

62-64 SCIO STREET & MATHEWS ST  
ROCHESTER NY 14607

ARCHITECT  
PARDI PARTNERSHIP ARCHITECTS P.C.  
25 CIRCLE STREET, SUITE 101  
ROCHESTER, NEW YORK 14607

## ARCHITECTS PROJECT #00000

SHEET	TITLE	ISSUED	REVISED
GENERAL			
G100	TITLE SHEET	6/1/2020	
G101	GENERAL RESIDENTIAL NOTES	6/1/2020	
G102	GENERAL MEP NOTES	6/1/2020	
ARCHITECTURE			
A001	SITE PLAN	6/1/2020	
A100	1ST FLOOR	6/1/2020	
A101	2ND FLOOR	6/1/2020	
A102	3RD FLOOR	6/1/2020	
A103	4TH FLOOR	6/1/2020	
A105	FOUNDATION PLAN	6/1/2020	
A106	FRAMING PLANS	6/1/2020	
A200	EXTERIOR ELEVATIONS	6/1/2020	
A201	EXTERIOR ELEVATIONS	6/1/2020	
A300	BUILDING SECTIONS	6/1/2020	
A301	BUILDING SECTIONS	6/1/2020	
A302	BUILDING SECTIONS	6/1/2020	
A303	BUILDING SECTIONS	6/1/2020	
A300	3D VIEWS	6/1/2020	

AB	Anchor Bolt	LAB	Laboratory
ABV	Above	LAV	Lavatory
ACQUIST	Acoustical	LB	Pounds
ADJ	Adjustable	LBF	Lb Linear Foot
ALUM1	Aluminum	LT	Lightweight
ARCH	Architectural	LVL	Laminated Veneer Lumber
BD	Board	MECH	Mechanical
B.M.	Beach Mark	MEHB	Methylene
BTH	Bottom	MTL	Metal
BSHT	Basement	MEZ	Mezzanine
BTUN	Between	MFGR	Manufacturer
CB	Catch Basin	MIN	Minimum
CER	Ceramic	MO	Masonry Opening
CI	Cable Tray		
CL	Control Joint	N/A	Not Applicable
CJ	Center Line	NC	Not In Contract
CLG	Ceiling	NO	Number
CLO5	Closet	NOM	Nominal
CO	Clean Out		
COL	Column	OA	Overall
CONC	Concrete	OC	On Center
CON5T	Construction	OD	Outside Diameter
CONT	Continuous	OFF	Off
CONTR	Contractor	OH	Overhead
CPT	Carpet	OPNG	Opening
CTR	Ceramic Tile	OZ	Ounce
CT	Center		
DEPT	Department	PLM1	Plate
DRTL	Detail	PLUD	Plugged
DF	Drinking Fountain	PL	Plat
DIA	Diameter	FREBAP	Prefabricated
DIFF	Diffuser	PROP	Property
DM	Drum	PT	Point
DISP	Dispenser	PSE	Pounds per Square Foot
DLD	Dead Load	PFI	Pounds per Square Inch
DN	Down	PTUB	Pressure Treated Wood
DO	Ditto	PVC	Poly-Vinyl Chloride
DR	Door		
DS	Down Spout	QT	Quarry Tile
E8	Each	R	Riser
ELEV	Elevation	RAD	Radius, Radiation
ELEC	Electrical	RCD	Roor Drain
B-EREG	Emergency	RECEP	Reception
ENCL	Enclosure	REFR	Refrigerator
EQ	Equal	RENF	Reinforced-est-irng
EQUIP	Equipment	REQD	Required
EXIST	Existing	RTN	Return
EXP	Expiration	RTM	Room
EXT	Exterior	RO	Roof Opening
FDC	Fire Department Connection	SCHED	Schedule
FEN	Foundation	SECT	Section
FE	Fire Extinguisher	SQ-FOOT	Square Foot
FC	Fire Extinguisher Cab.	SHT	Sheet
FIN	Finish, Finished	SH	Similar
FIR	Floor	SPEC	Specification
FLG	Footing	SS	Stainless Steel
FT	Foot or Feet	STL	Steel
GA	Gauge	STD	Standard
GALV	Galvanized	STOR	Storage
GEN	General	STRUCT	Structural
GL	Glass	SUP	Suspended
GLB	Gypsum Wall Board		
HB	Hose Bib	T	Tread
HDR	Header	TEL	Telephone
HDU	Headure	TEMP	Temporary
H1	Hollow Metal	TAG	Tongue and Groove
HT	Height	TOP	Top of Flate
HTR	Heater	THK	Thickness
HVAC	Heating Venting & Air Conditioning	THRES	Threshold
		TYP	Typical
HYD	Hydrant	UG	Underground
INCL	Included, Including	VENT	Ventilation
ID	Inside Diameter	VERT	Vertical
IN	Inch	VWL	Vinyl Wall Covering
INSL	Insulation		
INT	Interior	W	With
INV	Invert	WC	Water Closet
JAN	Janitor	WD	Wood
JST	Joint	WI	Without
JO	Joint	W/O	Without
JT	Joint	WP	Waterproof
		WR	Water Resistant
		WT	Weight
		WUF	Welded Wire Fabric

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**REFERENCE:** STATE OF NEW YORK  
EDUCATION LAW, PARAGRAPH 60.01 - ARCHITECTURE  
§60.01(d), 7/04

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PRELIMINARY  
NOT FOR CONSTRUCTION

SCIO & MATHEWS STREET  
TOWNHOUSES

62-64 SCIO STREET & MATHEWS STREET  
ROCHESTER NY 14607

PROJECT NO.:	00000
ISSUE DATE:	6/1/2020
PLOT DATE:	6/1/2020 10:36:40 AM
SCALE:	1" = 1'-0"
DRAWN BY:	JMD

[illegible]

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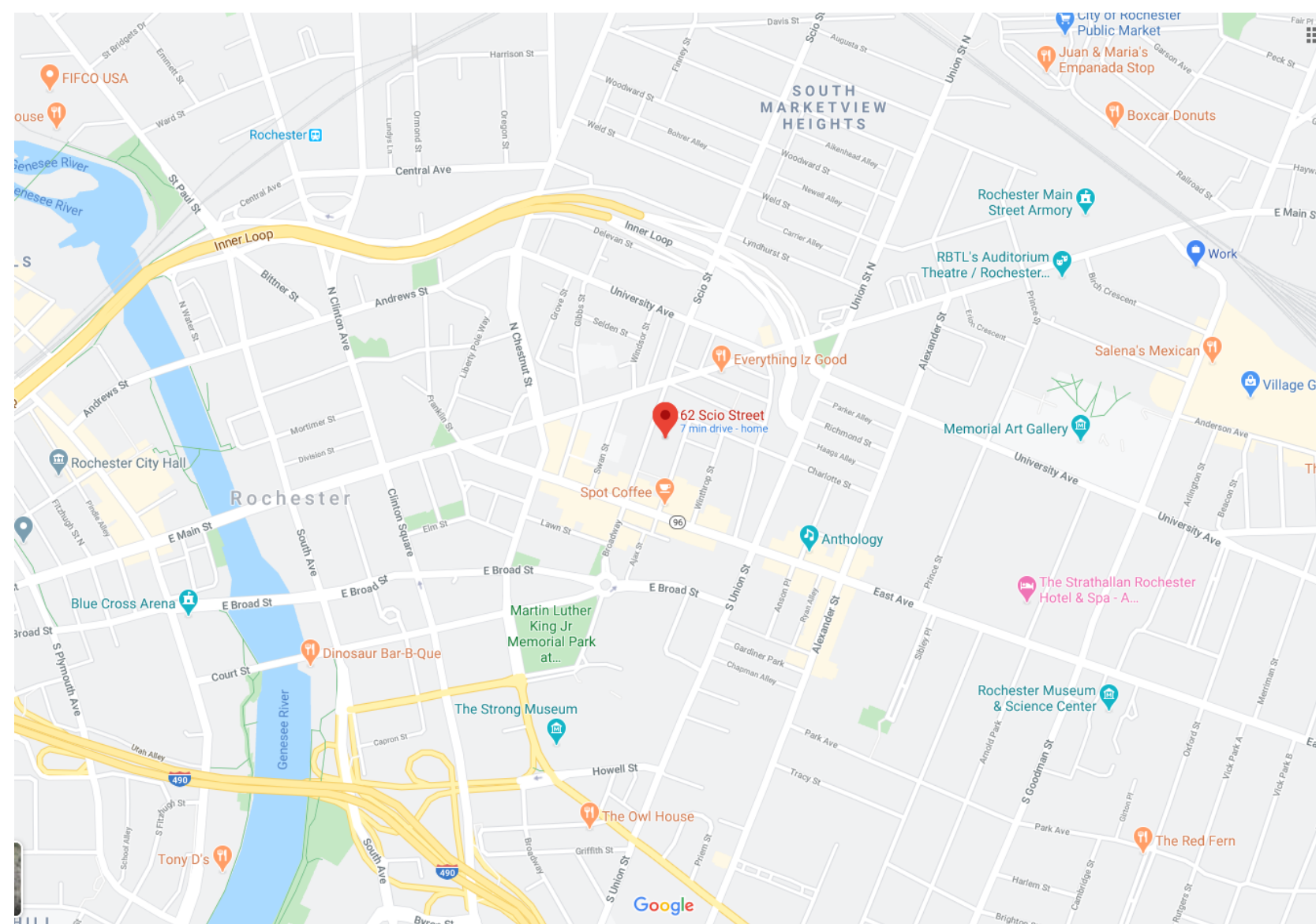
TITLE SHEET

DRAWING NUMBER:

# G100

## 3D PERSPECTIVE

## PROJECT LOCATION



## DRAWING REFERENCE

1. Detail Designation

2. Building Elevation

3. Building Section

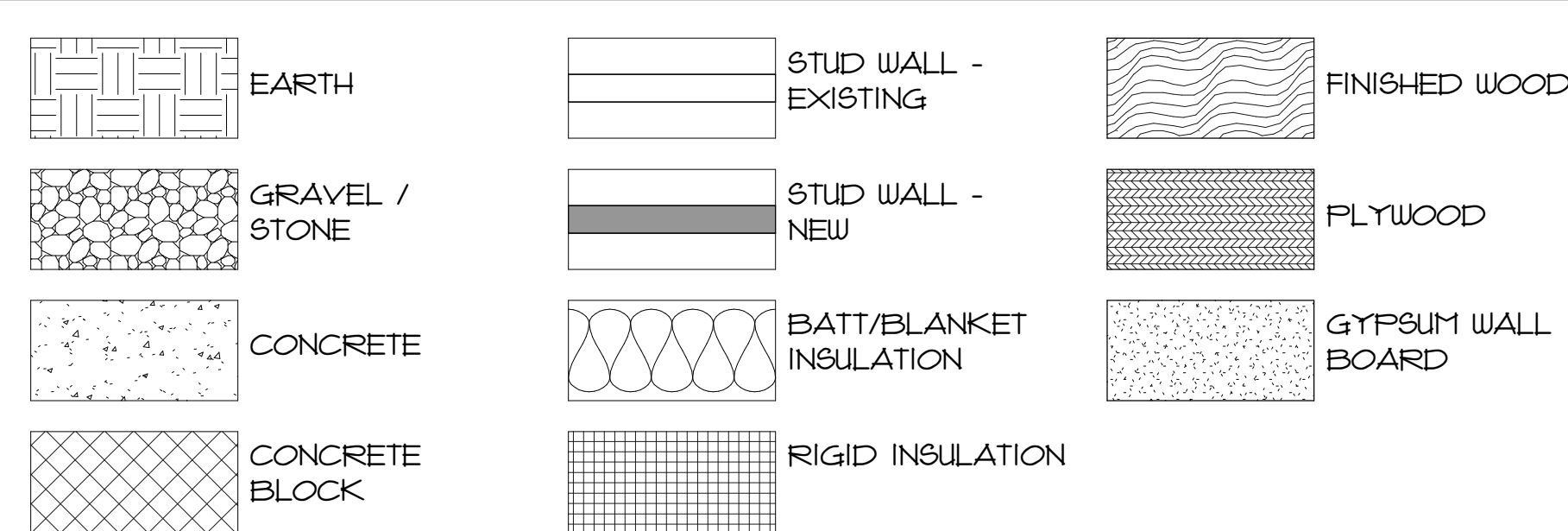
4. Reference to Plan (OR SECTION AREA ENLARGEMENT)

5. Interior Elevation

6. Drawing or Detail Number

7. Detail

## MATERIAL SYMBOLS















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EDUCATION LAW, PART 69 - ARCHITECTURE  
69.5(3)(a), 7/94

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TOWNHOUSES

62-64 SCIO STREET & MATHEWS ST  
ROCHESTER NY 14607

PROJECT NO.:	00000
ISSUE DATE:	6/1/2020
PLOT DATE:	6/1/2020 10:36:02 AM
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DRAWN BY:	JMD

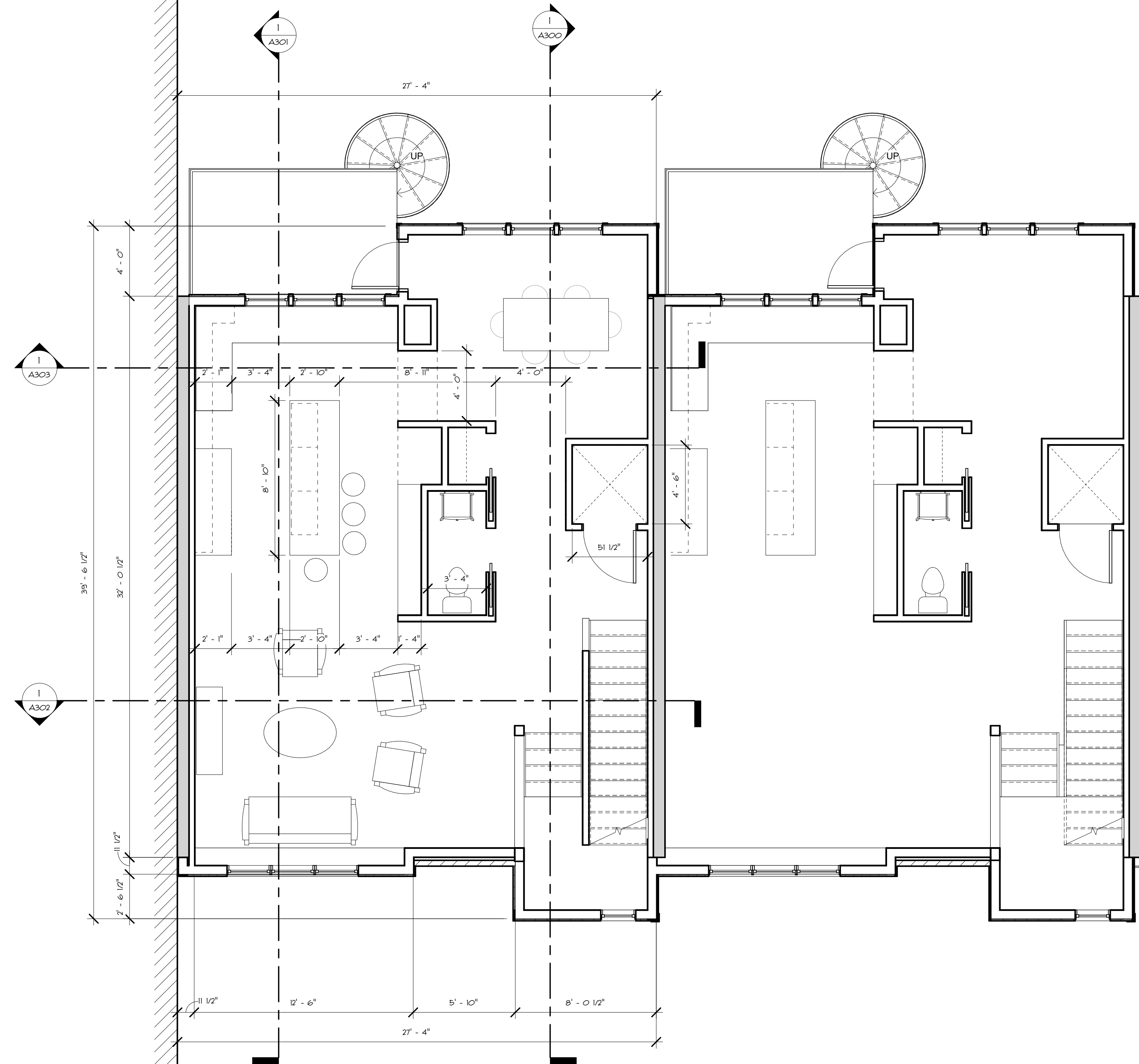
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DRAWING TITLE:

2ND FLOOR

DRAWING NUMBER:

**A101**



1 002  
SCALE: 1/4" = 1'-0"





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EDUCATION LAW PART 69 - ARCHITECTURE  
69.5(3)(a), 7/94

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62-64 SCIO STREET & MATHEWS ST  
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PROJECT NO.:	000000
ISSUE DATE:	6/1/2020
PLOT DATE:	6/1/2020
SCALE:	1/4" = 1'-0"
DRAWN BY:	JMD

## REVISIONS

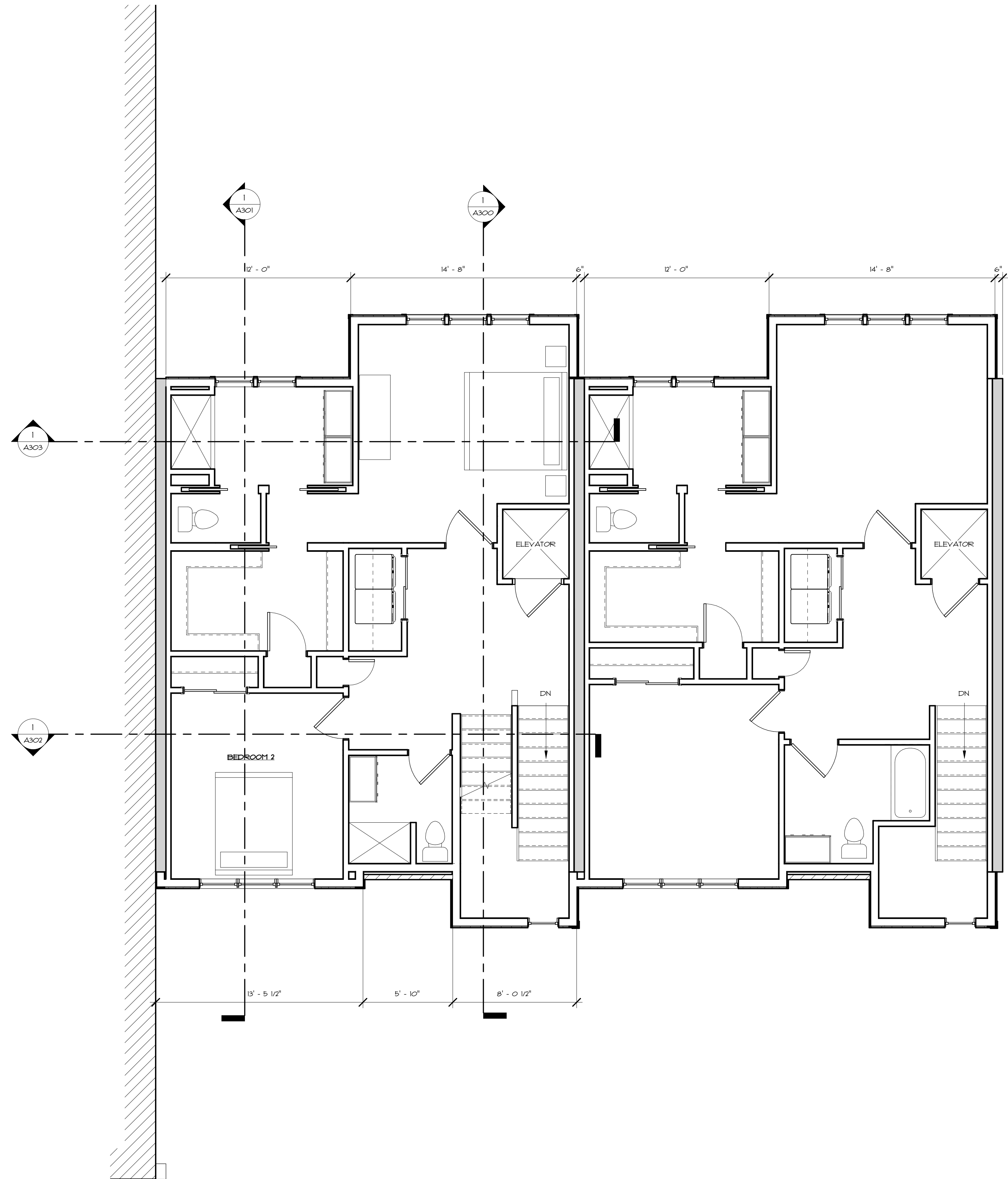
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DRAWING TITLE:

3RD FLOOR

DRAWING NUMBER:

# A102



1 003  
SCALE: 1/4" = 1'-0"





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REFERENCE: STATE OF NEW YORK  
EDUCATION LAW, PART 69 - ARCHITECTURE  
69.03(b), 7/04

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PRELIMINARY  
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ROCHESTER NY 14607

PROJECT NO.: 00000

ISSUE DATE: 6/1/2020

PLOT DATE: 6/1/2020 10:36:03 AM

SCALE: 1/4" = 1'-0"

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## REVISIONS

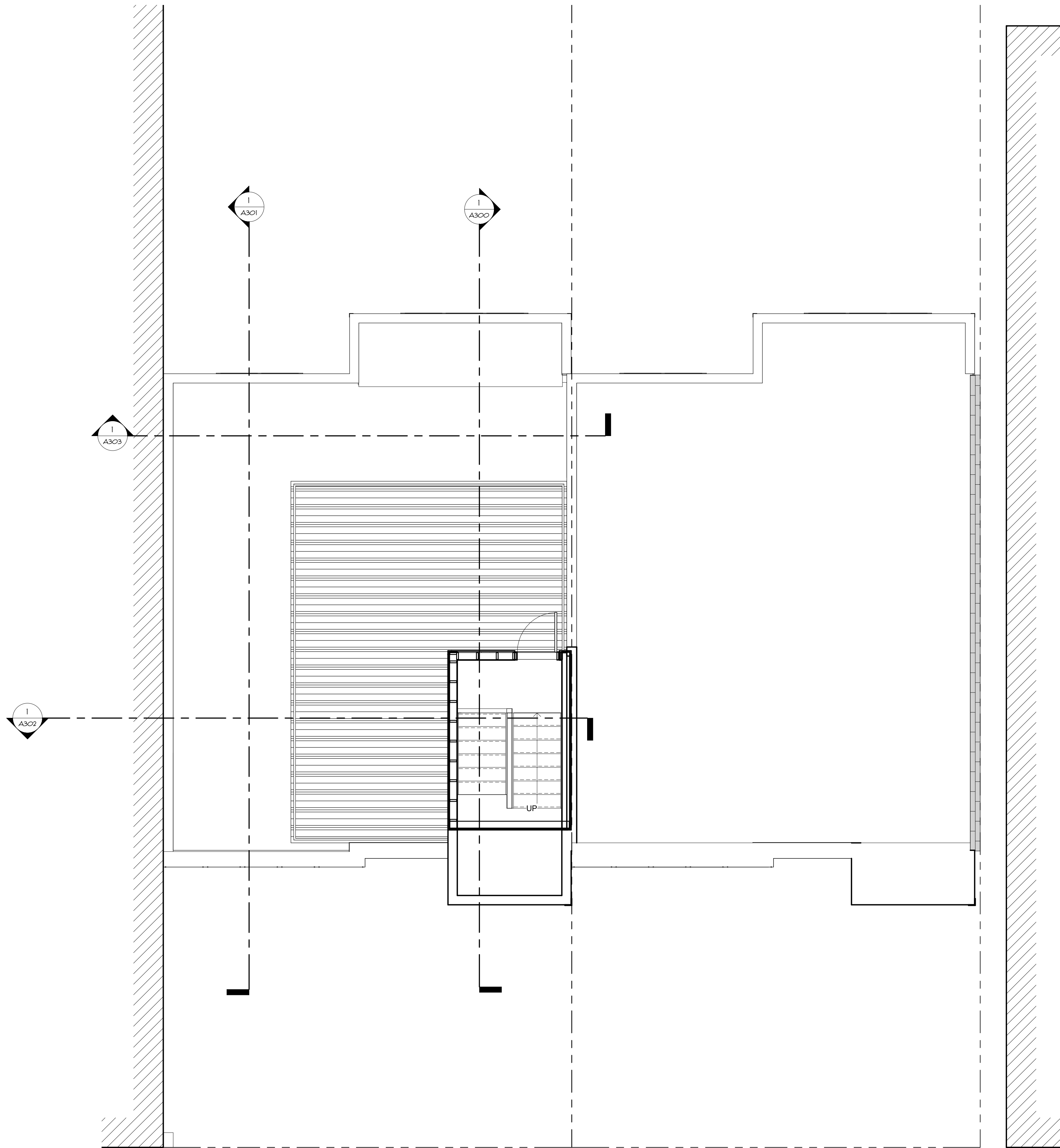
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4TH FLOOR

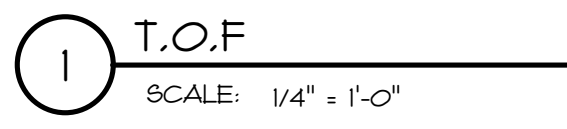
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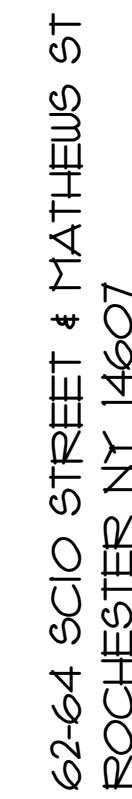


1 004  
SCALE: 1/4" = 1'-0"





1. ALL SF STATED ARE "PER UNIT" PROJECT IS 4 UNITS  
2 UNITS ARE SHOWN / 2 UNITS THAT FACE MATHEWS ST ARE NOT SHOWN
2. PROVIDE "PASSIVE" UNDER SLAB VENTILATION PIPING
3. SLOPE FLOOR TO CENTER DRAIN - PITCHING TO POOR CAUSES PROBLEMS W/ ELEVATOR ACCESS 4 LEVEL LANDING AT STAIR
4. 938.0 SF = FIN
5. SITE SLOPES W/ "Z-Z" TOWARDS MATHEWS STREET / GRADE CHANGE TO TAKE PLACE IN SHARED YARD BETWEEN UNIT BLOCKS
6. DOES ELEVATOR NEED A DEPRESSED SLAB?



# A105





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TOWNHOUSES

62-64 SCIO STREET & MAHEWS ST  
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PROJECT NO.:	000000
ISSUE DATE:	6/1/2020
PLOT DATE:	6/1/2020 10
SCALE:	1/4" = 1'-0"
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## REVISIONS

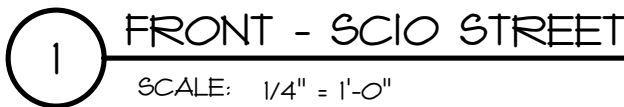
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## EXTERIOR ELEVATIONS

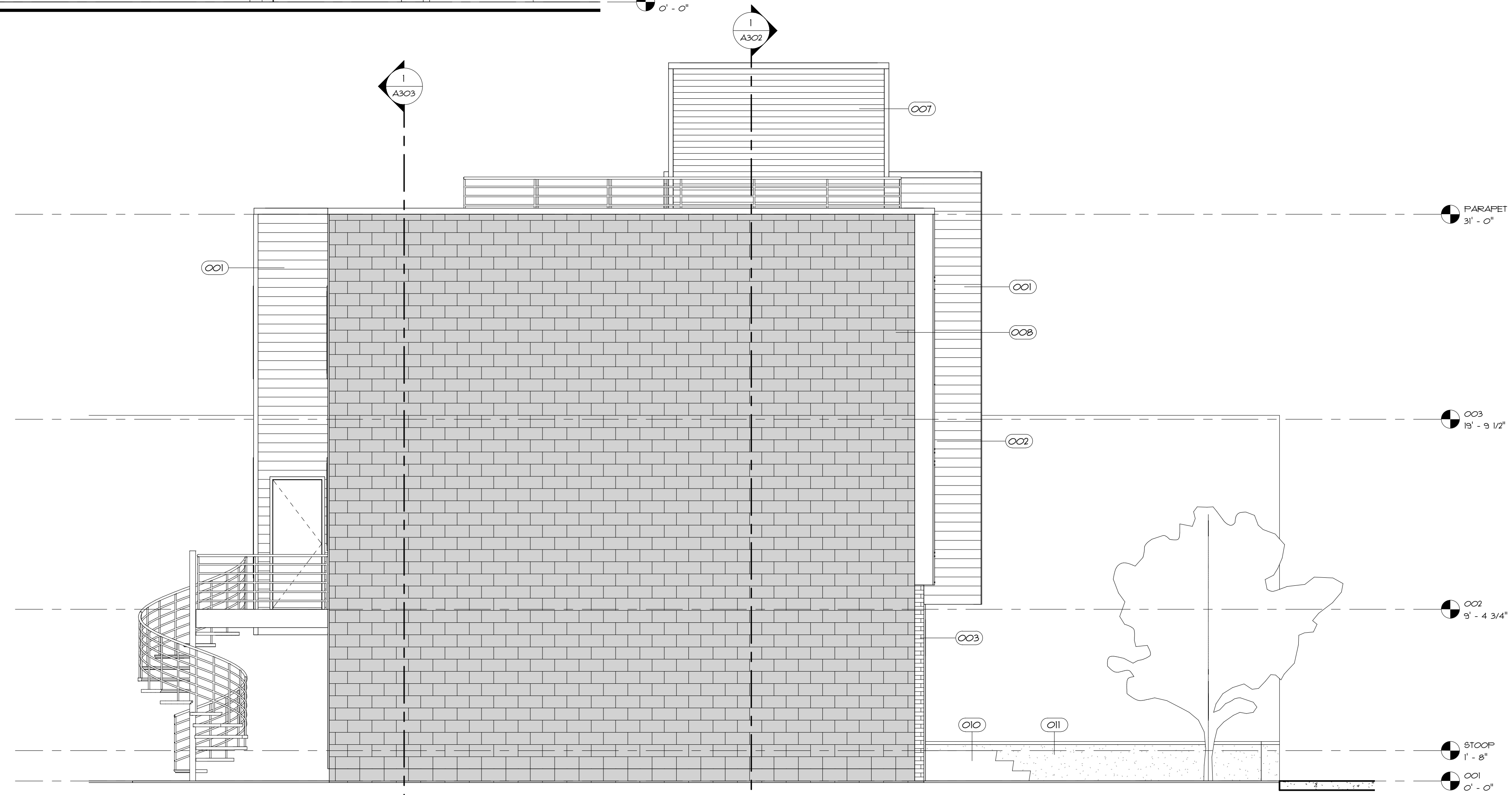
DRAWING NUMBER:

# A200



KEYNOTE LEGEND	
NUMBER	NOTE
001	DIZAL ALUMINUM SIDING W/ WOOD GRAIN HD GRAPHIC 109-02 CHEERY WOOD HONEY
002	AFC CLADDING FIBER CEMENT PANEL PATINA 070 (FLINT)
003	4" NOMINAL BRICK VENEER
005	ALUMINUM BRAKE METAL CAP
006	VINYL CLAD WOOD WINDOW
007	CORRUGATED METAL PANEL SIDING
008	CMU WALL W/ VARIES COLOR PATTERN
009	CEMENT FIBER CLAB BOARD SIDING
010	CAST IN PLACE CONCRETE STAIR
011	CONCRETE WALL

2 NORTH SIDE - SCIO STREET  
SCALE: 1/4" = 1'-0"







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REFERENCE: STATE OF NEW YORK  
EDUCATION LAW, PART 69 - ARCHITECTURE  
69.5(3), 7/54

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TOWNHOUSES

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PROJECT NO.:	00000
ISSUE DATE:	6/1/2020
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SCALE:	1/4" = 1'-0"
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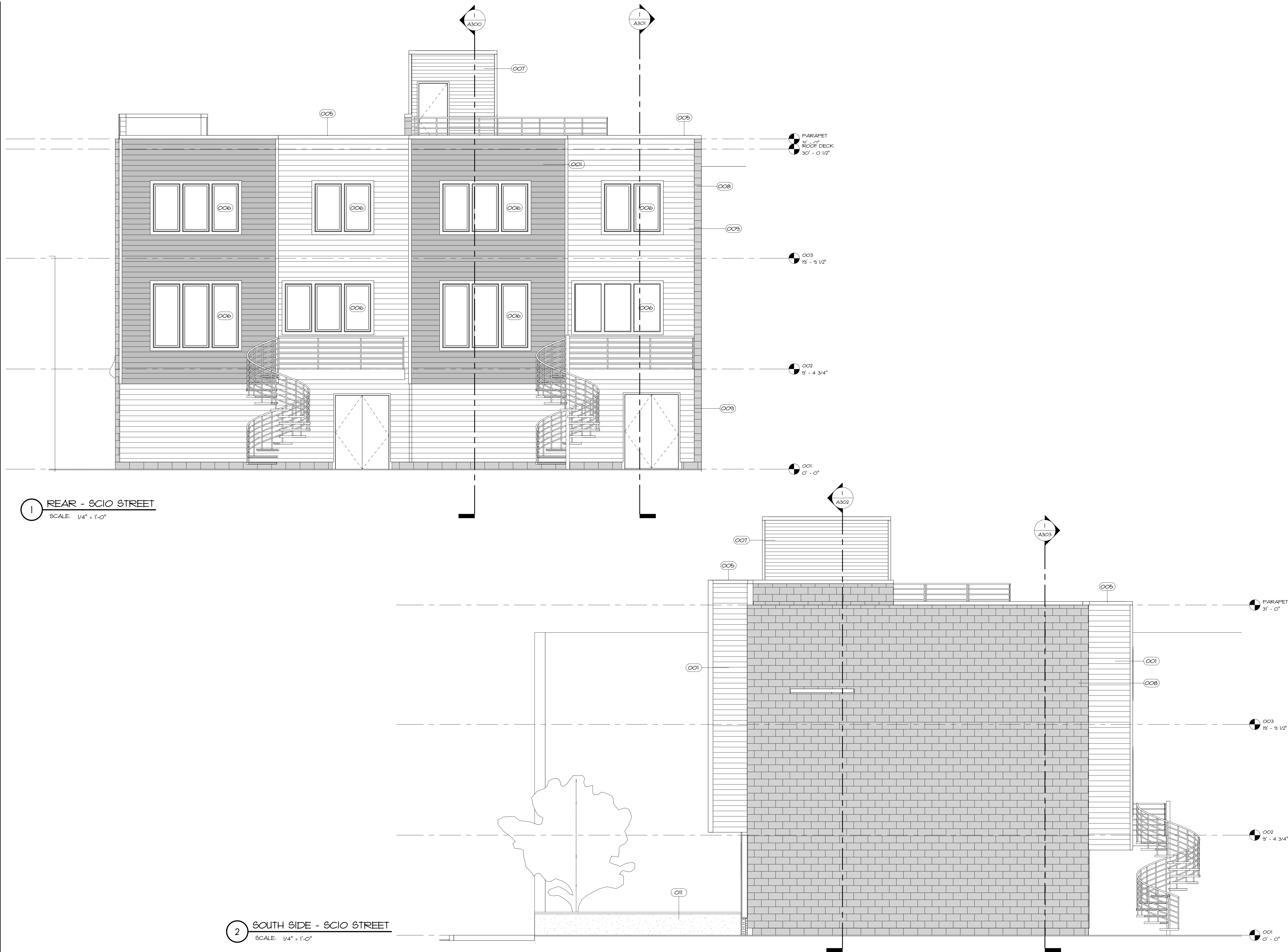
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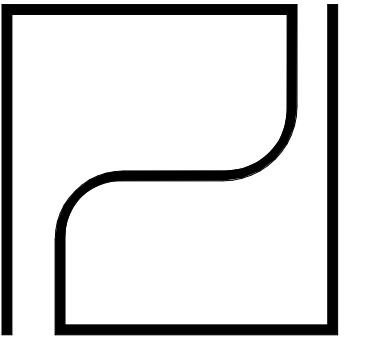
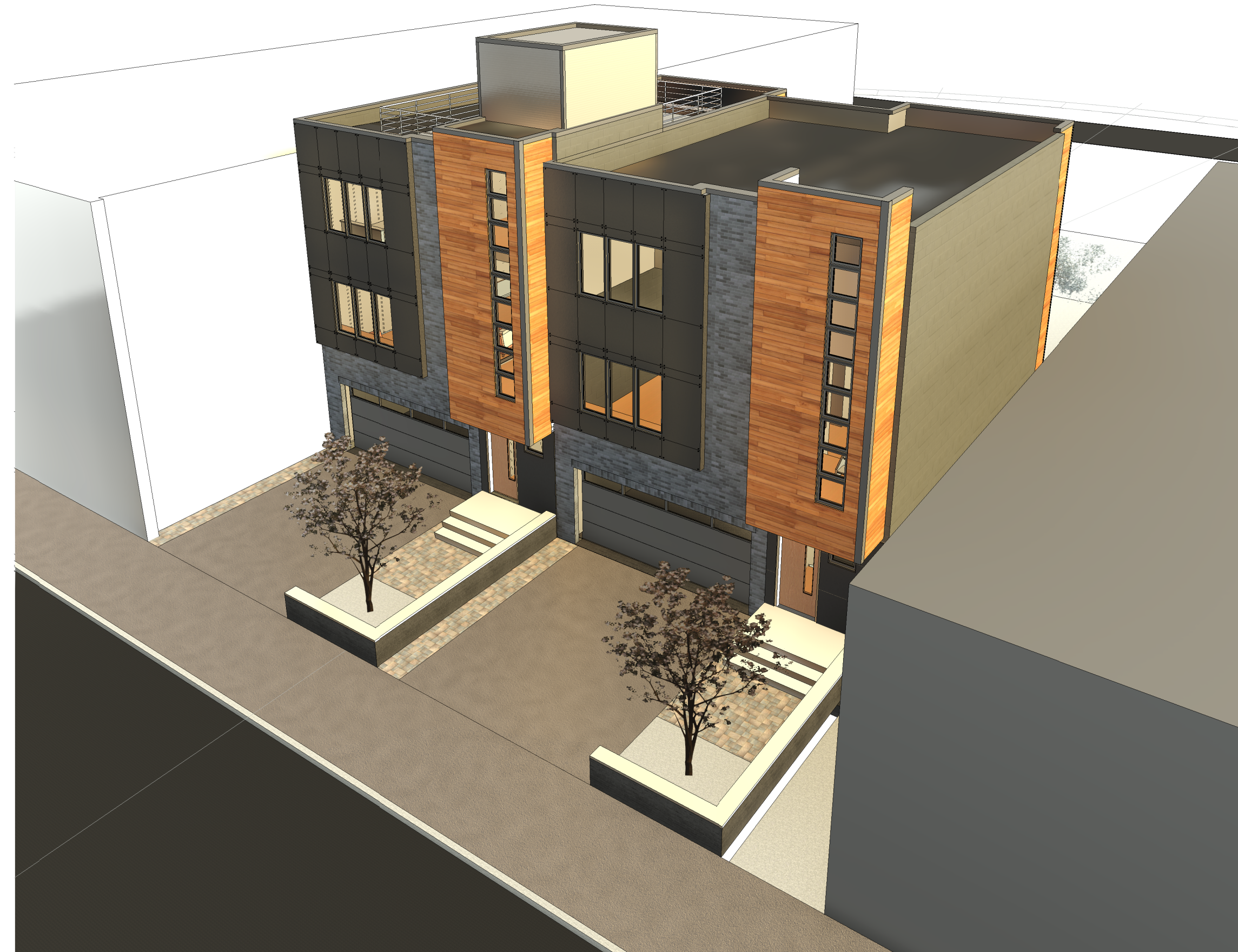
EXTERIOR  
ELEVATIONS

DRAWING NUMBER:

**A201**







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SCIO & MATHEWS STREET  
TOWNHOUSES

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PROJECT NO.: 00000

ISSUE DATE: 6/1/2020

PLOT DATE: 6/1/2020 10:38:43 AM

SCALE:

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REVISIONS

NO.	DATE	DESCRIPTION
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DRAWING TITLE:

35 JUL 1962

### 3D VIEWS

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\_\_\_\_\_

DRAWING NUMBER:

\_\_\_\_\_

Λ 000

# A900

[illegible]

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DRAWING TITLE:

3D VIEWS

DRAWING NUMBER:

# A900



ANY UNAUTHORIZED ALTERATION OR ADDITION TO THIS MAP IS A VIOLATION OF ARTICLE 145, SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.

WE, PARRONE ENGINEERING, HEREBY CERTIFY THAT THIS MAP WAS PREPARED FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON MAY 15, 2020.

DAVID S. STAERR, P.L.S. LIC. NO. 049962  
PARRONE ENGINEERING



**REFERENCES:**  
LIBER 8786 OF DEEDS, PAGE 580  
LOT 139 OF WASHINGTON TRACT,  
FILED IN THE M.C.C.O. IN  
LIBER 1 OF MAPS, PAGE 129  
\*ABSTRACT OF TITLE NOT PROVIDED  
FOR THIS SURVEY.\*

UTILITY RECORD MAPPING TABLE AS OF 5-15-20			
UTILITY NAME	REPLY	STATUS	
RGE, GAS	YES	PLOTTED	
RGE ELECTRIC	YES	PLOTTED	
MC PURE WATERS	YES	PLOTTED	
ROCHESTER WATER BUREAU	YES	PLOTTED	
MCDOT	YES	CLEAR	
FRONTIER TELEPHONE OF ROCHESTER	NO		
LEVEL 3 COMMUNICATION	YES	CLEAR	
T.W.G.	YES	NO COMMENT	
GREENLIGHT	YES	CLEAR	
EXTENET SYSTEMS	YES	CLEAR	

REVISIONS:

BY:

DATE:

THE PIANO WORKS

349 WEST COMMERCIAL STREET

SUITE 3200

EAST ROCHESTER, NY 14445

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Designed By: J.T.

Drawn By: D.S.

Checked By:

DATE: MAY 18, 2020

SCALE: 1" = 10'

JOB No.: 7370

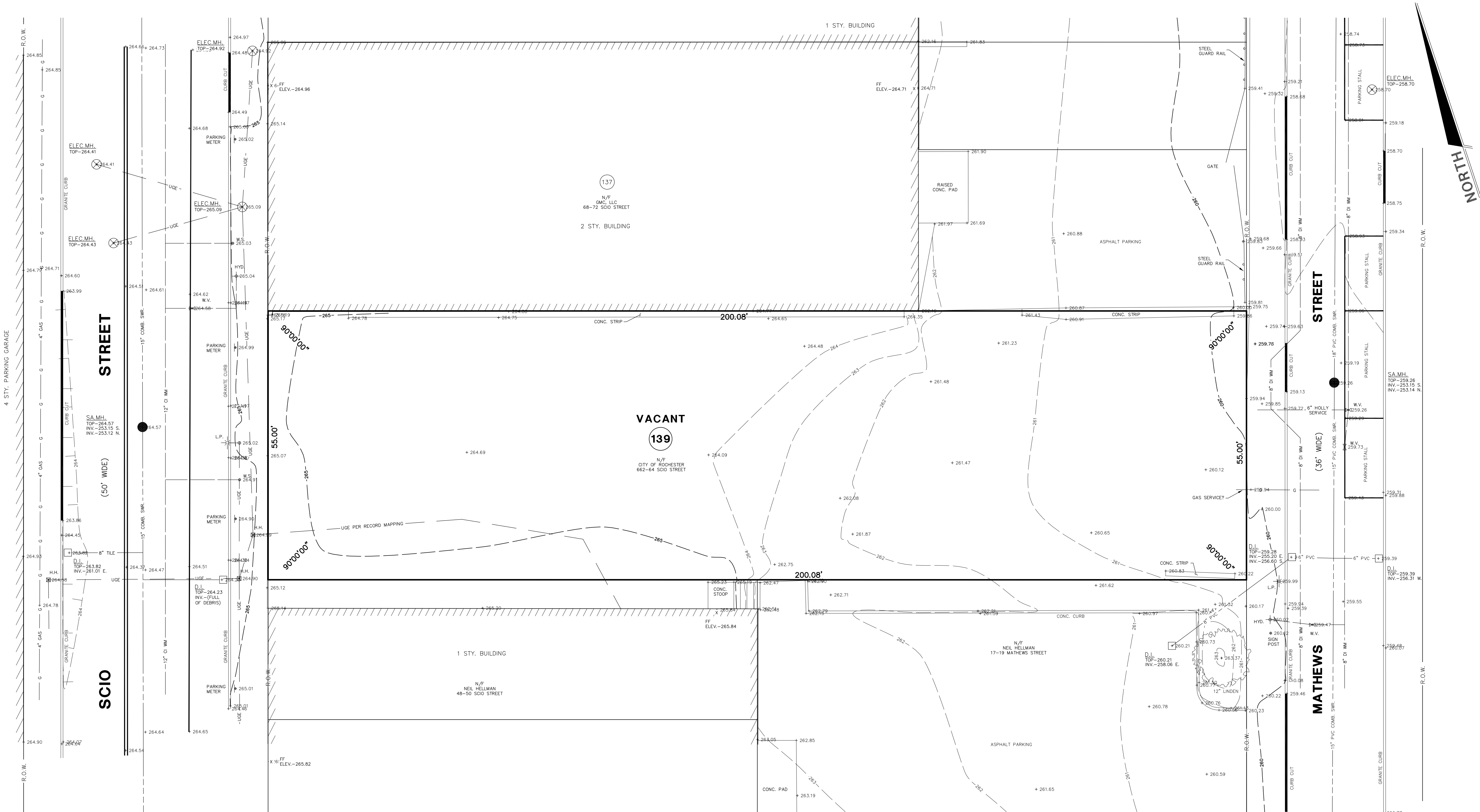
MAP OF A TOPOGRAPHIC SURVEY

OF:

#62-64 SCIO STREET

SITUATE IN:

CITY OF ROCHESTER MONROE COUNTY NEW YORK



UTILITY RECORD MAPPING TABLE AS OF 5-15-20			
UTILITY NAME	REPLY	STATUS	
RGE, GAS	YES	PLOTTED	
RGE ELECTRIC	YES	PLOTTED	
MC PURE WATERS	YES	PLOTTED	
ROCHESTER WATER BUREAU	YES	PLOTTED	
MCDOT	YES	CLEAR	
FRONTIER TELEPHONE OF ROCHESTER	NO		
LEVEL 3 COMMUNICATION	YES	CLEAR	
T.W.G.	YES	NO COMMENT	
GREENLIGHT	YES	CLEAR	
EXTENET SYSTEMS	YES	CLEAR	

REVISIONS:

BY:

DATE:

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Designed By: J.T.

Drawn By: D.S.

Checked By:

DATE: MAY 18, 2020

SCALE: 1" = 10'

JOB No.: 7370

MAP OF A TOPOGRAPHIC SURVEY

OF:

#62-64 SCIO STREET

SITUATE IN:

CITY OF ROCHESTER MONROE COUNTY NEW YORK



## Design Checklist - East End District

### **BUILDINGS**

#### **Building form and mass**

*F. Buildings.*

*(1) District context.*

*(a) Building form and mass.*

*[1] Buildings shall exhibit a vertical mass on the street frontage*

#### **No Deviation**

#### **Minimum lot frontage**

*(b) Lot size and coverage.*

*[1] The minimum lot frontage shall be 45 feet.*

#### **Major Deviation**

**Reason:** Lot width 27.5' making a 45 wide building technically infeasible.

#### **Maximum building length and depth relative to block**

*[2] The maximum building length and depth shall be no more than 25% of the block length and 30% of the block depth*

#### **No Deviation**

**Note:** Length 4% / Depth 19%

#### **Accessory building coverage**

*[3] One accessory building or structure shall be allowed to a maximum of 30% of the primary building coverage.*

**N/A**

#### **Minimum and maximum building height**

*(c) Height.*

*[1] Unless otherwise noted, building heights shall include:*

*[a] Main Street: N/A.*

**N/A**

*[b] City street: shall be a maximum four stories in height to a maximum of 48 feet and a minimum of three stories.*

**N/A**

*[c] District street: shall be a maximum four stories in height to a maximum of 48 feet and a minimum two stories.*

#### **No Deviation**

**Note:** 3 stories



*[d] Neighborhood street: shall be a maximum four stories in height to a maximum of 48 feet and a minimum two stories.*

**No Deviation**

**Note:** 3 stories

**Maximum accessory building height**

*[2] Accessory building or structure shall be a maximum of 1 1/2 stories to a maximum 24 feet.*

**N/A**

**Length to height ratio**

*(d) Length to height ratio.*

*[1] The length to height ratio shall be a maximum 1:2.5 and a minimum 1:1 along primary street frontage.*

**Minor Deviation**

$33/27.5 = 1/.83$

**Reason:** Can not achieve ratio with lot width and minimum required height. Once constructed the overall ratio of two buildings attached is  $33/55 = 1/1.6$  meeting the requirement.

**Orientation to street frontage**

*(e) Orientation.*

*[1] Buildings shall be parallel to the street frontage property line.*

**No Deviation**

**Front setback**

*(f) Setbacks.*

*[1] Unless otherwise noted, front yard setback shall be:*

*[a] Main Street: N/A.*

**N/A**

*[b] City street: shall be within two feet of the average setback of three adjacent buildings on either side of the building to a maximum of 10 feet.*

**N/A**

*[c] District street: shall be within two feet of the average setback of three adjacent buildings on either side of the building to a maximum of 10 feet.*

**Major Deviation**

Average 17.3' / Provided 13.833' (Scio Street)

*[d] Neighborhood street: shall be within two feet of the average setback of three adjacent buildings on either side of the building to a maximum of nine feet.*

**Major Deviation**

Average 58' / Provided 13.833'

**Reason for deviation:** Setback provides for a driveway in front of a residential unit.



Parking is provided in the garage. The driveway allows for visitor parking since on street parking is minimal. This visitor parking provides an accessible path of travel to the interior elevator. No accessible parking is available on the street. The driveway also allows for a vehicle to not have to wait in the street while the garage door is opened. Recessing the buildings on Scio street also allows a painted mural to remain in the side of “City Blue”. Recessing the building also allows more room for a hardscaped walkway and planter for required landscaping and tree.

### **Side setback**

*[2] Side yard setback shall be a combined maximum of nine feet*

### **Major deviation**

0’ Side yard setbacks.

**Reason for deviation:** Scio and Mathews street are both established blocks with 0’ lot line buildings. Side yard setbacks are not appropriate for the character of these blocks.

### **Rear yard setback**

*[3] Rear yard setback shall be a minimum of 20 feet.*

### **No Deviation**

**Note:** 44’ provided

### **Accessory building setbacks**

*[4] Accessory buildings or structure shall be located in the rear yard and conform to all primary building requirements.*

**N/A**

## **DISTRICT CHARACTER**

### **Building maintains horizontal alignment**

*(2) District character.*

*(a) Facade composition.*

*[1] Buildings shall maintain the alignment of horizontal elements of adjacent existing buildings.*

### **No Deviation**

### **Building facade planes**

*[2] The maximum length of a facade plane shall be 36 feet. A change in facade plane shall occur when length exceeds 36 feet. The change shall be no less than two feet in depth and 12 feet in length.*

### **No Deviation**



## **Facade fenestration**

*[3] The facade shall be composed to exhibit a vertically aligned fenestration pattern.*

**No Deviation**

## **Equal street frontage facades**

*[4] All facades fronting a street shall conform to the district criteria and be equal.*

**No Deviation**

## **Vehicular entry width**

*[5] One vehicular entrance is permitted per building on the side or rear facade and shall be enclosed by a garage door a maximum 11 feet wide.*

**Minor Deviation**

16' garage door on front elevation

**Reason for deviation:** A two car garage is provided because rear yard parking is infeasible due to lot size and configuration. Providing a garage on the front facade eliminates the need for any on site surface parking.

## **Service bay depth**

*[6] The depth of any service bay shall accommodate total vehicle length so as not to interrupt pedestrian circulation on the sidewalk.*

**N/A**

## **Facade lighting**

*[7] Facade lighting shall be wall-mounted luminaires and shall be mounted no higher than the top of the first floor. No light shall cast upwards.*

**No Deviation**

*[8] Facade lighting shall conform to Illumination Engineers Society of North America (IESNA) guidelines. No floodlighting is permitted.*

**No Deviation**

## **Facade window coverage**

*(b) Window.*

*[1] All first floor building facades shall be a minimum 30% and a maximum 60% window coverage.*

*[2] All other floors on building facades shall be a minimum 25% and a maximum 60% window coverage.*

*[3] All other facades shall be a minimum 20% window coverage.*

**Minor Deviation**

1st=18%

2nd & 3rd = 19%

Side = 0%

Rear 1st = 0%



Rear 2nd =30%

Rear 3rd =20%

**Reason for deviation:** Design standards represent an architectural style suited for a commercial building. This building is residential with no living area on the first floor. Transparency on the first floor would show parking and utility spaces. Transparency is provided at the front door, the point of interaction with the public realm. Upper stories provide enough transparency to balance views and architectural proportions in the facade design. Side walls are on the property lines making openings difficult to protect for fire safety.

### **Window height to width ratio**

*[4] The window height to width ratio shall be 1:1 to 2:1.*

#### **Minor Deviation**

**Reason for deviation:** The majority of windows read as a vertical orientation except where used as a design element to allow natural light into the building while maintaining privacy. (garage and bedrooms)

### **Window translucency**

*[5] Windows shall be transparent.*

#### **No Deviation**

### **Window recess**

*[6] Windows shall be recessed three inches to six inches from the facade.*

#### **No Deviation**

### **Entrances on street frontage**

*(c) Entrance.*

*[1] Entrances into buildings shall be provided on city, district and neighborhood street frontages.*

#### **No Deviation**

### **Entrances elevation**

*[2] Building entrances shall be a maximum of three feet above sidewalk.*

#### **No Deviation**

### **Entrance translucency**

*[3] Entrances shall be clearly accented and a minimum 10% translucent.*

#### **No Deviation**



## **Entrance lighting**

*[4] All entrances shall be illuminated and shall conform to facade lighting.*

### **No Deviation**

## **Roofline**

*(d) Roofline.*

*[1] Rooflines shall be flat, gable, gambrel or mansard. Roof overhang shall be a minimum one foot.*

### **No Deviation**

## **Roofline cornice**

*[2] Flat rooflines shall be delineated with decorative crown cornices a minimum 1.5 feet wide to a maximum 2.5 feet.*

### **Minor Deviation**

**Reason for deviation:** A large cornice is not appropriate for the architectural style of the building. A delineation is provided at the top of wall with a parapet coping / cap.

## **Rooftop mechanical/telecommunications equipment**

*[3] Rooftop mechanical and telecommunications equipment shall be concealed so as not to be visible from the street.*

### **N/A**

## **Primary construction material**

*(e) Material and color.*

*[1] In addition to the windows, three primary construction materials may be used on a street facade, including clay brick, natural stone, stucco [exterior insulation finish system (EIFS)], wood or vinyl bevel siding or decorative concrete.*

### **No Deviation**

## **Percent primary construction material**

*[2] Excluding windows, a minimum 60% of one primary construction material shall be used.*

### **No Deviation**

## **Number of colors**

*[3] Excluding windows, a maximum of three colors shall be permitted.*

### **No Deviation**

*[4] A maximum of two colors of any material shall be used.*

### **No Deviation**



## **Location of refuse storage**

*(f) Refuse storage.*

*[1] Excluding alley streets, refuse storage shall not be located on a street frontage and shall not be visible from the street.*

### **No Deviation**

## **Refuse storage details (enclosures, doors)**

*[2] Refuse storage areas shall conform to the following:*

*[a] If a loading dock/service bay or vehicular garage is part of the building, refuse storage shall be contained within this area.*

**N/A**

*[b] If not located within the building, refuse storage shall be located within a concealed enclosure that includes solid metal doors, is integral to the building, consists of the same material as the building and is located at the rear of the building.*

**N/A**

## **SIGNAGE**

Section does not apply. The only signage provided will be address numbers meeting code requirements.

## **SITE**

This section does not apply. No surface parking lot is provided.

## **ADDITIONAL AMENITIES**

### **Fencing/wall location**

*(2) Additional amenities.*

*(a) Fencing/wall.*

*[1] Fencing/wall shall not be located on primary street frontage.*

### **No Deviation**



## **Fencing/wall height**

*[2] Fencing/wall shall be allowed in rear yards, side yards and secondary street frontages to a minimum 10 feet from the front facade.*

### **No Deviation**

*[3] Fencing/wall shall have a maximum height of five feet in rear and side yards and a maximum height of four feet on secondary street frontages.*

### **No Deviation**

## **Fencing material**

*[4] On street frontages, fencing shall be ornamental picket of cast or extruded metal. Wood fencing is permitted in side and rear yards.*

### **N/A**

*[5] Excluding wood or vinyl bevel siding, walls shall conform to district building materials.*

### **No Deviation**

## **Fence gates**

*[6] Gates shall be equal to fencing.*

### **No Deviation**

## **Fence/wall street frontage setback**

*[7] Street frontage fencing/wall setback shall be a minimum two feet or two feet greater than district sidewalk criteria.*

### **N/A**

## **Front yard landscaping**

*(b) Landscape.*

*[1] Front yards shall be landscaped with a minimum one tree per 350 square feet and continuous ground cover.*

### **No Deviation**

## **Walkway at entrances fronting streets**

*[2] All entrances fronting onto city, district and neighborhood streets shall have a walkway connecting to the sidewalk.*

### **No Deviation**

## **Walkway width, material and color**

*[3] Walkways shall be minimum five feet wide and concrete or modular unit paving.*

### **No Deviation**

## **Freestanding lighting**



*[4] Freestanding luminaires shall be permitted one per sidewalk entrance.*

**No Deviation**

*[5] The luminaire shall be a minimum three feet to a maximum six feet above sidewalk grade. No light shall cast up.*

**No Deviation**