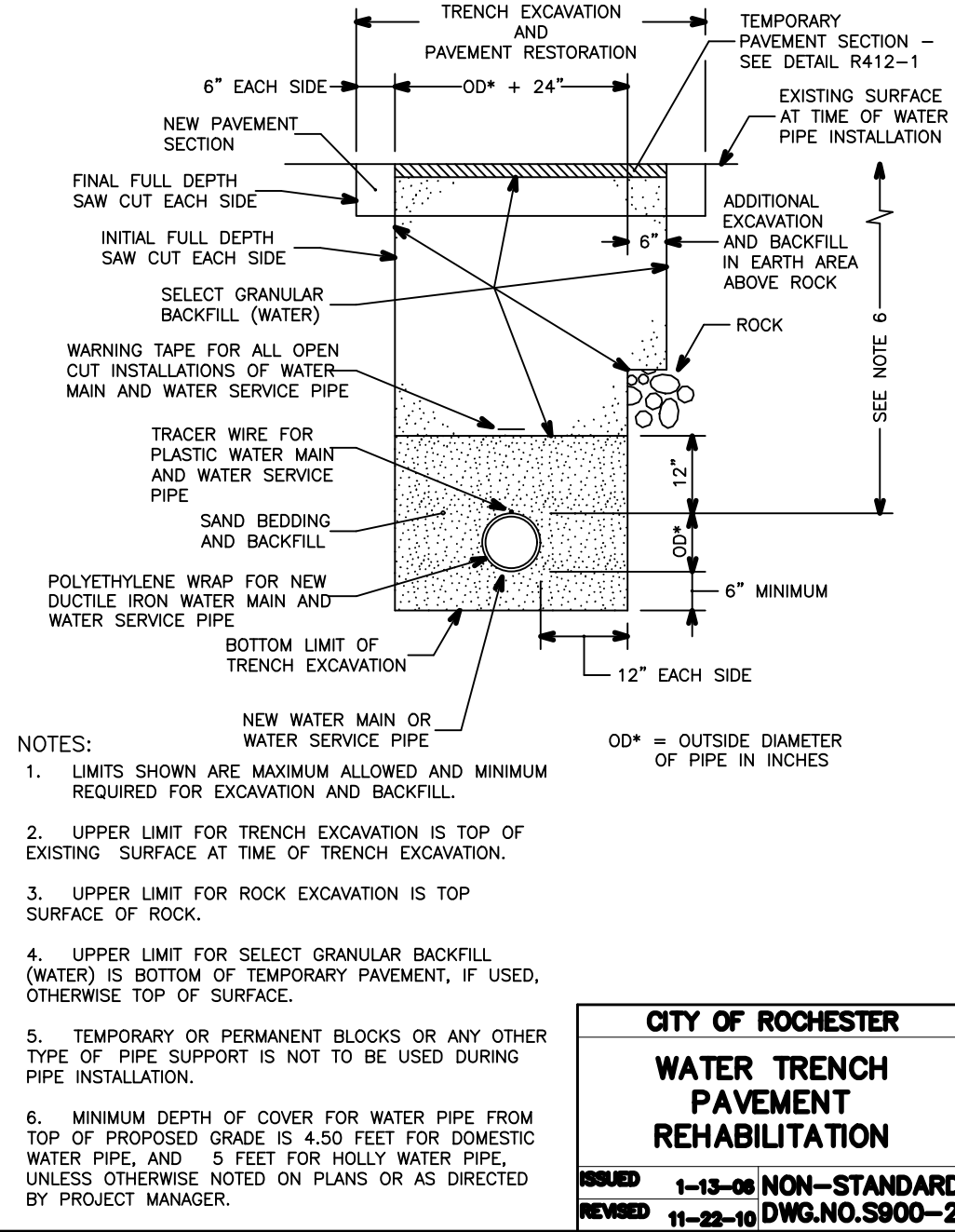
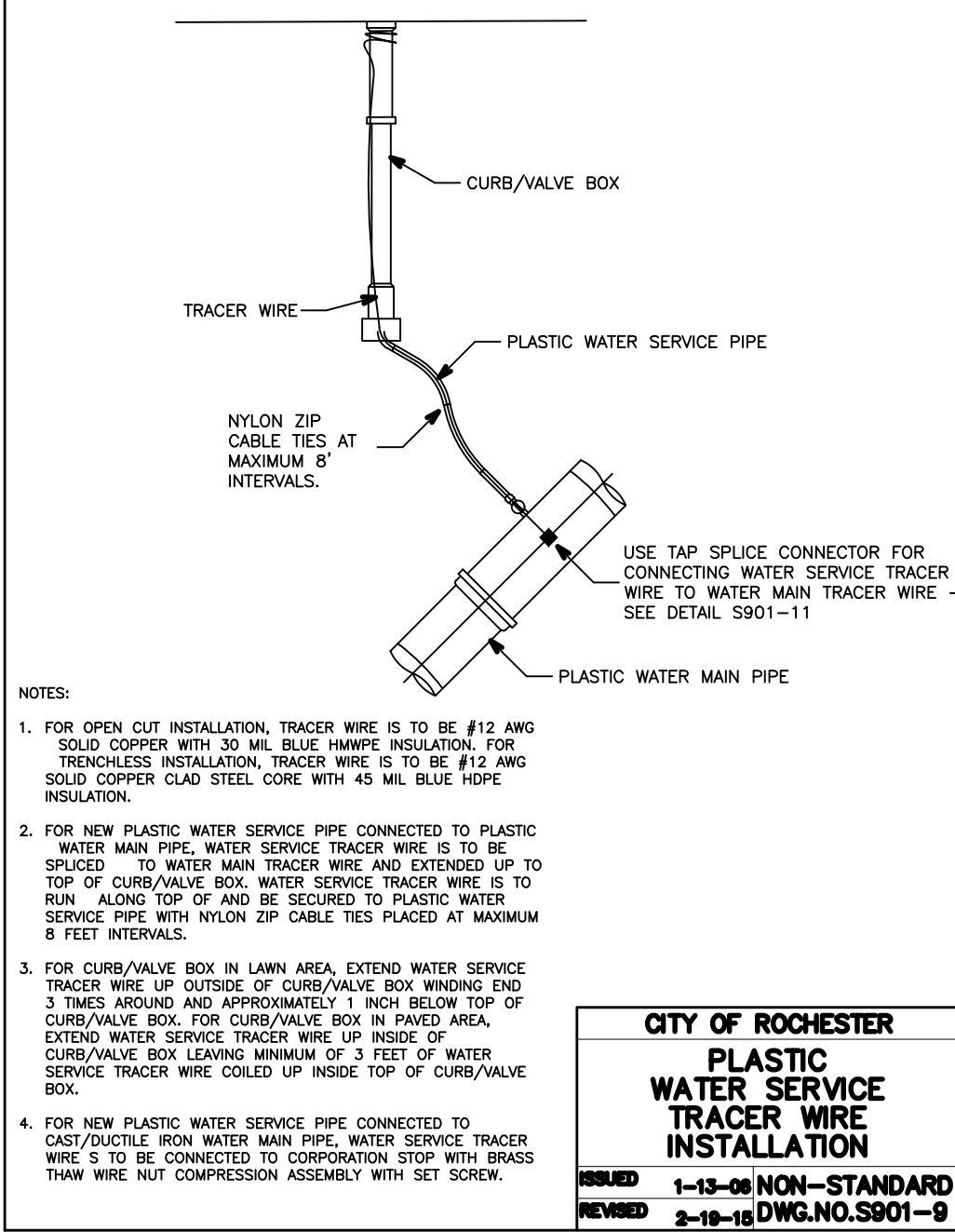
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FARMINGTON, NEW YORK 14450
PHONE 585-377-7380
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WWW.BME-USA.COM



PUEBLO NUEVO HOUSING
FINAL
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
IBERO AMERICAN DEVELOPMENT CORPORATION
33 ROTH STREET
ROCHESTER, NY 14621
200 & 208-214 CLIFFORD AVENUE
SITE PLAN

PROJECT MANAGER	DATE
JL SWEDROCK	
PROJECT SURVEYOR	DATE
FA SHELLEY	
DRAWN BY	DATE
KA MOTT	
SCALE	DATE ISSUED
1"=20'	MARCH 2018
PROJECT NO.	2555
DRAWING NO.	26F

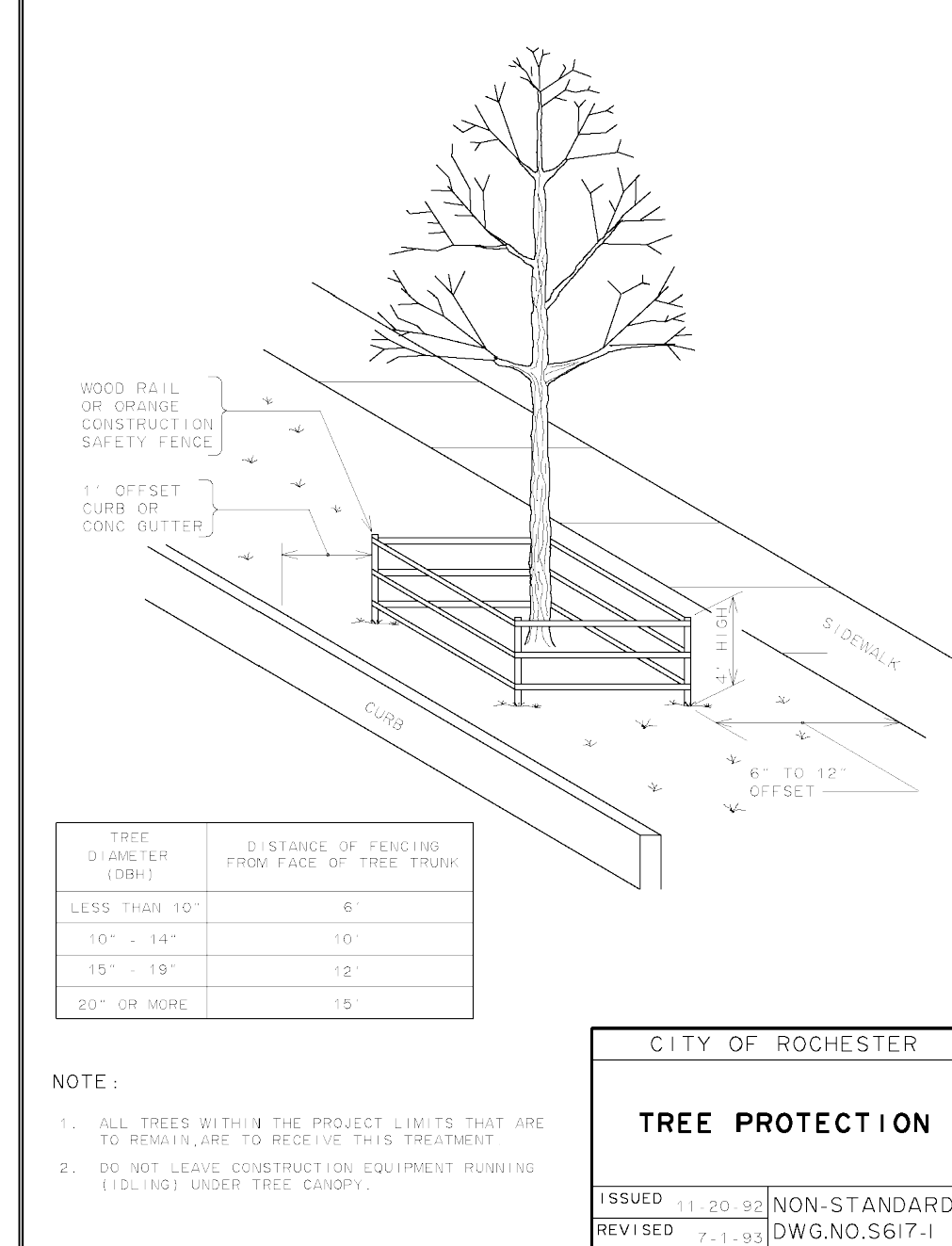
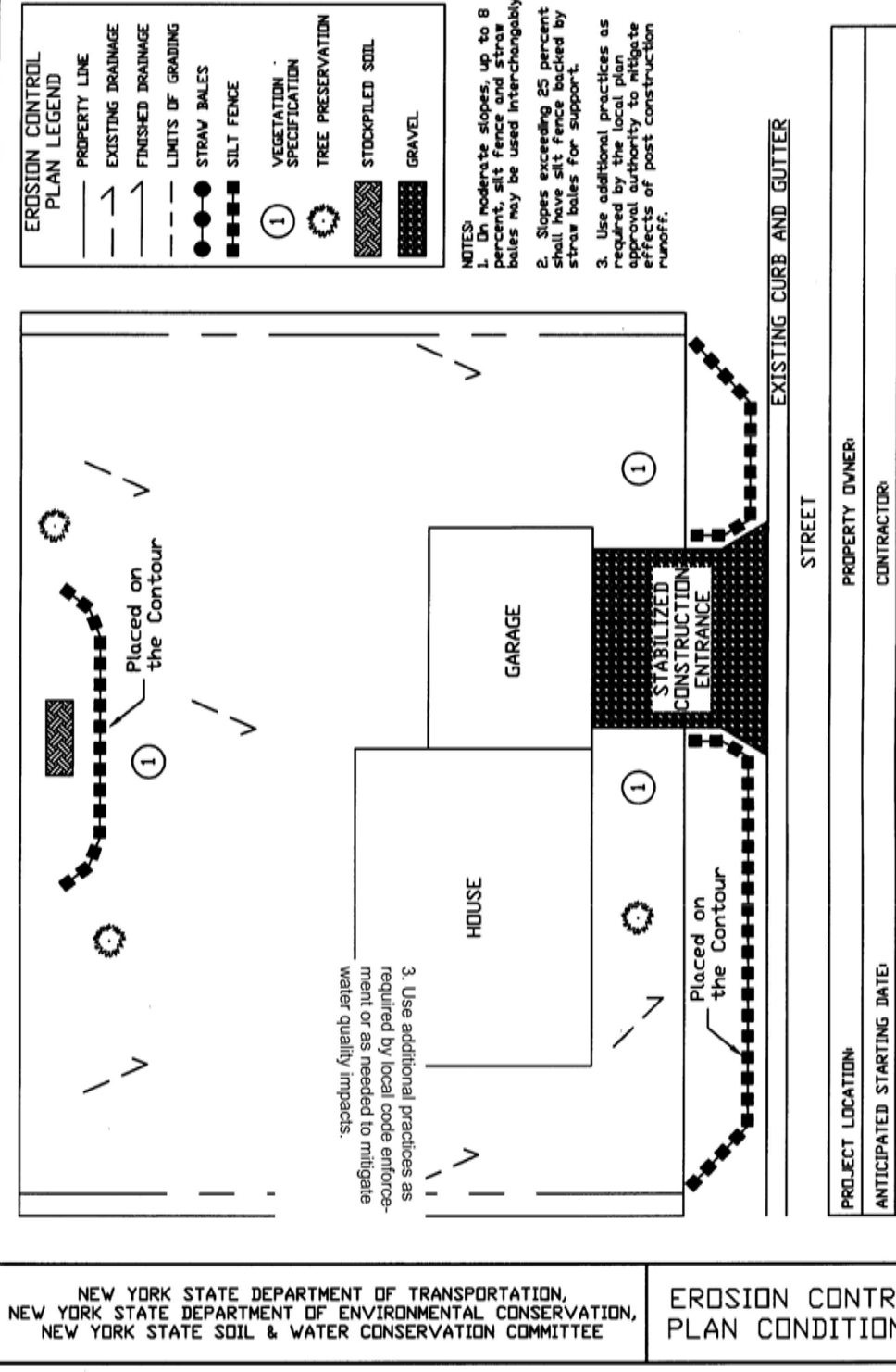
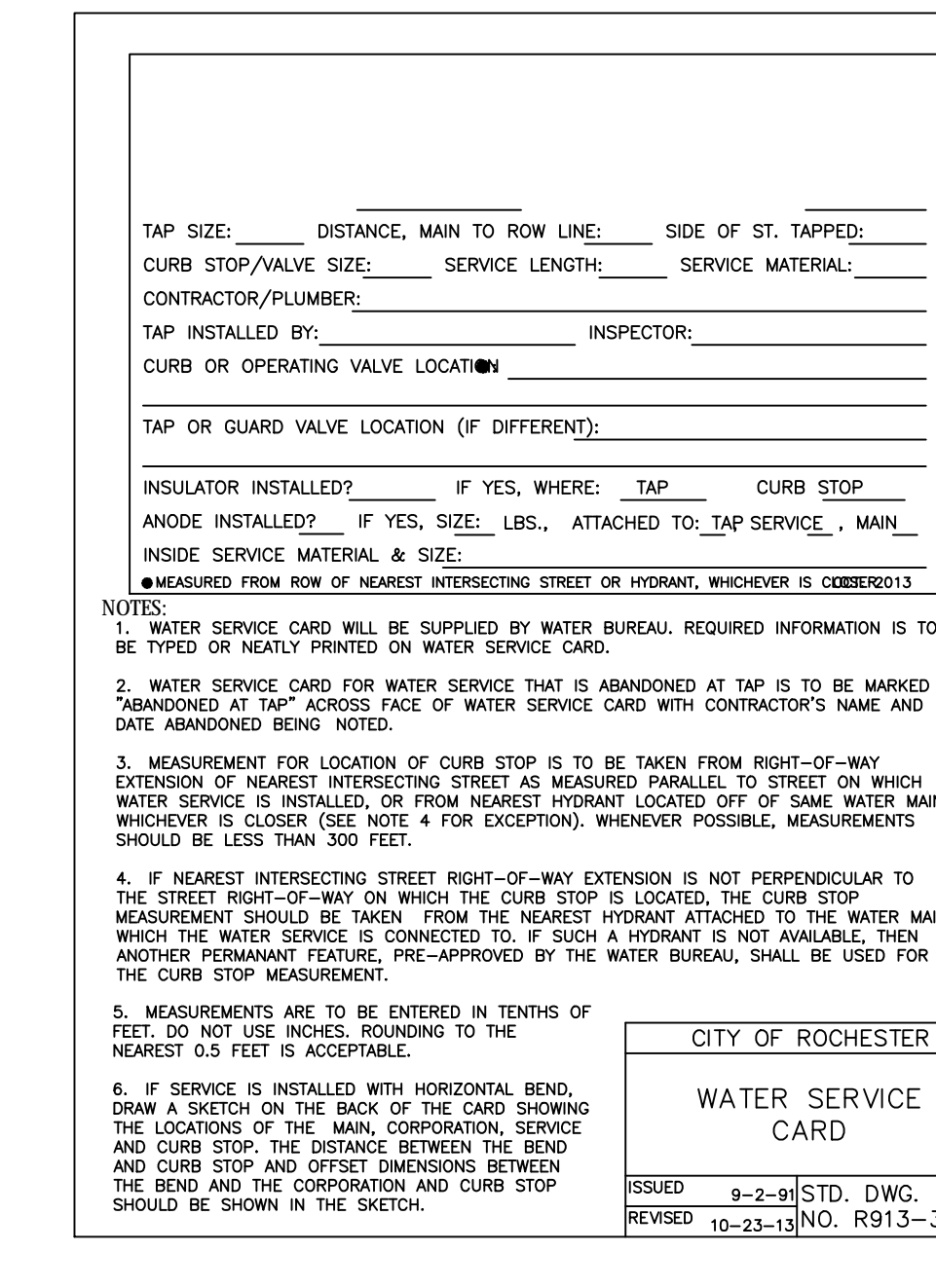
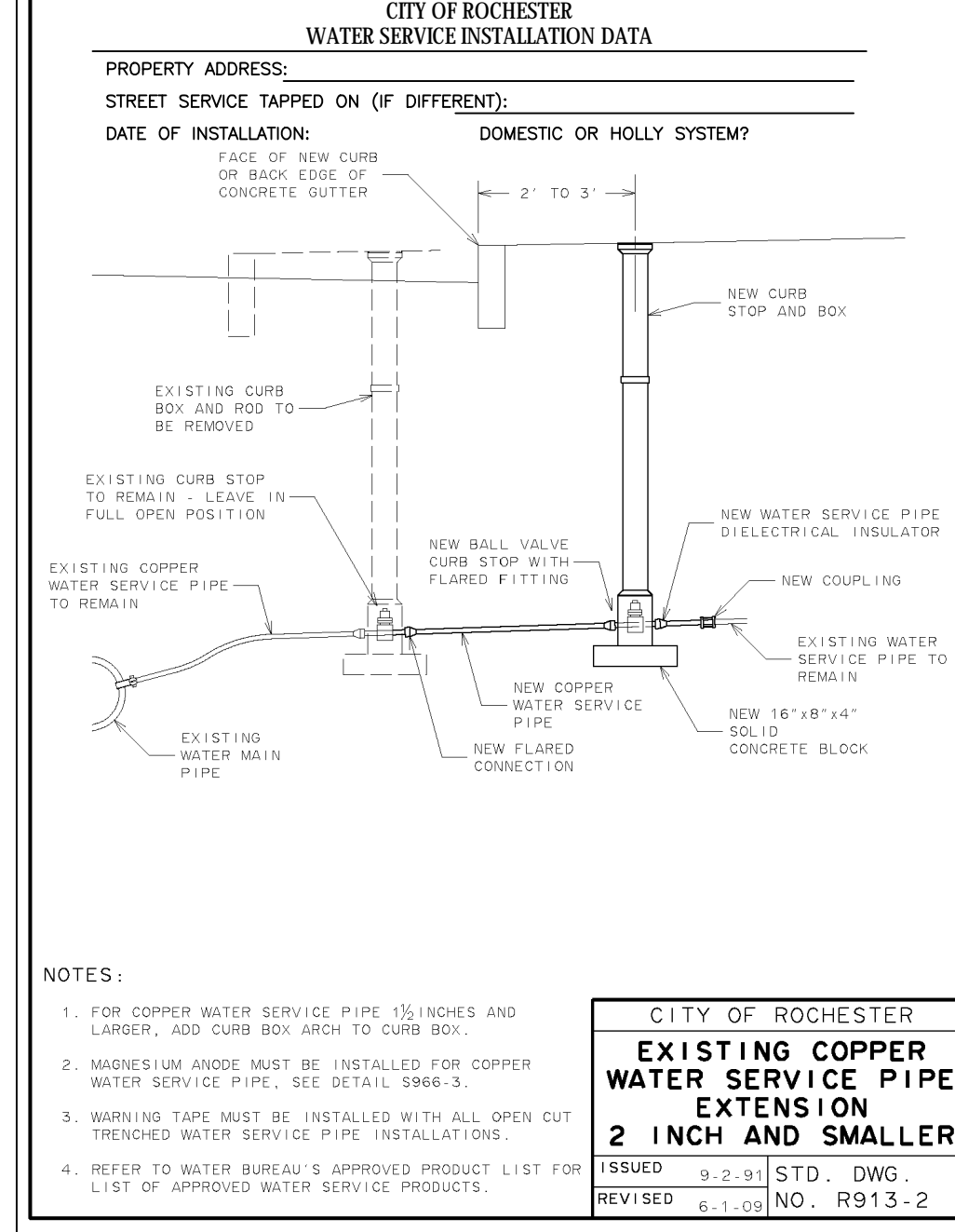
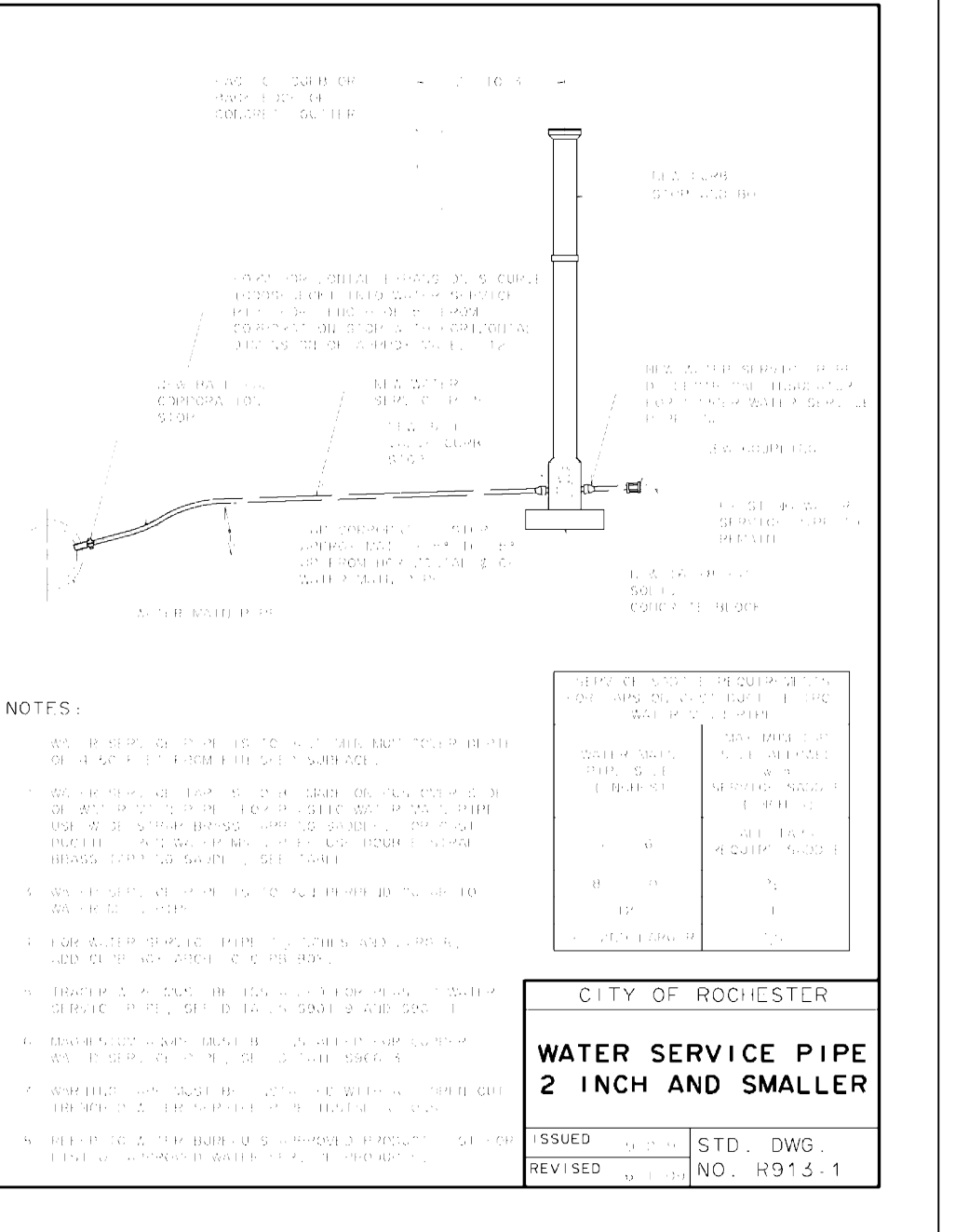
PHELPS & GORHAM PURCHASE, TOWNSHIP 14, RANGE 7, UNLOTTED, T.A. No. 106.29-2-22 106.29-2-22



FORESTRY GENERAL NOTES

- CONTRACTOR IS TO BE AWARE OF AND FAMILIAR WITH REQUIREMENTS OF SECTIONS 89.9 TREES AND 89.12 PENALTIES OF CITY CODE AS THEY WILL BE STRICTLY ADHERED TO. CITY CODE CAN BE FOUND ON CITY OF ROCHESTER'S WEB SITE AT [HTTP://WWW.CITYOFROCHESTER.GOV/SERVICES](http://www.cityofrochester.gov/services), UNDER "CITY CHARTER AND CODE ONLINE."
- CONTRACTOR IS TO PROVIDE PROTECTION FOR ALL EXISTING TREES WITHIN PROJECT LIMITS THROUGHOUT COURSE OF PROJECT TO MINIMIZE, AS MUCH AS POSSIBLE, ANY DAMAGE FROM OCCURRING TO EXISTING TREES AS RESULT OF CONTRACTOR'S OPERATIONS. TREE PROTECTION IS TO CONSIST OF ORANGE CONSTRUCTION SAFETY FENCING OR WOOD RAILS PLACED AROUND AND COMPLETELY ENCOMPASSING EACH EXISTING TREE AND IS TO BE IN PLACE BEFORE ANY WORK IS STARTED PER SECTION S617 TREE PROTECTION AND CONTRACT DOCUMENTS.
- OVERALL EXISTING TREE ROOT SYSTEM MUST REMAIN STRUCTURALLY ADEQUATE FOR EXISTING TREE TO WITHSTAND HEAVY WINDSTORMS. IN AREAS OF CURB/CONCRETE, GUTTER/PAVEMENT WORK, ANY EXISTING TREE ROOTS THAT ARE 2 INCHES OR LARGER IN DIAMETER AND ARE IN CONFLICT WITH SUCH WORK, MUST BE INSPECTED BY CITY FORESTRY BEFORE CUTTING CAN OCCUR. CONTRACTOR MUST CONTACT CITY FORESTRY AT (585) 428-7581 TO MAKE ARRANGEMENTS FOR SUCH INSPECTION. EXISTING TREE ROOTS THAT ARE SMALLER THAN 2 INCHES IN DIAMETER ARE TO BE CUT CLEANLY WITH SHARP IMPLEMENTS.
- IN AREAS OF SIDEWALK CONSTRUCTION, EXISTING TREE ROOTS THAT ARE LOCATED UNDER AREA OF SIDEWALK CONSTRUCTION ARE NOT TO BE CUT. IF ANY OF EXISTING TREE ROOTS ARE 2 INCHES OR LARGER IN DIAMETER, SUB BASE COURSE MATERIAL IS NOT TO BE INSTALLED WITHIN 1 FOOT OF EXISTING TREE ROOT(S), AND CONCRETE IS TO BE POURED OVER EXISTING TREE ROOT(S).
- IN AREAS WHERE EXISTING TREE ROOTS BECOME EXPOSED BY CONSTRUCTION ACTIVITIES, THEY ARE TO BE COVERED WITH MULCH, TOPSOIL OR MOISTENED BURLAP, AND WATERED STARTING IMMEDIATELY AFTER EXPOSURE AND CONTINUING UNTIL EXCAVATED AREA IS RESTORED.
- IF HEAVY EQUIPMENT MUST BE DRIVEN ON TREE LAWN OVER TREE ROOT ZONE, PLYWOOD MUST BE PLACED ON GROUND/TREE LAWN AREA SO AS TO DISPERSE COMPACTION AND PREVENT SOL RUTTING.

7	6	5	4	3	2	1	REVISIONS	DATE	BY
							REVISED PER CITY OF ROCHESTER FORESTRY COMMENTS	8/14/18	FAS
							REVISED PER CITY OF ROCHESTER FORESTRY COMMENTS	8/3/18	FAS



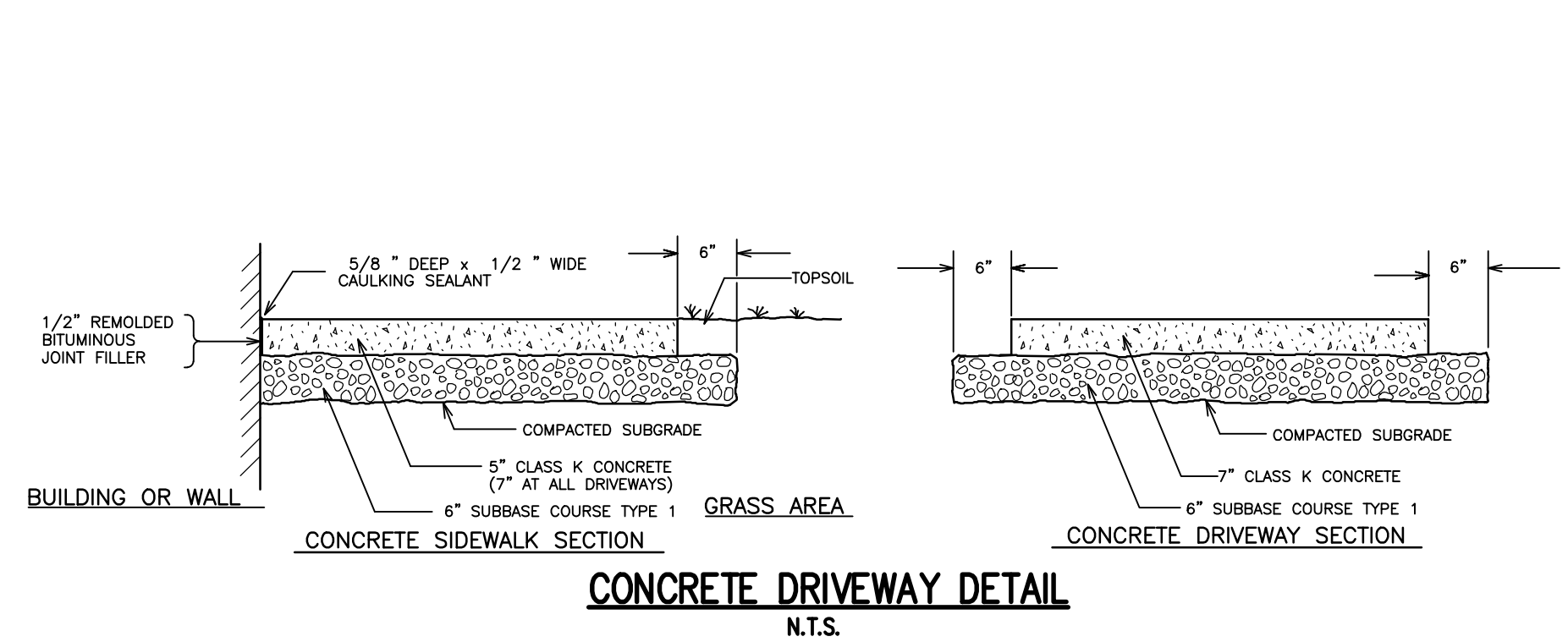
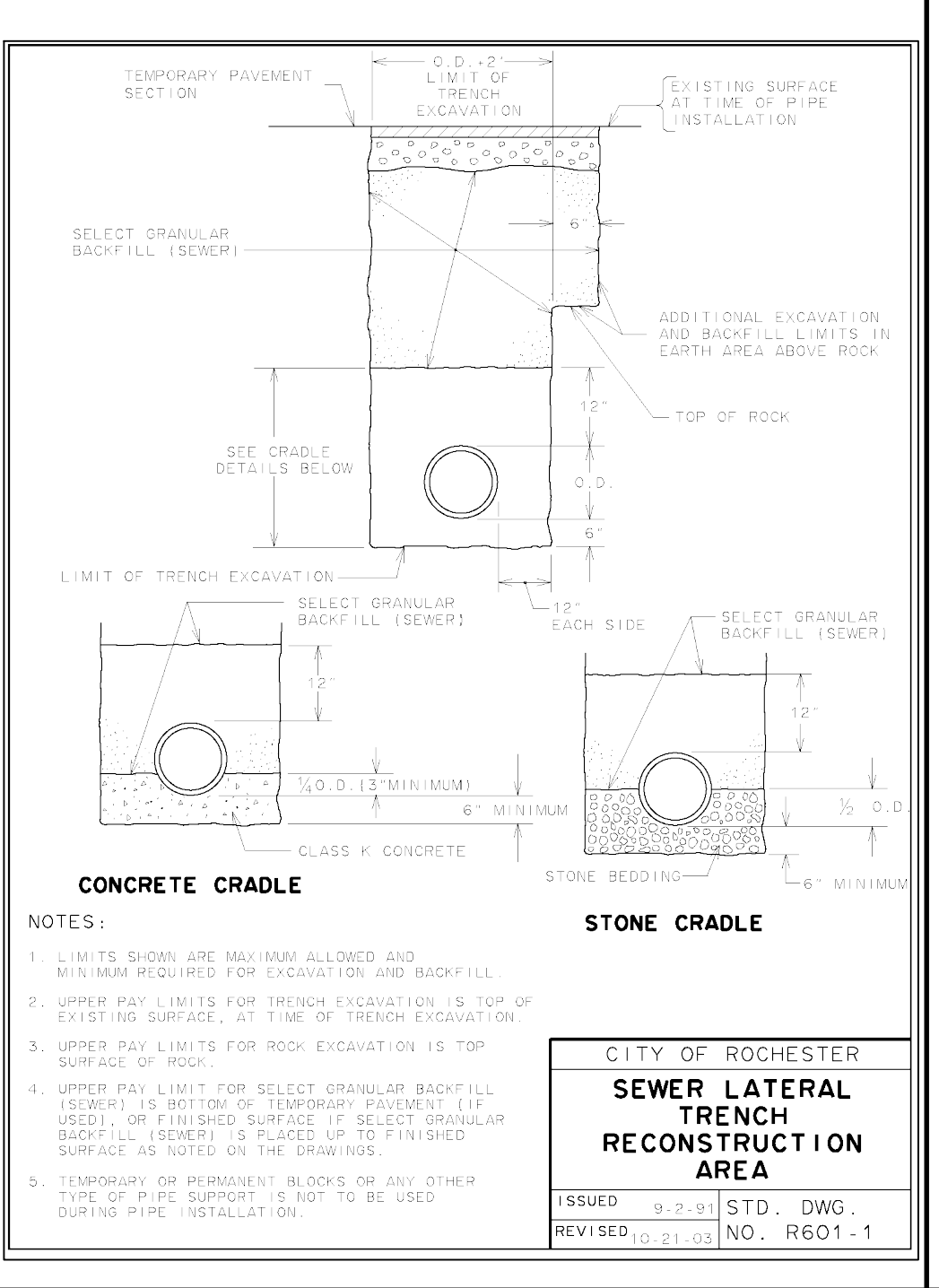
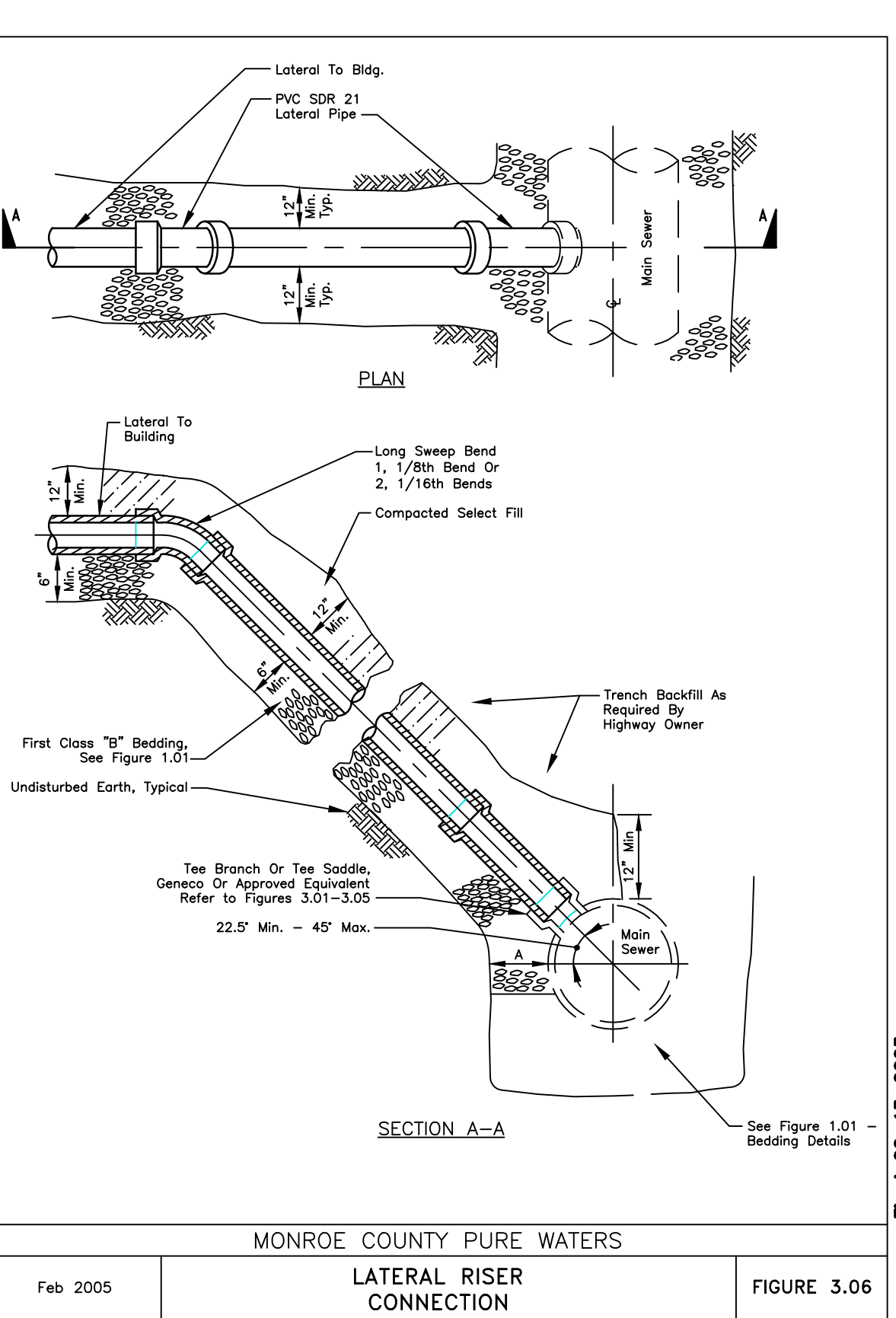
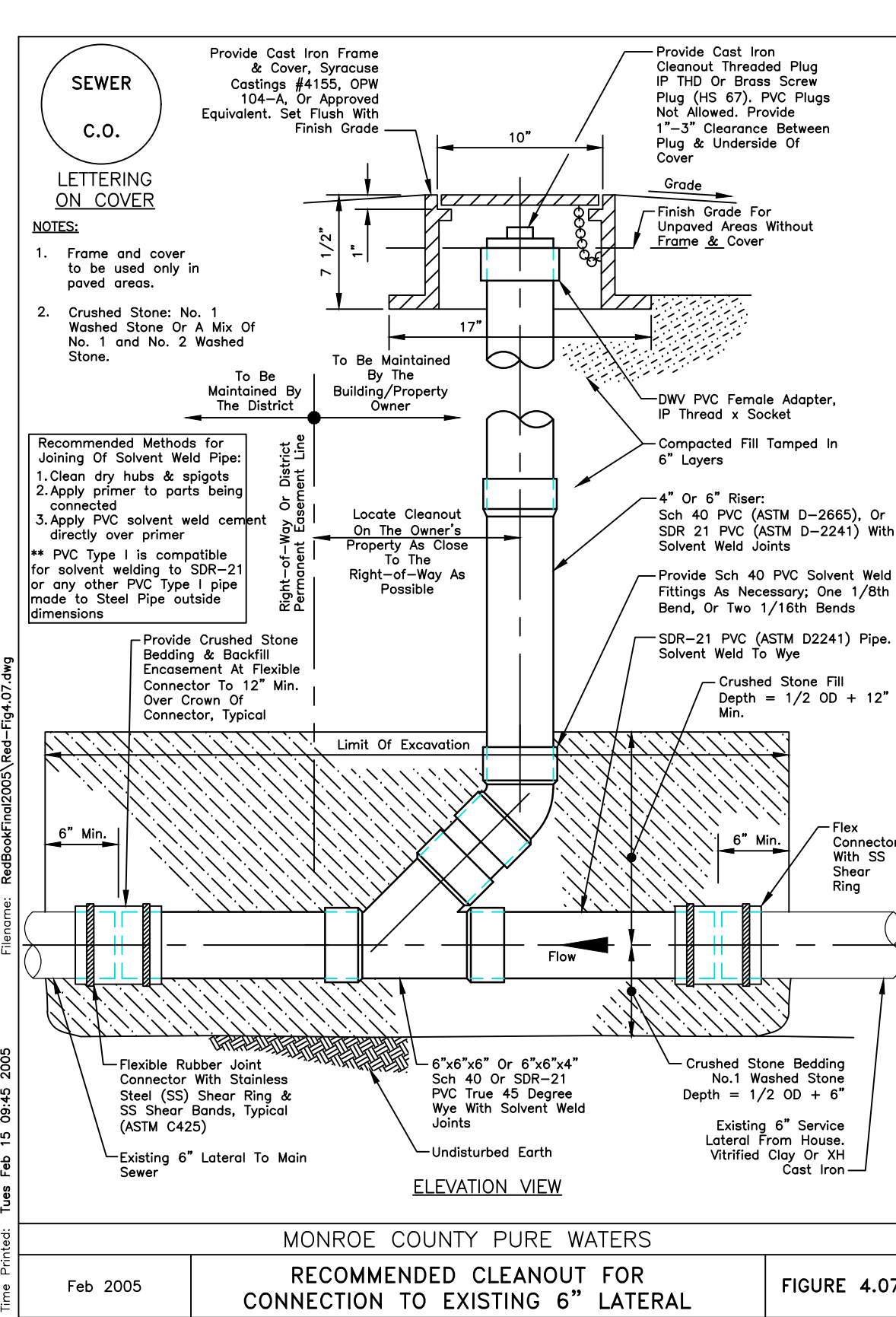
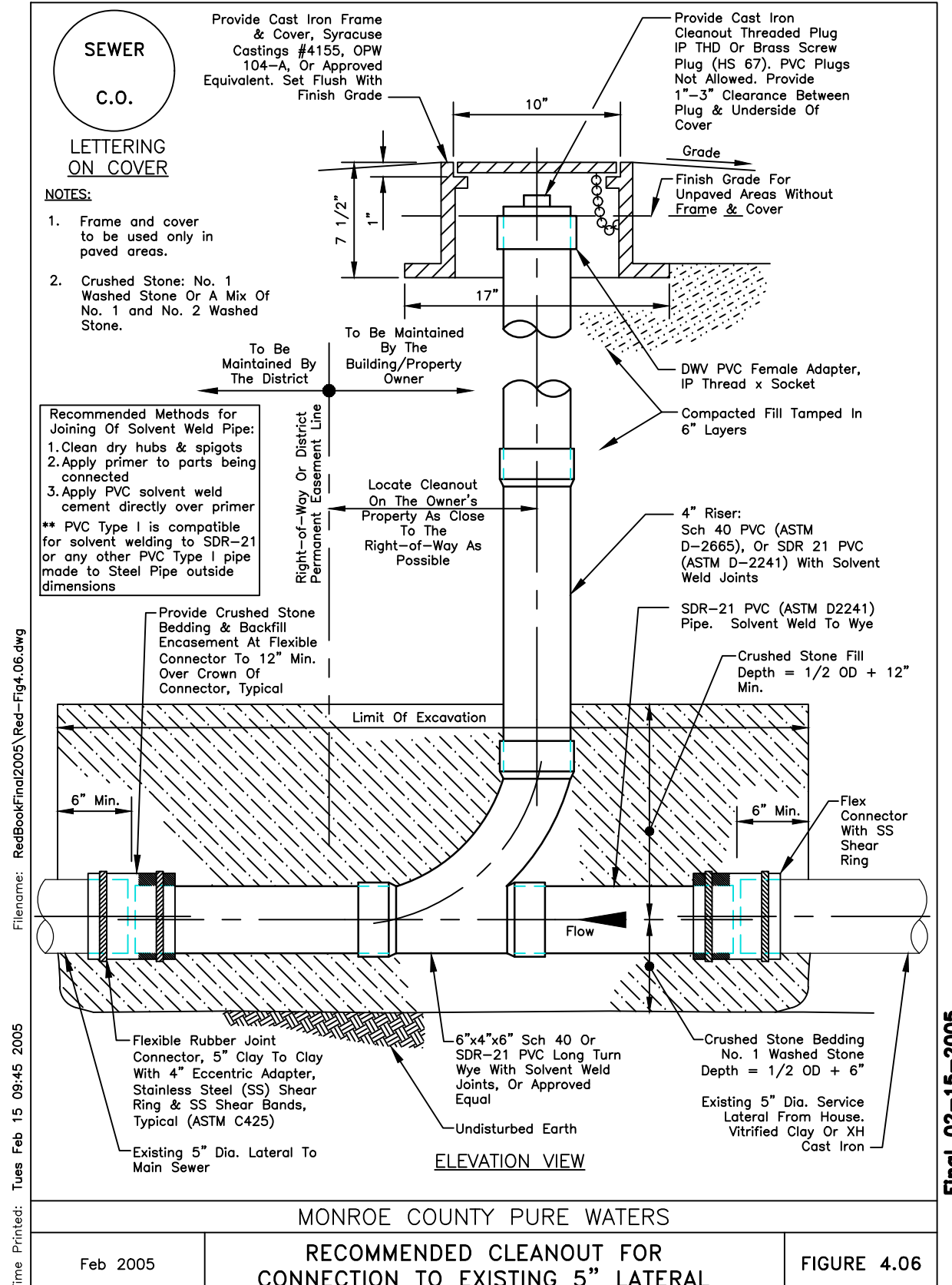
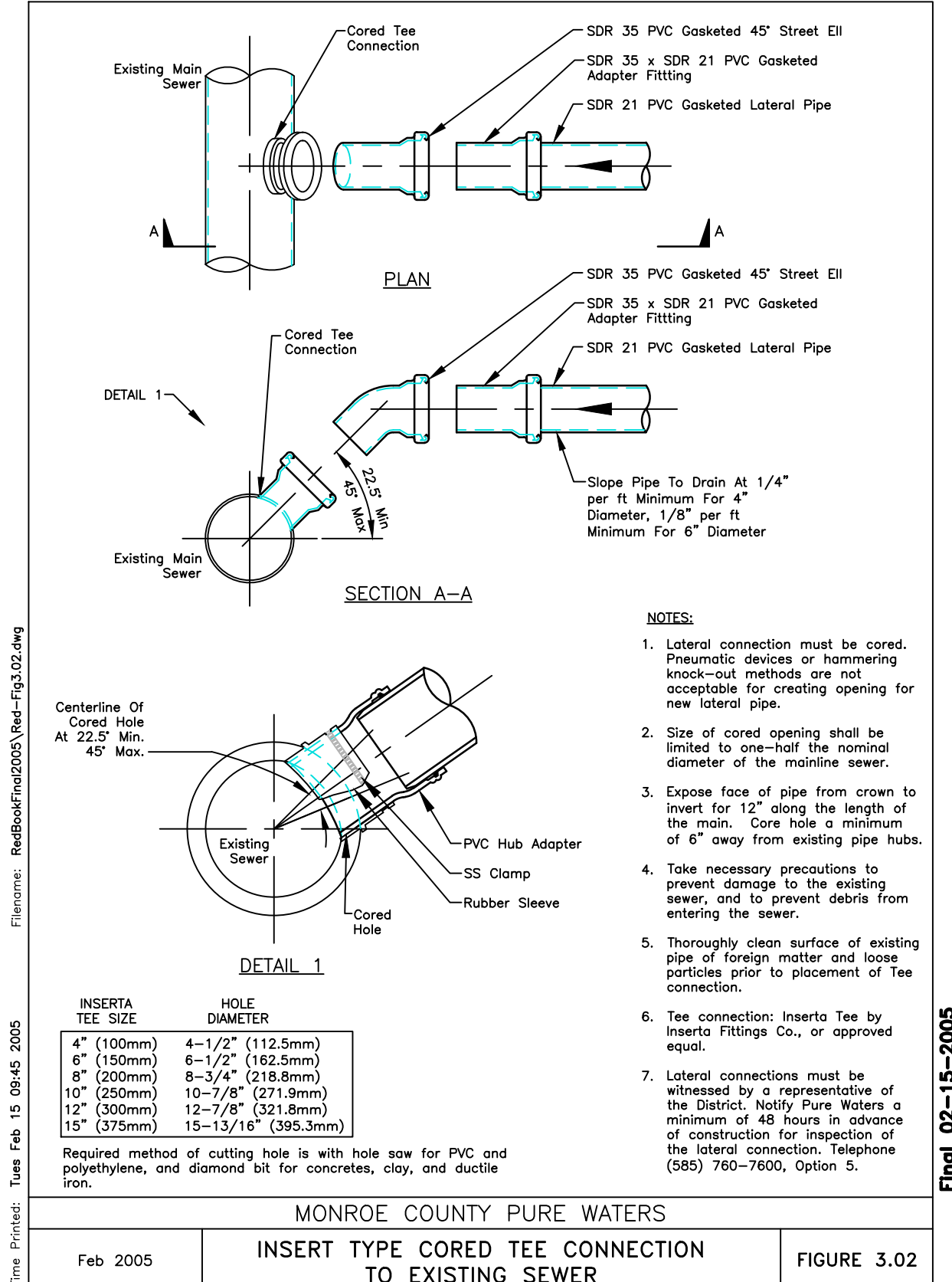
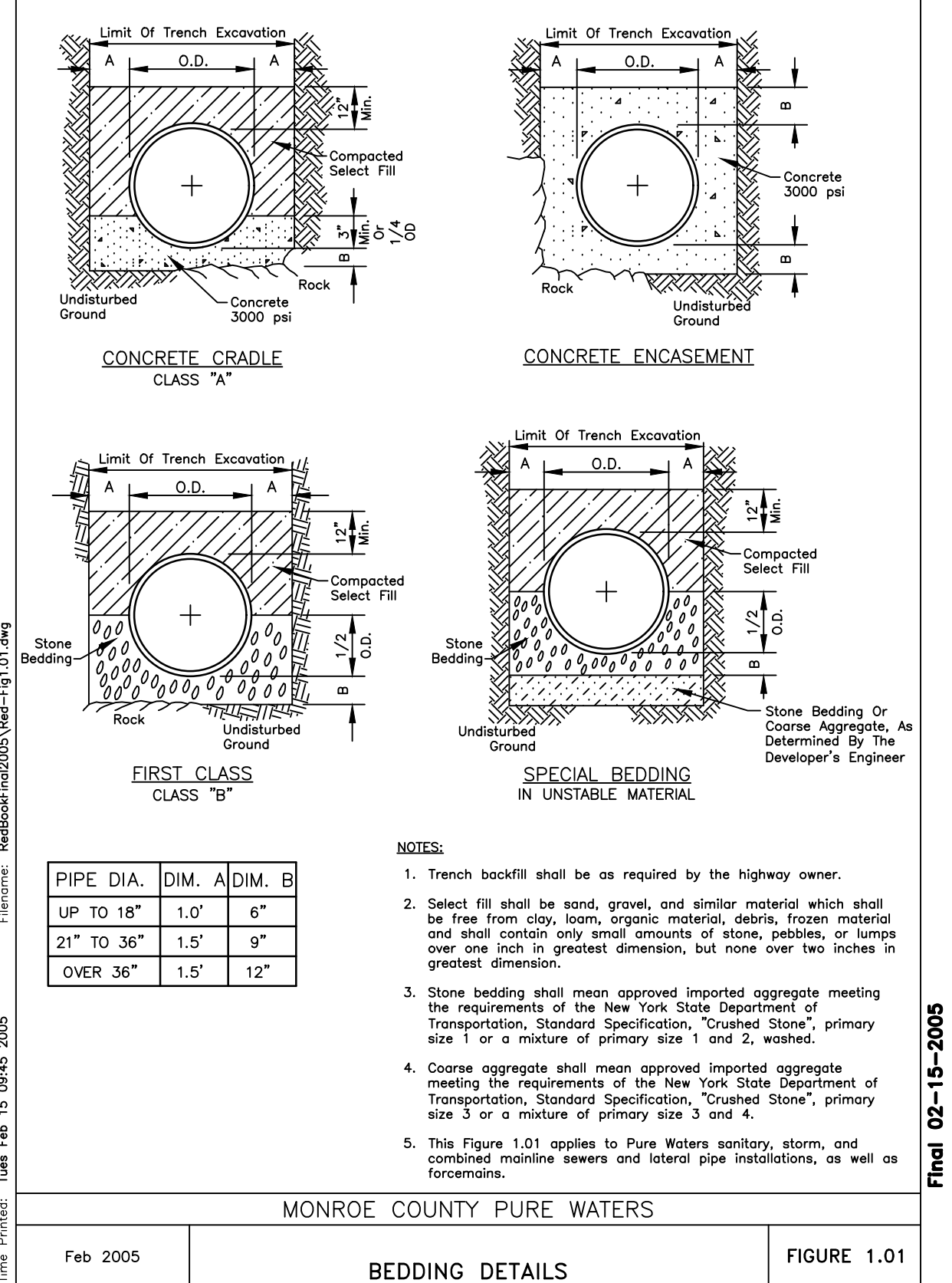
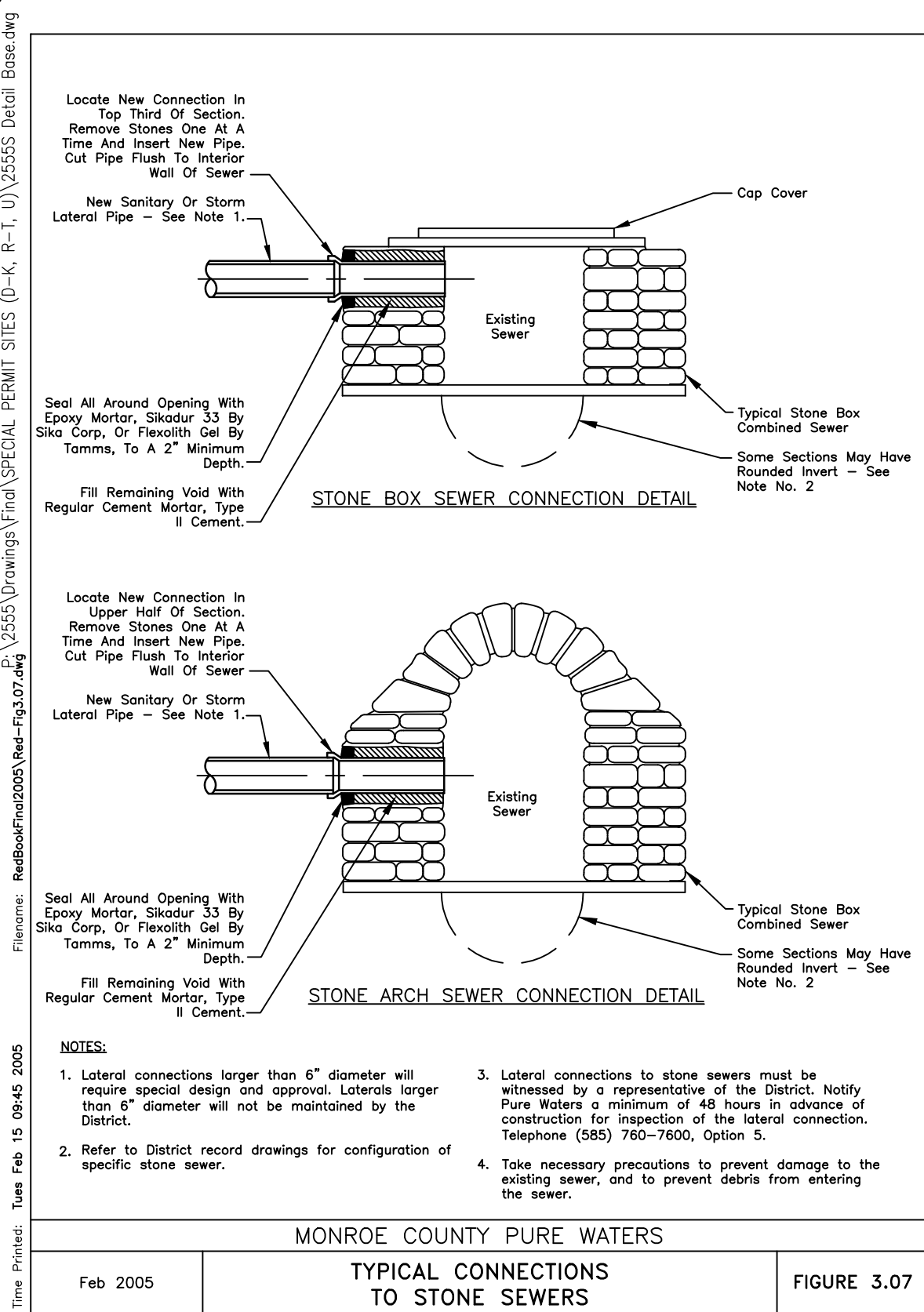
PUEBLO NUEVO HOUSING
FINAL
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
BUREAU OF MEDICAL DEVELOPMENT
CITY OF ROCHESTER, NY 14621

PROJECT
LOCATION
CLIENT

PROJECT MANAGER
JL SWEDROCK
PROJECT ENGINEER
FA SHELLEY
DRAWN BY
RR GLITCH
SCALE
DATE ISSUED
MARCH 2018
PROJECT NO.

DRAWING NO.
2555
27F

DETAIL SHEET



Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
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7	6	5	4	3	2	1	DATE	BY
							8/11/18	FAS

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NEW YORK, NY 10460
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WWW.BME-CC.COM

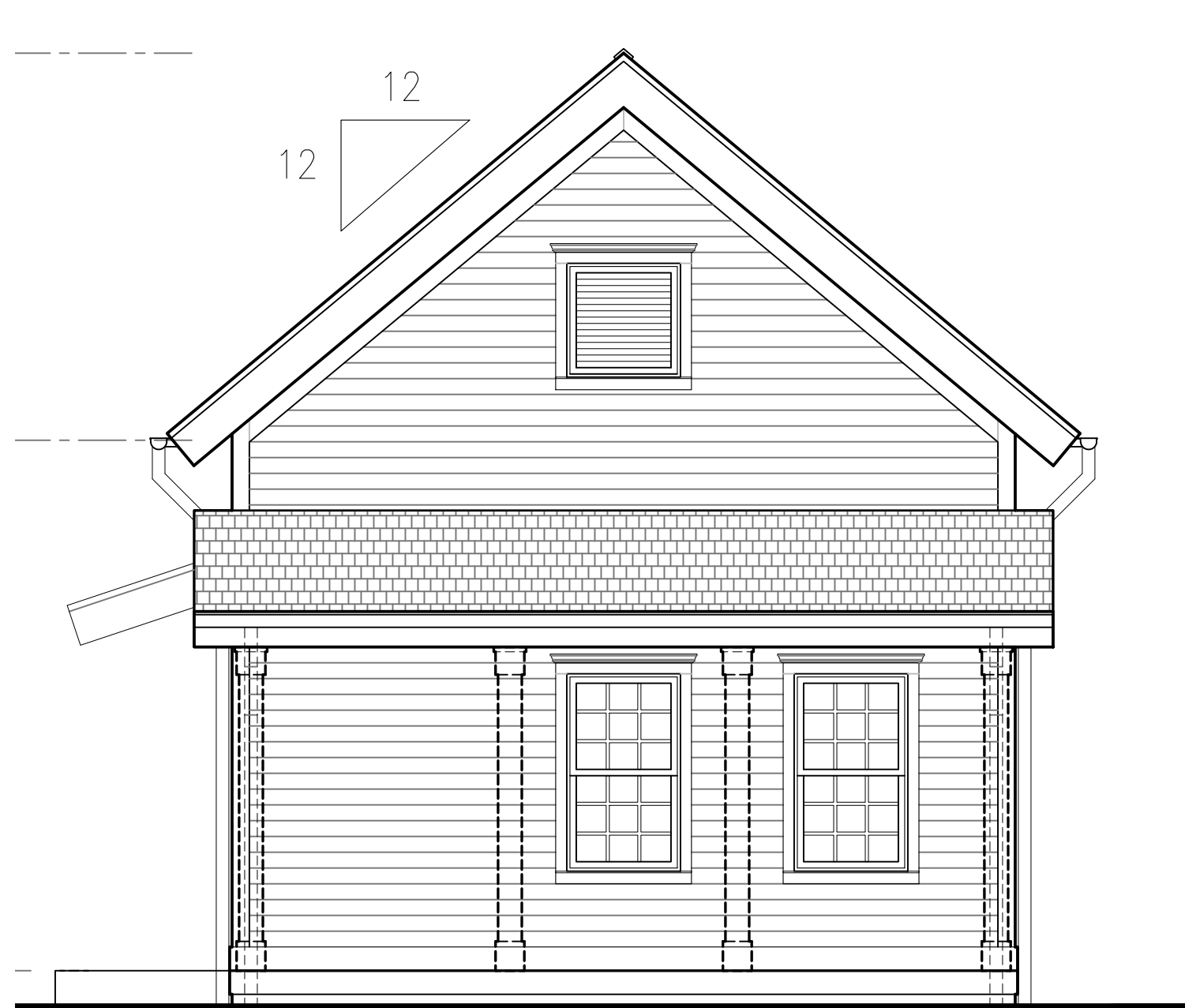


PUEBLO NUEVO HOUSING
FINAL
CITY OF ROCHESTER, MONROE COUNTY, NEW YORK STATE
IBERO AMERICA DEVELOPMENT CORPORATION
ROCHESTER, NY 14621

PROJECT	LOCATION	CLIENT	DRAWING TITLE

PROJECT MANAGER	JL SWEDROCK
PROJECT ENGINEER	FA SHELLEY
DRAWN BY	RR GLITCH
SCALE	DATE ISSUED
NTS	MARCH 2018
PROJECT NO.	2555
DRAWING NO.	28F

NOT APPROVED
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.



3 CONCEPT BACK ELEVATION
1/4"=1'-0"

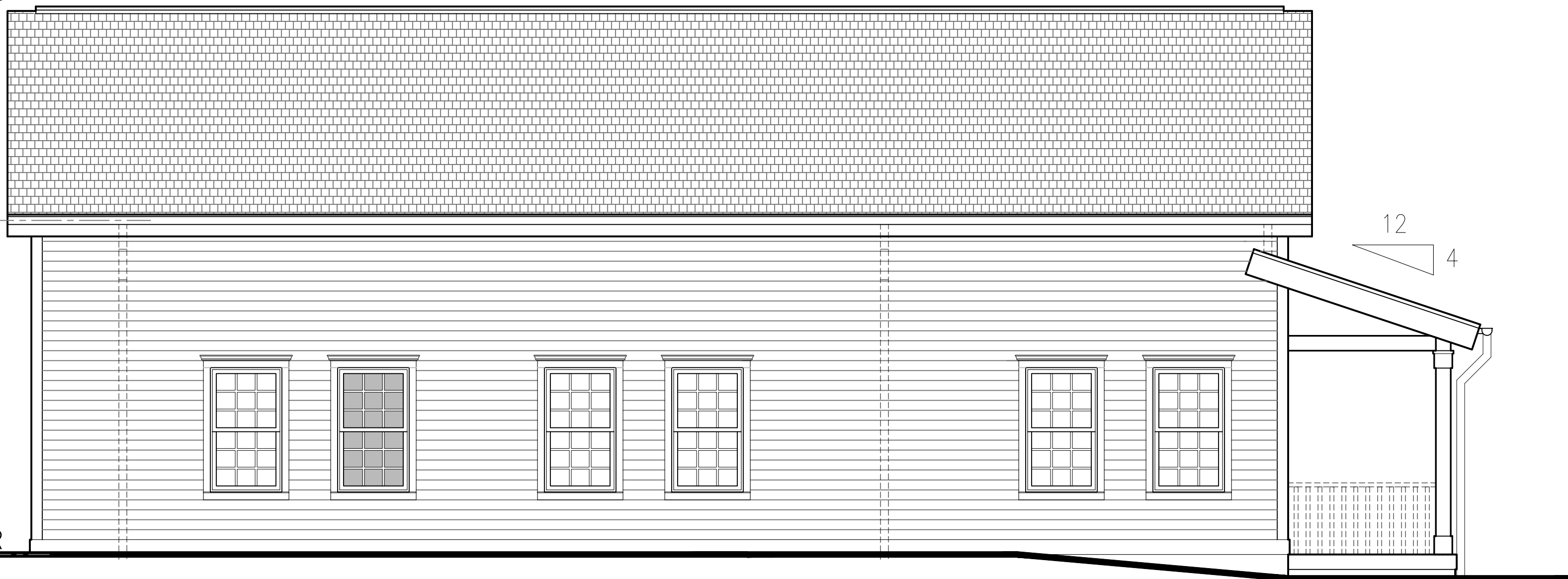


2 CONCEPT FRONT ELEVATION
1/4"=1'-0"

RIDGE
ELEV: +/24-2 1/2"

TRUSS BEARING
ELEV: +16'-0"

FINISH FIRST FLOOR
ELEV: +0'-0"



4 CONCEPT SIDE ELEVATION
1/4"=1'-0"

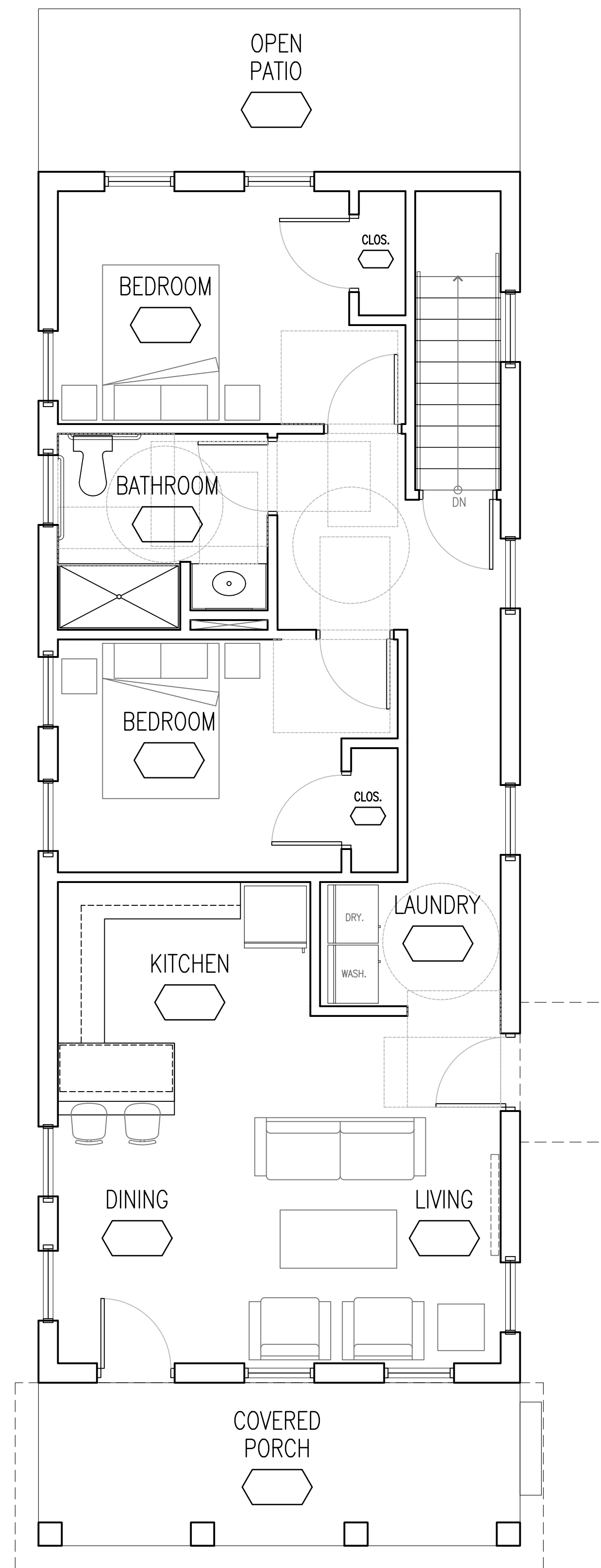
RIDGE
ELEV: +/24-2 1/2"

TRUSS BEARING
ELEV: +16'-0"



FINISH FIRST FLOOR
ELEV: +0'-0"

5 CONCEPT SIDE ELEVATION
1/4"=1'-0"

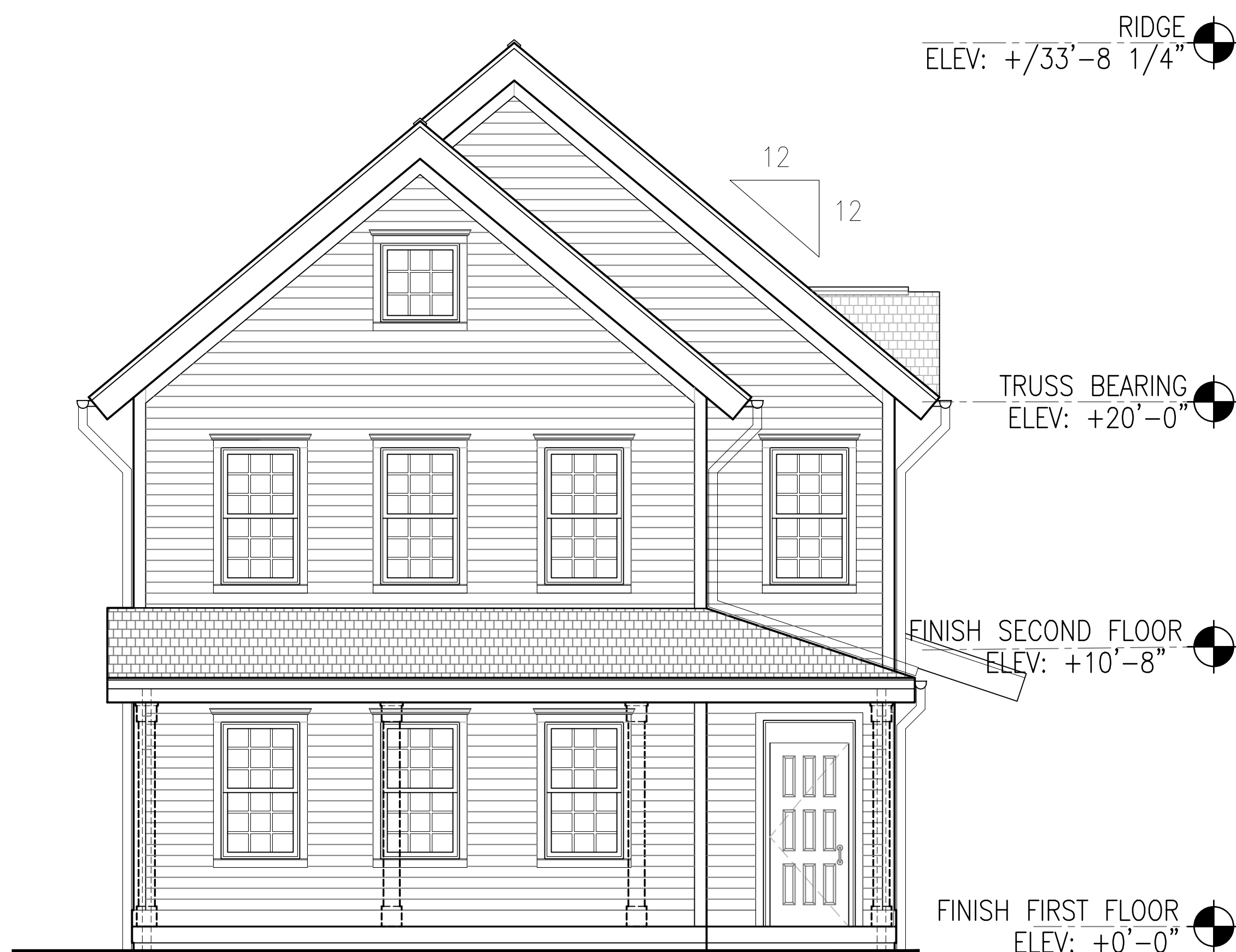


ONE-FAMILY
DWELLING
(1ST FLOOR)
1,088 GSF

1 CONCEPT FIRST FLOOR PLAN
1/4"=1'-0"



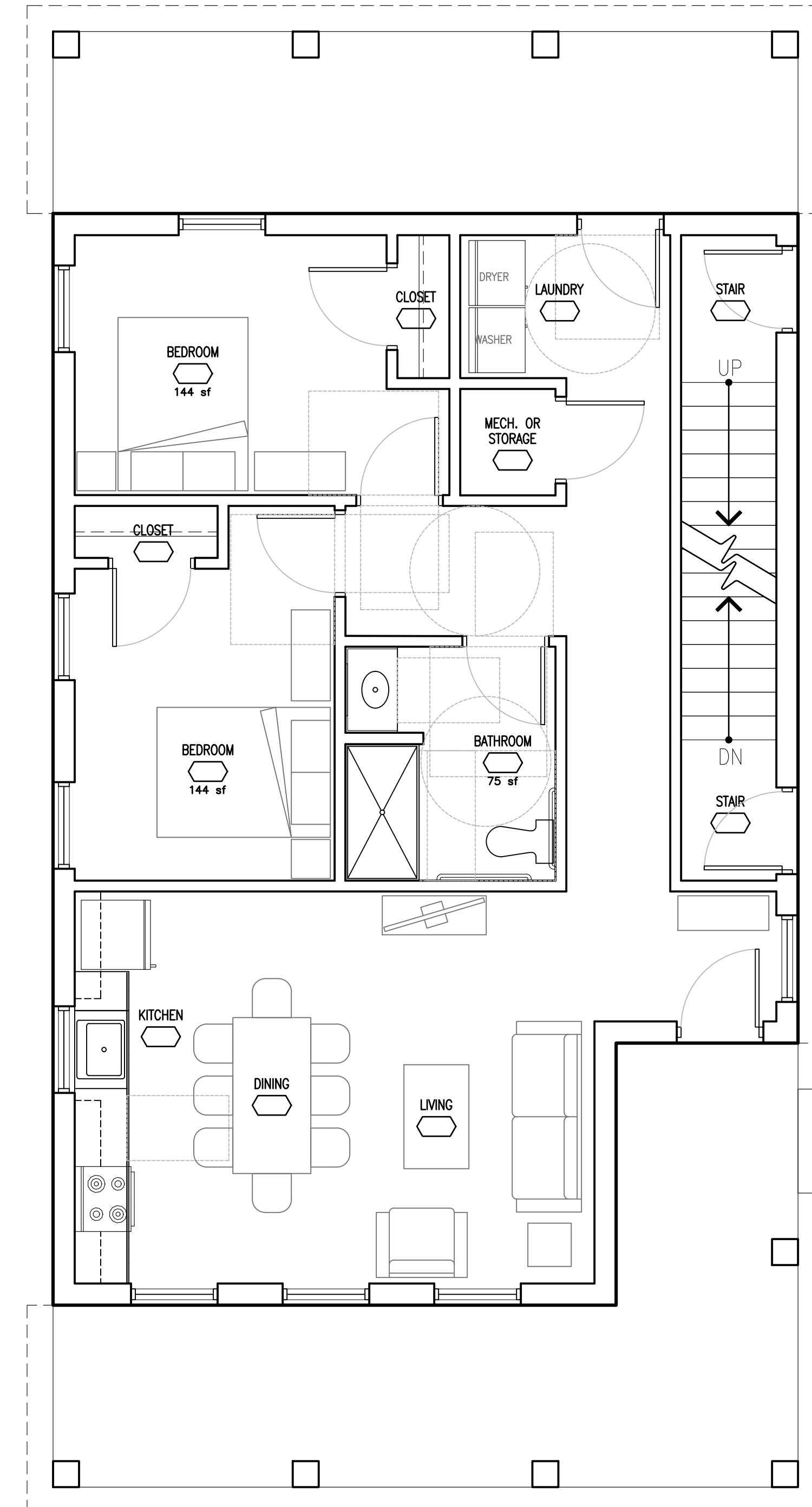
3 CONCEPT BACK ELEVATION
1/4"=1'-0"



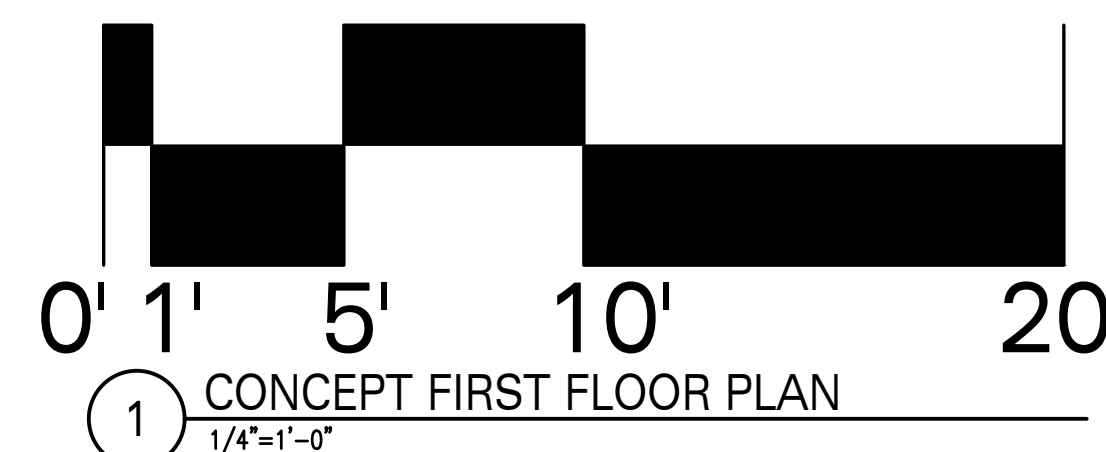
2 CONCEPT FRONT ELEVATION
1/4"=1'-0"



4 CONCEPT SIDE ELEVATION
1/4"=1'-0"



TWO-FAMILY
DWELLING
(1ST FLOOR)
(2ND FLR. IS SIMILAR)
1,134 GSF EACH FLOOR

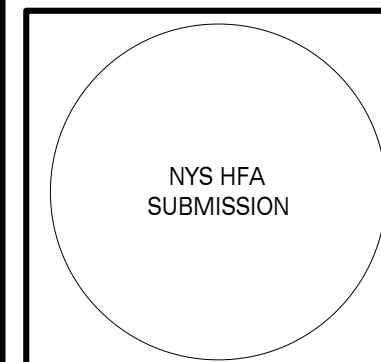


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ROCHESTER, NEW YORK 14621

2-FAMILY HOUSE
FLOOR PLANS & EXTERIOR ELEVATIONS



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and the notation altered by followed
by his/her signature and a specific
description of alterations.

PLAN PROJECT No.
101.16.01.01

DATE
03.23.18

a101