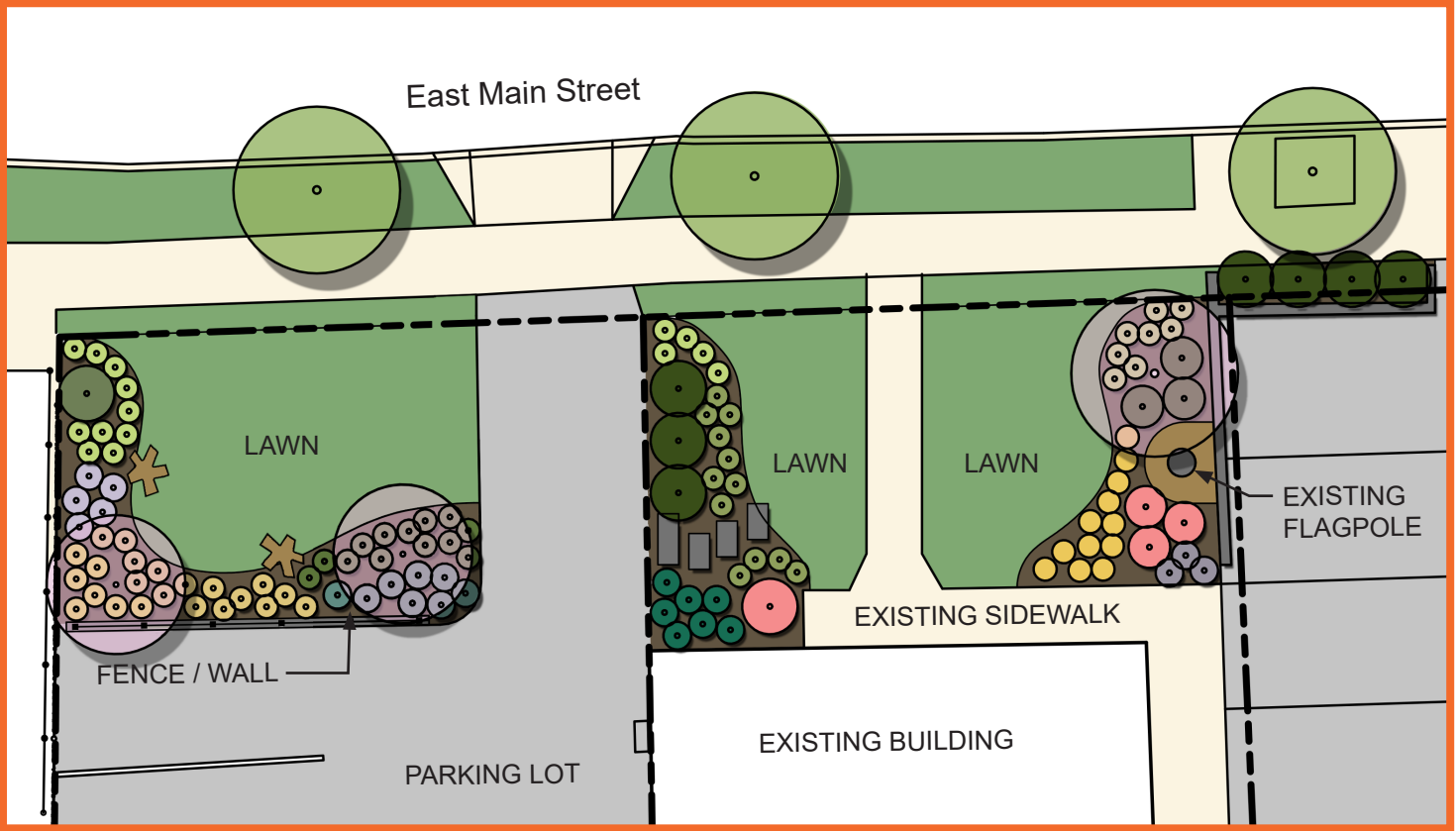




Perspective Rendering

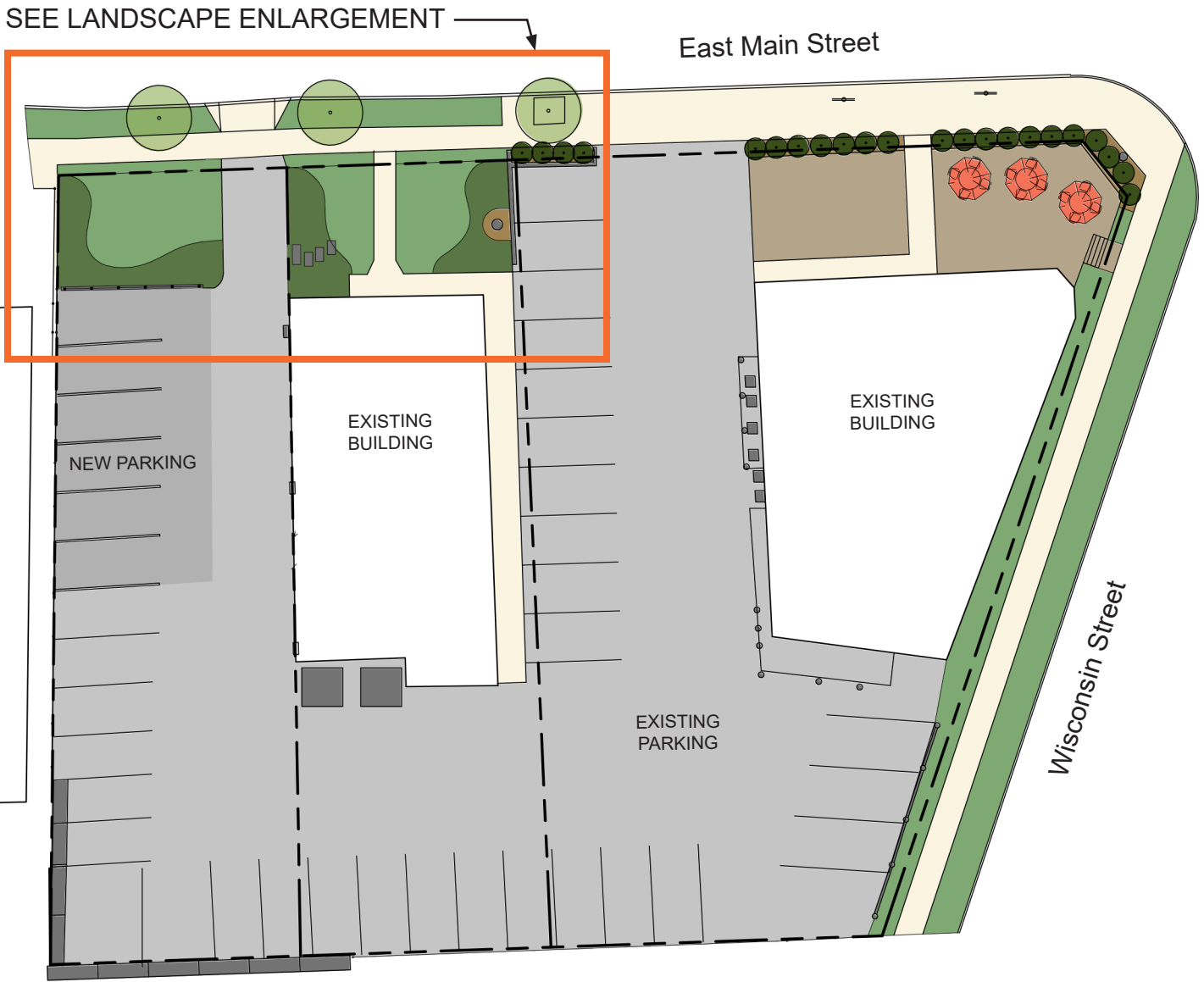
Landscape Enlargement Plan

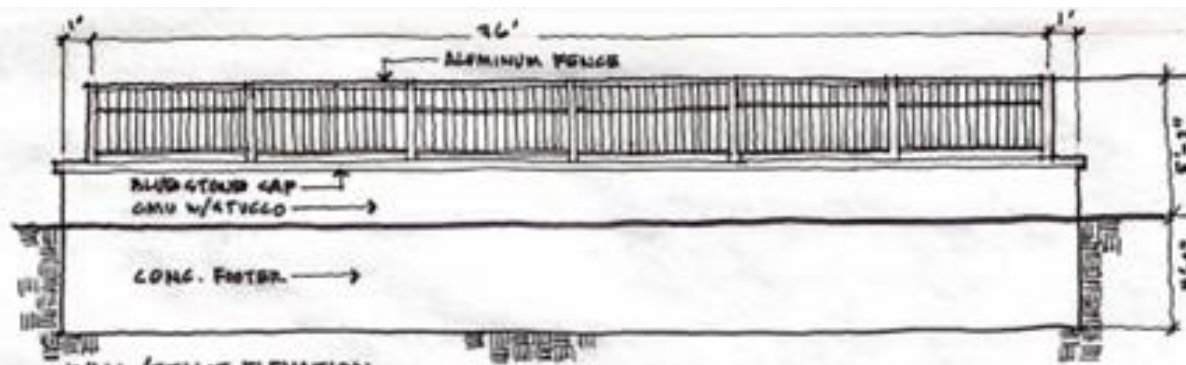


PLANT KEY:

- | | | |
|--------------------|------------|----------------|
| LIRIOPE | DAYLILY | BOXWOOD |
| GERANIUM | HOSTA | EVERGREEN PINE |
| COREOPSIS | FERN | REDBUD |
| WINTERBERRY | BLUE HOSTA | |
| DW. FOUNTAIN GRASS | CLETHRA | |

Overall Site Plan

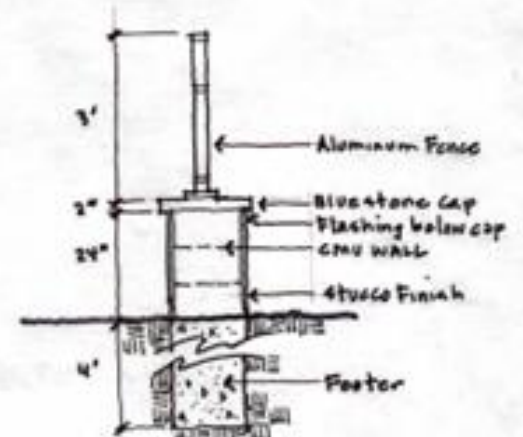
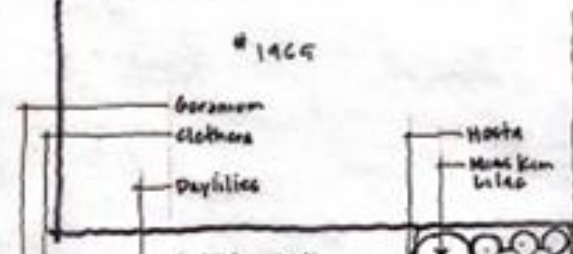




WALL/FENCE ELEVATION

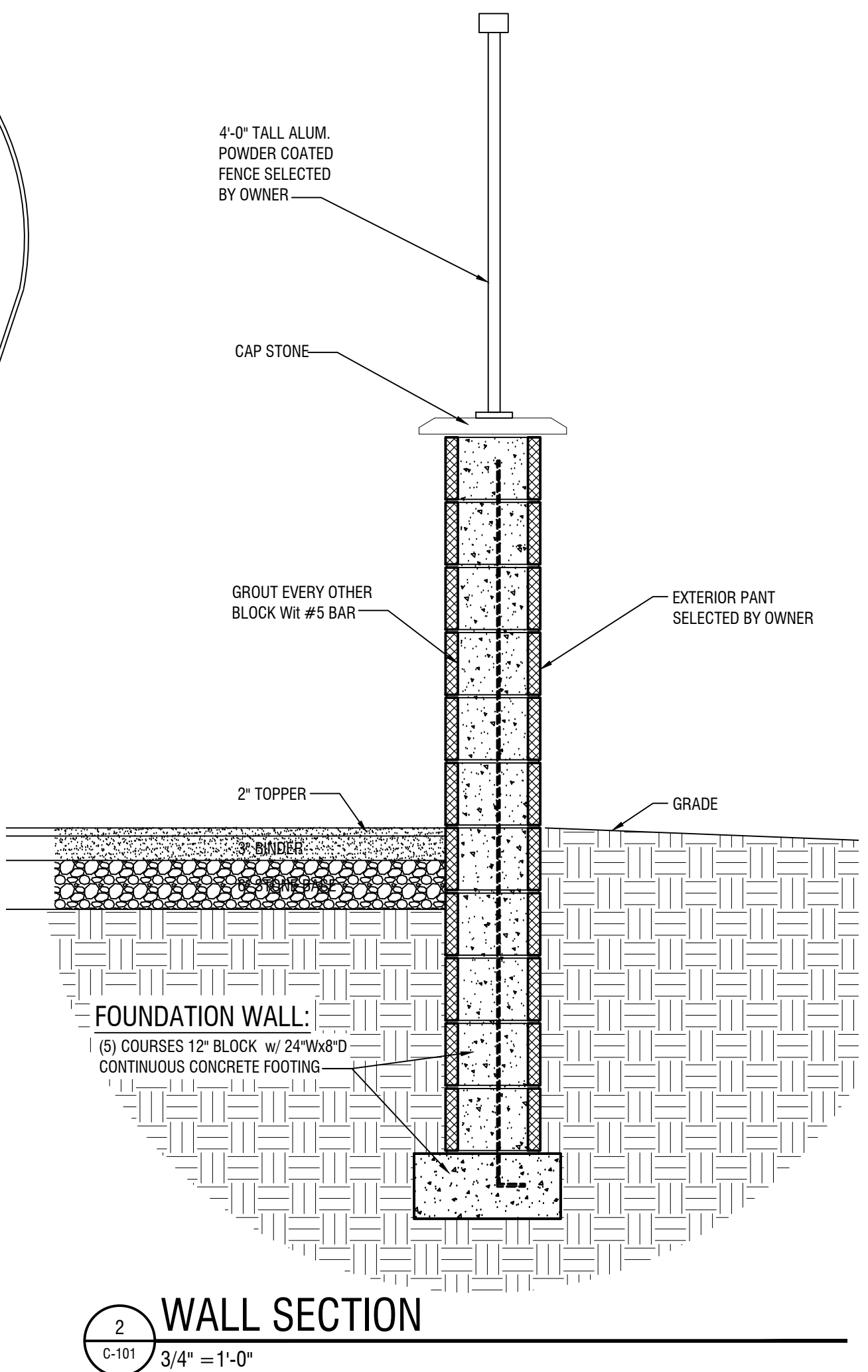
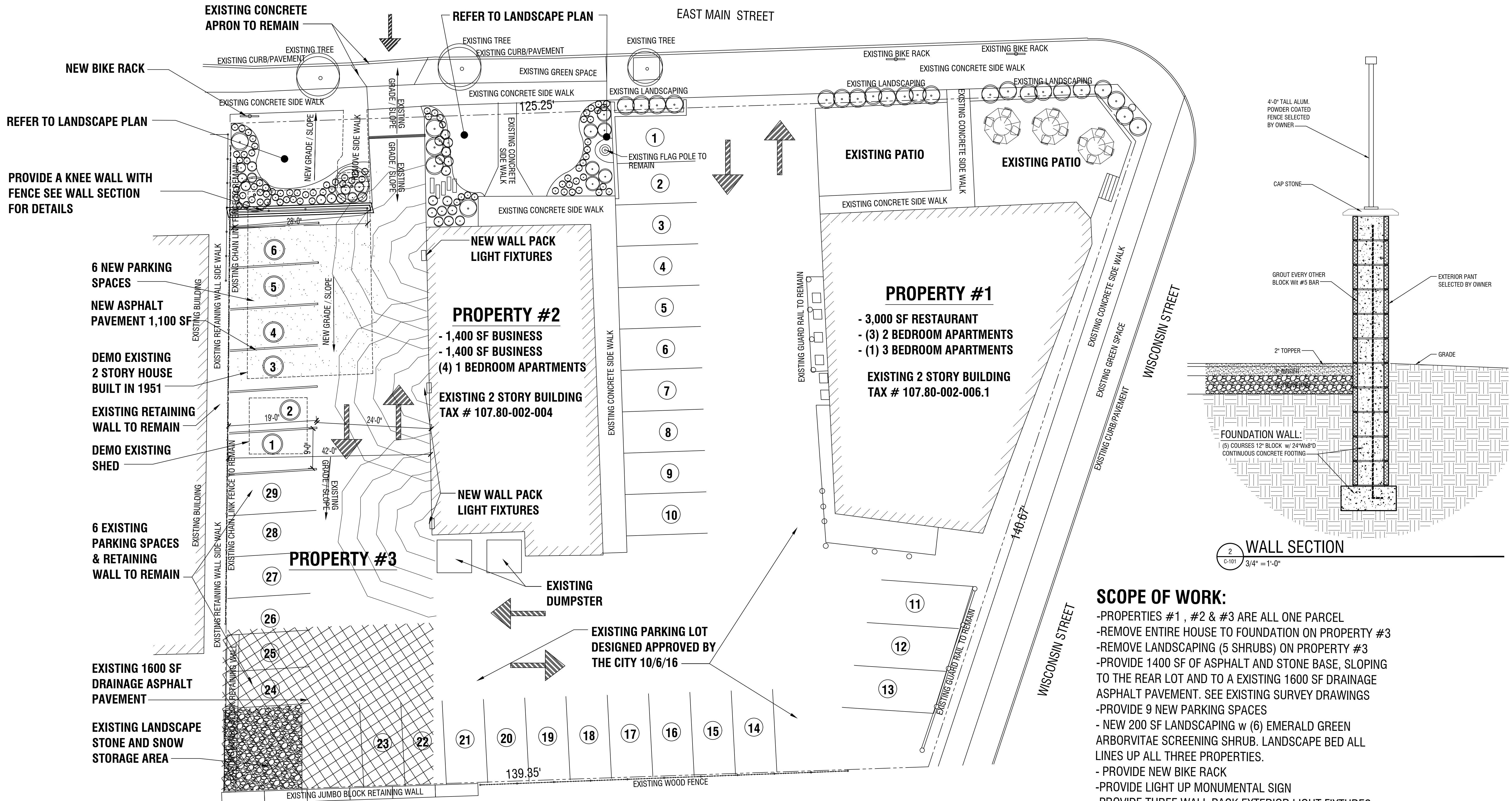
SCALE: 1/4" = 1'-0"

1965



WALL/FENCE SECTION

SCALE: 1/4" = 1'-0"



SCOPE OF WORK:

- PROPERTIES #1 , #2 & #3 ARE ALL ONE PARCEL
- REMOVE ENTIRE HOUSE TO FOUNDATION ON PROPERTY #3
- REMOVE LANDSCAPING (5 SHRUBS) ON PROPERTY #3
- PROVIDE 1400 SF OF ASPHALT AND STONE BASE, SLOPING TO THE REAR LOT AND TO A EXISTING 1600 SF DRAINAGE ASPHALT PAVEMENT. SEE EXISTING SURVEY DRAWINGS
- PROVIDE 9 NEW PARKING SPACES
- NEW 200 SF LANDSCAPING w (6) EMERALD GREEN ARBORVITAE SCREENING SHRUB. LANDSCAPE BED ALL LINES UP ALL THREE PROPERTIES.
- PROVIDE NEW BIKE RACK
- PROVIDE LIGHT UP MONUMENTAL SIGN
- PROVIDE THREE WALL PACK EXTERIOR LIGHT FIXTURES

-EXISTING TO REMAIN ONLY ON PROPERTY #3:

- EXISTING CONCRETE APRON & PARTIAL DRIVEWAY EXIT FROM EAST MAIN STREET ALL SLOPES THROWERS AND ONTO EAST MAIN STREET
- EXISTING CONCRETE WALKWAY AND CHAIN LINK FENCE ON PROPERTY LINE
- EXISTING JUMBO BLOCK REAR LOT
- EXISTING WOOD FENCE

-ALL EXISTING PROPERTIES #2 & #3 (APPROVED) ALL TO REMAIN NO WORK:

PARKING SPACES CALCULATION :

	REQUIRED SPACES	(EXISTING) PROVIDED SPACES
RESTAURANT 3,000 SF (10 SPOTS PER 1000 SF)	30	15
(3) 2 BEDROOM APARTMENTS (1.2 PER 2BD UNIT)	3.6	5
(1) 3 BEDROOM APARTMENTS (1.5 PER 3 BD UNIT)	1.5	2
BUSINESS 1,400 SF (2 SPOTS PER 1,000)	2.8	2
BUSINESS 1,400 SF (2 SPOTS PER 1,000)	2.8	2
(1) 4 BEDROOM APARTMENTS (1.5 PER 4 BD UNIT)	1.5	2
	42 SPACES	29 SPACES
		6 NEW SPACES
		35 TOTAL PARKING SPACES

ALL SITE INFORMATION TAKEN FROM EXISTING SITE DRAWINGS DESIGNED APPROVED BY THE CITY 10/6/16

EAST MAIN ESTATES
1985 EAST MAIN STREET
ROCHESTER NY 14609

PROJECT ADDRESS
1961 EAST MAIN STREET
ROCHESTER NY 14609

PROJECT NUMBER		
NO.	DATE	REVISION
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DRAWN BY: APPROVED BY:		
ISSUED FOR REVIEW		
DATE:		2/26/20

PROPOSED
SITE PLAN