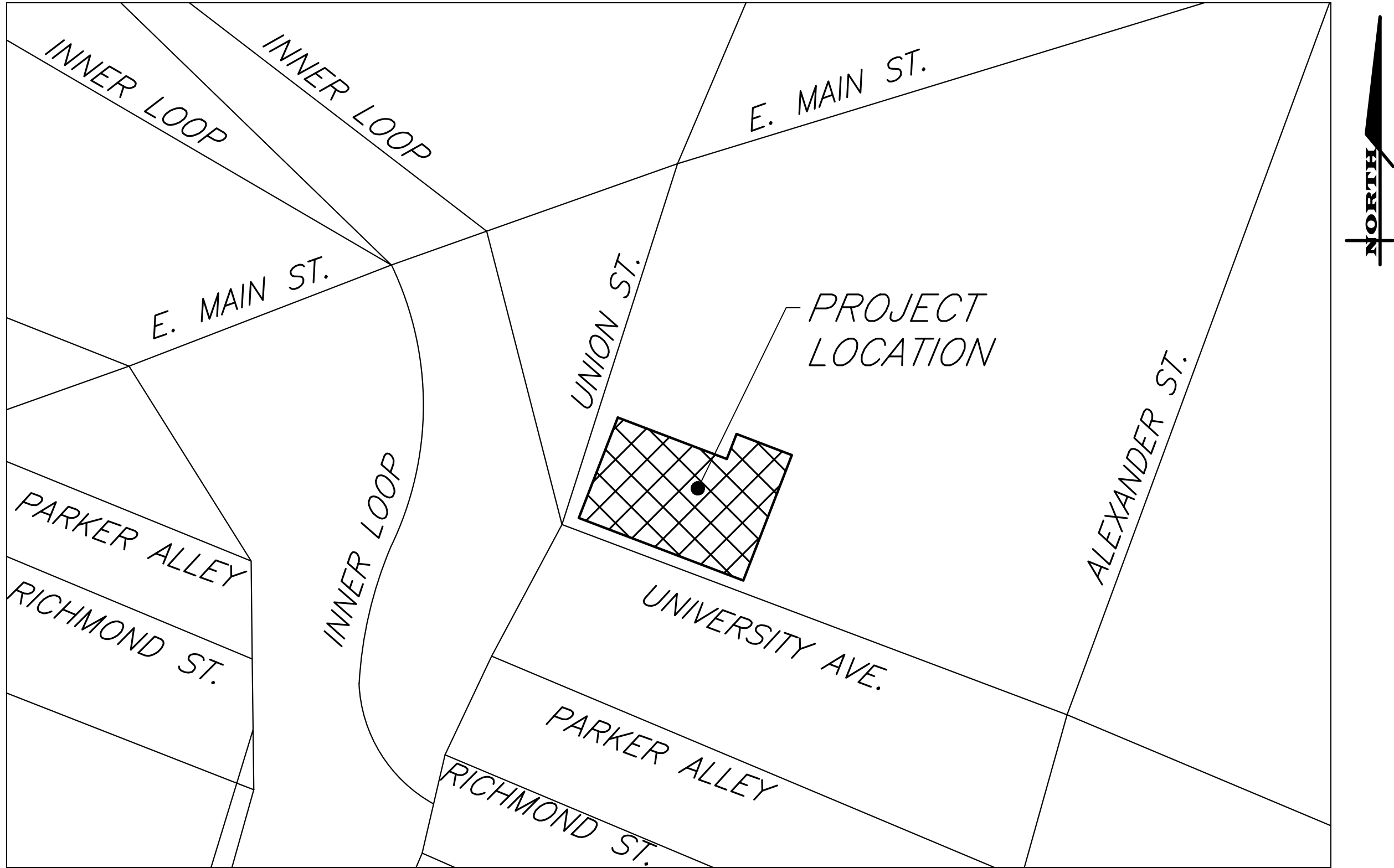




University and Union
Perspective View

PRELIMINARY/FINAL SITE PLANS
for
302 INDEPENDENCE PLACE
CONIFER REALTY, LLC
302 UNIVERSITY AVENUE

SITUATE IN:
CITY OF ROCHESTER - MONROE COUNTY - STATE OF NEW YORK

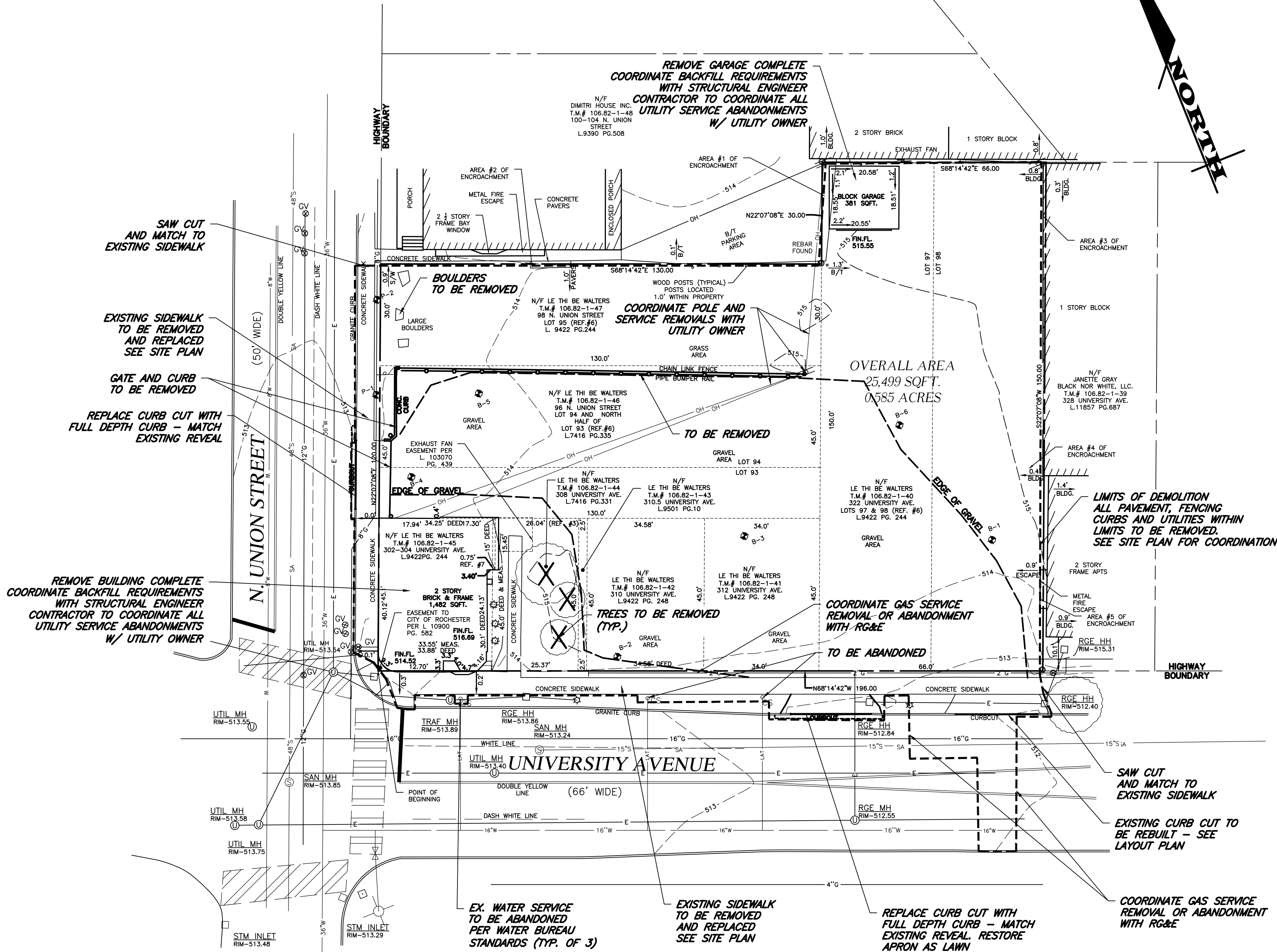


LOCATION MAP
NOT TO SCALE


MARATHON
ENGINEERING
ROCHESTER LOCATION
39 CASCADE DRIVE
ROCHESTER, NY 14614
585-458-7770
ITHACA LOCATION
840 HANSHAW RD, STE 12
ITHACA, NY 14850
607-241-2917
www.marathoneng.com

LIST OF DRAWINGS		
No.	DWG. No.	Description
	COVER	
1	V1.0	EX. CONDITIONS AND DEMO PLAN
2	C1.0	SITE LAYOUT PLAN
3	C2.0	UTILITY PLAN
4	C3.0	GRADING AND EROSION CONTROL PLAN
5	C4.0	CONSTRUCTION DETAILS
6	C4.1	CONSTRUCTION DETAILS


1. **MAPPING - THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW INFRASTRUCTURE.**
 - **SANITARY SEWERS WERE PLOTTED FROM RECORD MAPS RECEIVED FROM CITY OF ROCHESTER ON 03/25/2020**
 - **WATER SERVICES AND MAINS WERE PLOTTED FROM RECORD MAPS RECEIVED FROM RWB ON 03/25/2020**
 - **STORM SEWERS WERE PLOTTED FROM RECORD MAPS RECEIVED FROM CITY OF ROCHESTER ON 03/25/2020**
 - **UNDERGROUND GAS SERVICES AND MAINS WERE PLOTTED FROM RECORD MAPS RECEIVED FROM RG&E ON 03/25/2020**
 - **TEST PITS (P-1, P-2) WERE D.I.G ON 06/02/2020 BY MARATHON ENGINEERING TO CONFIRM GAS LINE LOCATION IN FIELD.**
 - **UNDERGROUND ELECTRIC LINES WERE PLOTTED FROM RECORD MAPS RECEIVED FROM RG&E ON 03/25/2020**
2. **STAKEOUT - THE CONTRACTOR SHALL NOTIFY DIG SAFELY NEW YORK (1-800-862-7962) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.**
3. **BOUNDARY - BOUNDARY INFORMATION WAS TAKEN FROM ALTANSPSS LAND TITLE SURVEY #302-322 UNIVERSITY AVENUE' DATED 03/26/2010 AND IS SHOWN FOR GRAPHICAL REPRESENTATION ONLY.**
4. **DATUM - THE VERTICAL DATUM WAS SET USING ELEVATION DATA TAKEN FROM A MAP TITLED 'ALTANSPSS LAND TITLE SURVEY #302-322 UNIVERSITY AVENUE' DATED 03/26/2020. VERTICAL DATUM REFERENCES THE CITY OF ROCHESTER DATUM.**
5. **FLOODPLAIN - THE PROPERTY IS LOCATED IN 'ZONE 'X' AND IS NOT LOCATED GRAPHICALLY IN THE FLOODPLAIN AS SHOWN ON COMMUNITY PANEL NO 36055S 0211G, DATED 08/28/2008**



PRELIMINARY/ FINAL SITE PLANS
for
302 INDEPENDENCE PLACE
CONIFER REALTY, LLC
302 UNIVERSITY AVENUE
MONROE COUNTY
STATE OF NEW YORK
CITY OF ROCHESTER

IS A VOUCHER OF NEW YORK STATE EDUCATION LAW ARTICLE 16, SECTION 1209 FOR ANY PERSON, UNDER ANYTHING AS THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR SURVEYOR, TO ACTERIN ANY WAY, IN THIS REGARD, THE SEAL OF A PROFESSIONAL ENGINEER OR SURVEYOR ALTERS THE AUTHING, INK, AND COLOR OF THE SEAL, WITHIN THE TIME THE SEAL AND THE NOTATION "MADE BY" FOLLOWED BY THE SIGNATURE AND THE DATE OF SEAL ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

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ROBERT B. BRINGLEY

DRAWING TITLE: EXISTING CONDITIONS AND DEMOLITION PLAN	
01 of 06 SHEET No:	V1.0
0961-20 JOB No:	
DRAWING No:	

1. **APPLICABILITY** - THE NOTES AND INFORMATION PROVIDED ON THIS SHEET ARE APPLICABLE TO ALL "C" SERIES DRAWINGS. THE "C" SERIES DRAWINGS COVER SITE RELATED IMPROVEMENTS OUTSIDE THE BUILDING ENVELOPE. THE BUILDING ENVELOPE INCLUDES ALL AREA WITHIN ± OUTSIDE OF THE BUILDING'S EXTERIOR WALL.
2. **MAPPING** - THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW INFRASTRUCTURE.
3. **STAKEOUT** - THE CONTRACTOR SHALL NOTIFY GUY SAFELY NEW YORK (1-800-962-7962) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.
4. **PROPERTY PROTECTION** - THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING PAVEMENT, CURBS, WALKS, LAWNS, TREES, ETC. CAUSED BY THEIR CONSTRUCTION OPERATIONS. ALL DAMAGE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION AT NO ADDITIONAL EXPENSE.
5. **ACCESS** - THE CONTRACTOR SHALL PROVIDE SATISFACTORY VEHICULAR ACCESS TO ALL ADJOINING PROPERTIES, PRIVATE ROADWAYS, PARKING FACILITIES, AND PUBLIC STREETS DURING CONSTRUCTION.
6. **SITE SAFETY** - PRIOR TO AND THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL POST SIGNAGE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND OCCUPATIONAL HEALTH AND SAFETY ACT (OHSA). JOB SAFETY AND MAINTENANCE AND PROTECTION OF TRAFFIC IS THE RESPONSIBILITY OF THE CONTRACTOR.
7. **EXCAVATIONS** - ALL EXCAVATIONS SHALL BE BACKFILLED/BARRICADED TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE AT THE CONCLUSION OF EACH WORKING DAY.
8. **MAINTENANCE** - PUBLIC STREETS, PRIVATE DRIVES AND PARKING FACILITIES SHALL BE KEPT FREE OF FOREIGN MATERIALS. ALL AREAS SHALL BE SWEEP CLEAN AT THE END OF EACH WORKING DAY AND/OR AS DIRECTED BY THE OWNER'S ON-SITE REPRESENTATIVE.
9. **CONSTRUCTION STORAGE** - STORAGE OF EQUIPMENT AND MATERIALS SHALL BE WITHIN A SPECIFIED AND SECURED AREA AS DETERMINED IN CONTRACT DOCUMENTS OR AS SPECIFIED BY THE OWNER'S ON-SITE REPRESENTATIVE.
10. **PERMITS(S)** - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE APPLICABLE MUNICIPALITY OR AGENCY. THE CONTRACTOR IS RESPONSIBLE FOR ALL BONDS AND INSURANCES AND THE OWNER IS RESPONSIBLE FOR PERMIT FEES UNLESS OTHERWISE STATED IN THE OWNER/ CONTRACTOR AGREEMENT
11. **INTERIM CONDITIONS** - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN POSITIVE DRAINAGE AROUND FROM BUILDINGS AND WITHIN PROJECT AREA TO A STABILIZED OUTLET THROUGHOUT THE CONSTRUCTION PERIOD. THIS MAY REQUIRE INTERIM GRADING, SHIMMING OF PAVEMENT ETC. THAT IS NOT SPECIFICALLY SHOWN ON THE PLANS AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

1. STAKEOUT - THE CONSTRUCTION STAKEOUT SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR USING CONTROL PROVIDED ON THE "LAYOUT PLAN". THE BUILDING FOOTPRINT(S), DATED 06/19/20, WERE PROVIDED BY SWBR ARCHITECTS. DISCREPANCIES (WITH BUILDINGS), CONTROL POINTS, AND/OR THE DIMENSIONS SHALL BE REPORTED TO THE DESIGN ENGINEER (PRIOR TO THE INSTALLATION OF IMPROVEMENTS) FOR COORDINATION AND CLARIFICATION.
2. BOUNDARY - BOUNDARY INFORMATION WAS TAKEN FROM PRE-CONSTRUCTION ALTA SURVEY PREPARED BY MAGDE LAND SURVEYING AND IS SHOWN FOR GRAPHICAL REPRESENTATION ONLY.
3. LAYOUT - DIMENSIONS SHOWN, WHERE APPLICABLE, SHALL BE FROM THE FACE OF CURB UNLESS SPECIFICALLY CALLED OUT OTHERWISE.
4. DEMOLITION - CLEARING AND GRUBBING SHALL BE LIMITED TO THE SITE BOUNDARIES OR WITHIN THE "WORK LIMIT AREA" AS DEFINED ON THE PLAN. TREES AND OBJECTS DESIGNATED FOR REMOVAL SHALL BE COORDINATED AND FIELD VERIFIED WITH PROJECT ON-SITE REPRESENTATIVE. ALL MATERIALS SHALL BE LEGALLY DISPOSED OF OFF-SITE OR RETURNED TO OWNER AS DIRECTED BY CONTRACT DOCUMENTS. ALL ITEMS NOT SPECIFICALLY CALLED OUT TO BE REMOVED SHALL REMAIN.
5. COORDINATION - THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITY WORK WITH OTHER SITE UTILITIES (I.E. GAS, ELECTRIC, LIGHTING, COMMUNICATIONS) TO AVOID POTENTIAL INSTALLATION CONFLICTS.
6. STAGING - AS DEFINED BY THE CONTRACT DOCUMENTS THE CONTRACTOR SHALL CONSTRUCT A SECURE STAGING AREA FOR STORAGE OF EQUIPMENT, MATERIALS, EMPLOYEE PARKING AND OFFICE SPACE. IF THE AREA/METHOD IS NOT SPECIFICALLY DEFINED ON THE DOCUMENTS THEN IT SHALL BE COORDINATED WITH THE OWNER'S ON-SITE REPRESENTATIVE.
7. CLOSE-OUT - THE CONTRACTOR'S WORK SCOPE INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING AT PROJECT CLOSE-OUT TO THE SATISFACTION OF OWNER'S ON-SITE REPRESENTATIVE.
 - REMOVAL OF ANY CONSTRUCTION DEBRIS.
 - CLEANING PAVEMENT AND WALKWAY SURFACES.
 - RESTORATION OF ALL DISTURBED GRASS AND LANDSCAPED AREAS.
 - PROVIDING BONDS, GUARANTEES, CERTIFICATIONS, ETC. AS REQUIRED BY CONTRACT DOCUMENTS.
 - PROVIDING A RECORD DRAWING.
 - COMPLETION OF FINAL PUNCH LIST ITEMS.

1. NEW CURB CUTS - NEW CURB CUTS SHALL BE INSTALLED EITHER BY RESETTING EXISTING GRANITE CURB. EXISTING CURB JOINTS ARE TO BE REPOINTED WITH MASONRY MORTAR MIX.
2. ADA - ALL WORK IN THE RIGHT-OF-WAY ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND ALL GUIDELINES.
3. SIDEWALK REPLACEMENT - SIDEWALKS IN THE RIGHT-OF-WAY (PROW) SHALL BE FULLY REMOVED AND REPLACED.
4. STREET TREES - STREET TREES IN THE WORK AREA SHALL BE PROTECTED WITH FENCING THROUGHOUT CONSTRUCTION. ANY DAMAGE TO THE EXISTING PLANTING BED MATERIAL IS TO BE REPAIRED OR REPLACED WITH NEW MATERIAL OF LIKE NATURE. COORDINATE WITH THE CITY FORESTER'S OFFICE.
5. CURB - SIDEWALK REPLACEMENT - CURBING SHALL BE RESET OR REPLACED IN FULL PLIES ONLY TO THE NEAREST JOINT. ANY JOINTS DAMAGED DURING CONSTRUCTION SHALL BE FULLY REMOVED AND REPLACED. SIDEWALK SHALL BE REPLACED TO THE NEAREST CONTROL JOINT AND IN FULL PLAGE SEGMENTS.
6. PAVEMENTS - SHALL BE FULL DEPTH EXTENDING THROUGH THE BASE COURSE. RECYCLED MATERIALS ARE UNACCEPTABLE FOR BACKFILL OR SUBBASE COURSE MATERIALS.
7. RIGHT-OF-WAY - ALL WORK IN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ROCHESTER SPECIFICATIONS AND SHALL BE SECURED WITH A LETTER OF CREDIT WITH A 35% ADMINISTRATION COST RIDER.

1.1 PROPERTY OWNER - CONIFER REALTY, LLC
1000 UNIVERSITY AVENUE, SUITE 300
ROCHESTER NY 14607

1.2 PROPERTY ADDRESS - 96-98 N. UNION STREET 302-322 UNIVERSITY AVENUE
CITY OF ROCHESTER

1.3 TAX ACCOUNT - 106.82-1-40, 41, 42, 43,44,45,46,47

1.4 PARCEL SIZE - 0.585 Acres (TOTAL)

2. ZONING REGULATIONS:

2.1 ZONING DISTRICT - CCD-M - CENTER CITY - MAIN STREET DISTRICT (ARTICLE IX - SECTION 120-6B)

2.2 CODE REQUIREMENTS -

REQUIRED	PROVIDED
FRONT SETBACK	0' 4' (UNION) - 1' (UNIVERSITY)*
SIDE SETBACK - PARKING	10' 1"
-BUILDING	N/A 2'±
BUILDING HEIGHT	3 STORY MIN. 15 MAX 4 STORIES
PARKING	NONE 19 SPACES
VEHICULAR ENTRANCES	2 @ 11' 22'

2.3 MAJOR DEVIATION WAIVERS -

1. SETBACK DICTATED BY SEPARATION TO GAS MAIN PER RG&E
2. 40% OF PARKING REQUIRED TO BE SHADED BY TREES AT FULL GROWTH
3. PARKING MUST HAVE PEDESTRIAN ACCESS TO STREET
4. USE APPLICATION FOR FULL LIST OF WAIVERS

1. ALL SIDEWALK ROUTES ON THE SITE ARE ADA COMPLIANT AND ARE ACCESSIBLE ROUTES



STATE OF NEW YORK

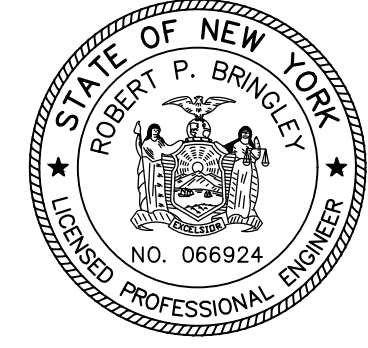
CITY OF ROCHESTER

REVISIONS

DATE	BY	REVISION
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IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 143, SECTION 7209 FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER IN ANY WAY, AN ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR. IF AN ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

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2 of 6
SHEET No:
0961-20
JOB No:

File: Z:\Engineering\Job Files\0961--18 Drawings\0961--20 Design.dwg, Last saved: 7/24/2020, Plot Date: 7/30/2020, Plot Style: ---

UTILITIES

1. SANITARY

1.1 MATERIALS

- **MAINS** - PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-35. PIPING AND FITTINGS SHALL MEET:
 - ASTM D-3034 (4" THRU 15")
 - ASTM F-679 (18" THRU 48")
 - **LATERALS** - PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-21. PIPING AND FITTINGS SHALL MEET ASTM D-2241.
 - **JOINTING MATERIALS** - SHALL BE BELL-AND-SPIGOT WITH INTEGRAL PUSH ON TYPE ELASTOMERIC GASKET JOINTS, GASKET MATERIAL TO BE NEOPRENE MEETING ASTM D-3212.
 - **MANHOLES** - SHALL BE PRECAST CONCRETE WITH NEOPRENE GASKETS MEETING ASTM C-478 & ASTM C-443.
- 1.2 INFILTRATION/ EXFILTRATION - MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER DAY FOR THE SANITARY SEWER. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM DESIGNATION C828-86 ENTITLED PRACTICE FOR LOW PRESSURE AIR TEST OF VITRIFIED CLAY PIPE LINES. SANITARY MANHOLES SHALL BE VISUALLY INSPECTED AND TESTED FOR LEAKAGE BY EX FILTRATION OR VACUUM. VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (REVISED).
- 1.3 FLOOR DRAINS - FLOOR DRAINS, IF CONSTRUCTED IN THE PROJECT, MUST BE CONNECTED TO THE SANITARY SEWER. NOTE: FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES FROM THE FLOOR DRAINS TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.
- 1.4 TESTING - DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
- 1.5 SEPARATION - MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.

2. STORM

- 2.1 REGULATIONS - STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST REGULATIONS OF THE MUNICIPALITY.
- 2.2 MATERIALS - THE CONTRACTOR MAY USE THE FOLLOWING PIPE MATERIAL FOR THE MAIN SEWER AS ALLOWED BY THE MUNICIPALITY, PROVIDING THAT THE ROUGHNESS COEFFICIENT ("N" FACTOR) IS 0.013 OR BETTER:
 - REINFORCED CONCRETE PIPE (RCP), CLASS III
 - CORRUGATED STEEL PIPE (CSP), 16 GAUGE
 - HIGH DENSITY CORRUGATED POLYETHYLENE PIPE (PE), AASHTO M-29, TYPE S, ASTM D-3350.
- 2.3 ROOF DRAINAGE - ALL ROOF DRAINAGE SHALL BE COLLECTED AND PIPED TO THE STORM SEWER SYSTEM UNLESS SPECIFIED OTHERWISE.
- 2.4 TESTING - UPON COMPLETION OF SYSTEM INSTALLATION, THE MAIN SEWER SYSTEM AND LEADS TO STRUCTURES SHALL BE FLUSHED AND LAMPED TO THE SATISFACTION OF THE MUNICIPALITY.

3. WATER

3.1 MCDPH STANDARD WATER MAIN EXTENSION NOTES

- 3.1.1 THE WATER MAIN AND TEMPORARY BYPASS PIPE SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING WATER MAINS, DESIGNATION C651, BY USING THE CONTINUOUS FEED METHOD. FOLLOWING DISINFECTION, THE WATER MAIN AND BYPASS PIPE SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM. THE INTERIOR OF ALL WATER MAIN PIPE, VALVES, FITTINGS AND SERVICES FOUR (4) INCHES AND LARGER, INCLUDING NEW HYDRANT BRANCHES CONNECTED TO EXISTING WATER MAINS, NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SPRAY OR SWAB DISINFECTED WITH A MINIMUM 1% - 5% SOLUTION OF CHLORINE NO MORE THAN 30-MINUTES PRIOR TO INSTALLATION. ADDITIONALLY, THE EXTERIOR SURFACES OF EXISTING PIPE AND FITTINGS THAT NEW PIPE AND FITTINGS WILL BE CONNECTED TO MUST BE THOROUGHLY CLEANED AND DISINFECTED. THE MAXIMUM DISTANCE BETWEEN DISINFECTION/SAMPLING TAPS ON NEW WATER MAIN AND BYPASS PIPE SHALL BE 1,000 FEET. THE SAMPLING POINT(S) MUST BE DECONTAMINATED BY FLAMING. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS. THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH (MCDPH) MUST RECEIVE AT LEAST 48-HOUR ADVANCE NOTIFICATION REQUESTING SAMPLING SERVICES. THE CONTRACTOR SHALL CALL 585-753-5057 TO ARRANGE FOR SAMPLING SERVICES AND IS RESPONSIBLE FOR PAYING ALL MCDPH SAMPLING FEES. SAMPLING WILL NOT BE PERFORMED PRIOR TO RECEIPT FROM A NEW YORK STATE LICENSED OR REGISTERED DESIGN PROFESSIONAL (ENGINEER, ARCHITECT OR LAND SURVEYOR WITH A SPECIAL EXEMPTION UNDER SECTION 720(B)(1) OF THE EDUCATION LAW) CERTIFYING THAT THE WATER SUPPLY IMPROVEMENTS, TESTING AND DISINFECTION PROCEDURES WERE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS, REPORTS, SPECIFICATIONS AND ANY APPROVED AMENDMENTS. THE DEPARTMENT WILL COLLECT SAMPLES FOR FREE CHLORINE RESIDUAL, TOTAL COLIFORM, ESCHERICHIA COLI (E. COLI) AND TURBIDITY. THE WATER MAIN AND BYPASS PIPE SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE MCDPH.
- 3.1.2 UNLESS OTHERWISE NOTED OR SHOWN ON THE APPROVED PLANS, THE MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER PIPE LINES SHALL BE 18-INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. UNLESS OTHERWISE NOTED OR SHOWN ON THE APPROVED PLANS, THE MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10- FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.
- 3.1.3 WHEN INSTALLING FIRE HYDRANTS, SHOULD GROUND WATER BE ENCOUNTERED WITHIN SEVEN (7) FEET OF FINISHED GRADE, FIRE HYDRANT WEEP HOLES (DRAINS) SHALL BE PLUGGED.
- 3.1.4 THE NEW WATER MAIN SHALL BE PRESSURE/LEAKAGE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE AWWA STANDARD C900 (LATEST REVISION) OR IN ACCORDANCE WITH MORE STRINGENT REQUIREMENTS IMPOSED BY THE SUPPLIER OF WATER. FOR CITY OF ROCHESTER WATER MAINS, PRESSURE/LEAKAGE TESTING SHALL BE PERFORMED IN ACCORDANCE WITH SUBSECTION 3.05 OF CITY OF ROCHESTER WATER BUREAU SPECIFICATION S900 - GENERAL WATER PROVISIONS.

3.2 RWB WATER MAIN AND SERVICE NOTES

- 3.2.1 WATER MAINS AND APPURTENANCES TO BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE ROCHESTER WATER BUREAU. ALL PIPE PRODUCTS, FITTINGS AND ACCESSORIES SHALL CONFORM TO THE LATEST ROCHESTER WATER BUREAU (RWB) APPROVED PRODUCTS LIST WHICH CAN BE FOUND ON THE CITY WEB SITE: [HTTP://WWW.CITYOFROCHESTER.GOV/WATERDOCUMENTS/](http://www.cityofrochester.gov/waterdocuments/).
- 3.2.2 ALL NEW WATER MAINS SHALL BE INSTALLED WITH A MINIMUM COVER DEPTH FROM PROPOSED FINISHED GRADE OF 4.5 FEET FOR DOMESTIC MAINS AND 5.0 FEET FOR HOLLY MAINS.
- 3.2.3 THE ROCHESTER WATER BUREAU REQUIRES THAT A HYDRANT USE PERMIT BE OBTAINED BY THE CONTRACTOR PRIOR TO USING ANY HYDRANT AS A SOURCE OF WATER SUPPLY. THE PERMIT REQUIRES THE USE OF A WATER METER AND A BACKFLOW PREVENTER. THE WATER BUREAU WILL SUPPLY A WATER METER AND BACKFLOW PREVENTER WITH THE PERMIT. THE PERMIT FEE INCLUDES A REFUNDABLE DEPOSIT FOR THE USE OF THE WATER METER AND BACKFLOW PREVENTER.
- 3.2.4 FOR EXISTING VALVES AND CURB STOPS THAT ARE LOCATED ON WATER MAINS AND WATER SERVICES WHICH ARE TO BE RETAINED, THE EXISTING VALVE AND CURB BOXES SHALL BE ADJUSTED TO GRADE OR REPLACED AS SHOWN ON THE PLANS OR DIRECTED BY THE PROJECT MANAGER.
- 3.2.5 FOR ALL ABANDONED WATER MAIN AND HYDRANT BRANCHES, THE CONTRACTOR SHALL PLUG ALL CUT AND OPEN ENDS WITH 12-INCHES OF CONCRETE. THE CONTRACTOR SHALL LEAVE ABANDONED MAIN LINE, HYDRANT BRANCH AND SERVICE VALVES IN THE CLOSED POSITION.
- 3.2.6 THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING NEAR WATER MAINS WHICH ARE TO BE RETAINED. NO VIBRATORY EQUIPMENT IS TO BE USED OVER OR ADJACENT TO EXISTING WATER MAINS.
- 3.2.7 APPROPRIATE MEASURES SHALL BE TAKEN TO PREVENT DIRT, DEBRIS, SURFACE AND GROUND WATER FROM CONTAMINATING THE WATER MAIN. THE WATER LEVEL IN THE EXCAVATION AT OPEN PIPE ENDS SHALL NEVER BE LESS THAN 12 INCHES BELOW THE INVERT OF THE WATER MAIN. WHENEVER AN OPEN PIPE END IS LEFT UNATTENDED, IT SHALL BE COVERED IN A WATER TIGHT MANNER.
- 3.2.8 ALL GATE VALVES REQUIRE MECHANICAL JOINT RESTRAINT WITHIN 18- FEET OF THE VALVE.
- 3.2.9 ALL NEW DUCTILE IRON WATER MAIN SHALL BE INSTALLED WITH POLYETHYLENE ENCASEMENT AND MAGNESIUM ANODES FOR CATHODIC PROTECTION.
- 3.2.10 ALL SERVICE TAPS ON PVC/PVC WATER MAIN REQUIRE SERVICE SADDLES.
- 3.2.11 STAINLESS STEEL INSERTS ARE REQUIRED ON ALL POLYETHYLENE (PE) SERVICE FITTINGS.
- 3.2.12 TRACER WIRE IS REQUIRED ON ALL BURIED NON-METALLIC WATER MAINS AND WATER SERVICES.
- 3.2.13 A PRECONSTRUCTION MEETING IS REQUIRED WITH THE ROCHESTER WATER BUREAU AFTER THE ISSUING OF A PERMIT, BUT BEFORE CONSTRUCTION OF THE WATER MAIN OR SERVICE BEGIN. CONTACT THE ROCHESTER WATER BUREAU AT (585) 428-7500 AND REQUEST TO SPEAK TO WATER ENGINEERING TO SCHEDULE THE MEETING.

MCPW - Rochester Pure Waters District Sewer Notes:

1. This plan requires approval and issuance of a plumbing permit from the CITY OF ROCHESTER PLUMBING DEPARTMENT.
2. Prior to construction, a SEWER CONNECTION PERMIT must be obtained from the Monroe County Pure Waters (MCPW) Permit Office at 145 Paul Road, Building 11, Rochester, New York 14624, phone # 753-7600 (ext. 05).
3. SEWER CONNECTION PERMIT(S) can only be issued to a plumber licensed in the City of Rochester and who is fully insured and bonded in the Rochester Pure Waters District (RPWD). Payment (check or money order to "RPWD") of all applicable permit fees must be paid prior to permit issuance.
4. The RPWD shall be notified **forty-eight hours** in advance of a connection or tap. [753-7600 (ext. 05)]. The Contractor shall make all required taps to the RPWD sewers. All taps and connections to District utilities must be witnessed by a District Inspector.
5. Sanitary/Storm Combination sewer lateral(s) and appurtenances shall be constructed in conformance with the *Requirements of the Rochester Pure Waters District*.
6. Cleanouts shall be installed on all 4" and 6" diameter sewer laterals at the Right-Of-Way (ROW) line, or the sewer easement line where applicable. (The sewer easement, right-of-way and/or property line must be staked out prior to installation of lot line cleanouts to ensure proper location of the cleanouts. [refer to cleanout detail for proper installation]).
7. If an existing lateral is to be utilized, the plumber/contractor must ensure that the lateral is in good condition and is free of debris (dirt, mud, stone, roots, etc.) v.c.) via a video taped inspection performed by the plumber/contractor or his/her agent. Prior to connection, the video taped inspection of the existing lateral must be presented to the District for review and approval to utilize an existing lateral. It is the responsibility of the builder or their agent to clean and/or replace the pipe/lateral as needed.
8. Any new portion of a sewer lateral installed within the public Right-of-Way and sewer easement must be SDR-21 PVC.
9. Any existing laterals not utilized must be abandoned to Monroe County Pure Waters (MCPW) standards at the property line or, where applicable, the sewer easement line.
10. Floor drains if constructed, shall be connected to the sanitary/combination sewer. Floor drains do not include foundation/footer drains. Note: All discharges to the sanitary/combination sewer must comply with the effluent limits of the local and/or Monroe County Sewer Use Law.
11. Any portion of a sewer/lateral with less than four-feet (4') of cover will require concrete encasement. Sewers/Laterals with less than three-feet (3') of cover are not allowed.
12. The requirements of the highway/property owner shall be adhered to for items above the pipe bedding, including, but not limited to, maintenance and protection of traffic, backfill material and surface restoration.

ROCHESTER PURE WATERS DISTRICT

CITY OF ROCHESTER WATER BUREAU
APPROVED ONLY FOR WATER SERVICE TAPS LOCATING WITHIN THE PUBLIC RIGHT-OF-WAY OF LOT AND INCLUDING THE CURB WALL, AND INCLUDING THE WATER METER VAULT NEAR THE RIGHT-OF-WAY. IF APPLICABLE, THE OWNER, DEVELOPER OR THEIR PLUMBER IS RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS FROM THE CITY BEFORE BEGINNING ANY WORK.

IF A BACKFLOW PREVENTION DEVICE IS REQUIRED, THE WATER BUREAU WILL NOT ISSUE A WATER SERVICE PERMIT UNTIL THE PLUMBING FOR THE BACKFLOW PREVENTION DEVICE HAVE BEEN APPROVED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.

☒ BACKFLOW DEVICE REQUIRED ☐ BACKFLOW DEVICE NOT REQUIRED

SIGNATURE	TITLE	DATE

SPECIAL NOTES:
1. ALL PROPOSED LATERALS SHALL HAVE CROSSINGS WITH EXISTING UTILITIES ELEVATED UPON EXCAVATION OF THE TRENCHES AND CONFLICTS IMMEDIATELY REPORTED TO THE DESIGN ENGINEER FOR CLARIFICATION.
2. MINIMUM SEPARATIONS SHALL BE 12" VERTICAL FOR ALL UTILITY CROSSINGS UNLESS NOTED OTHERWISE

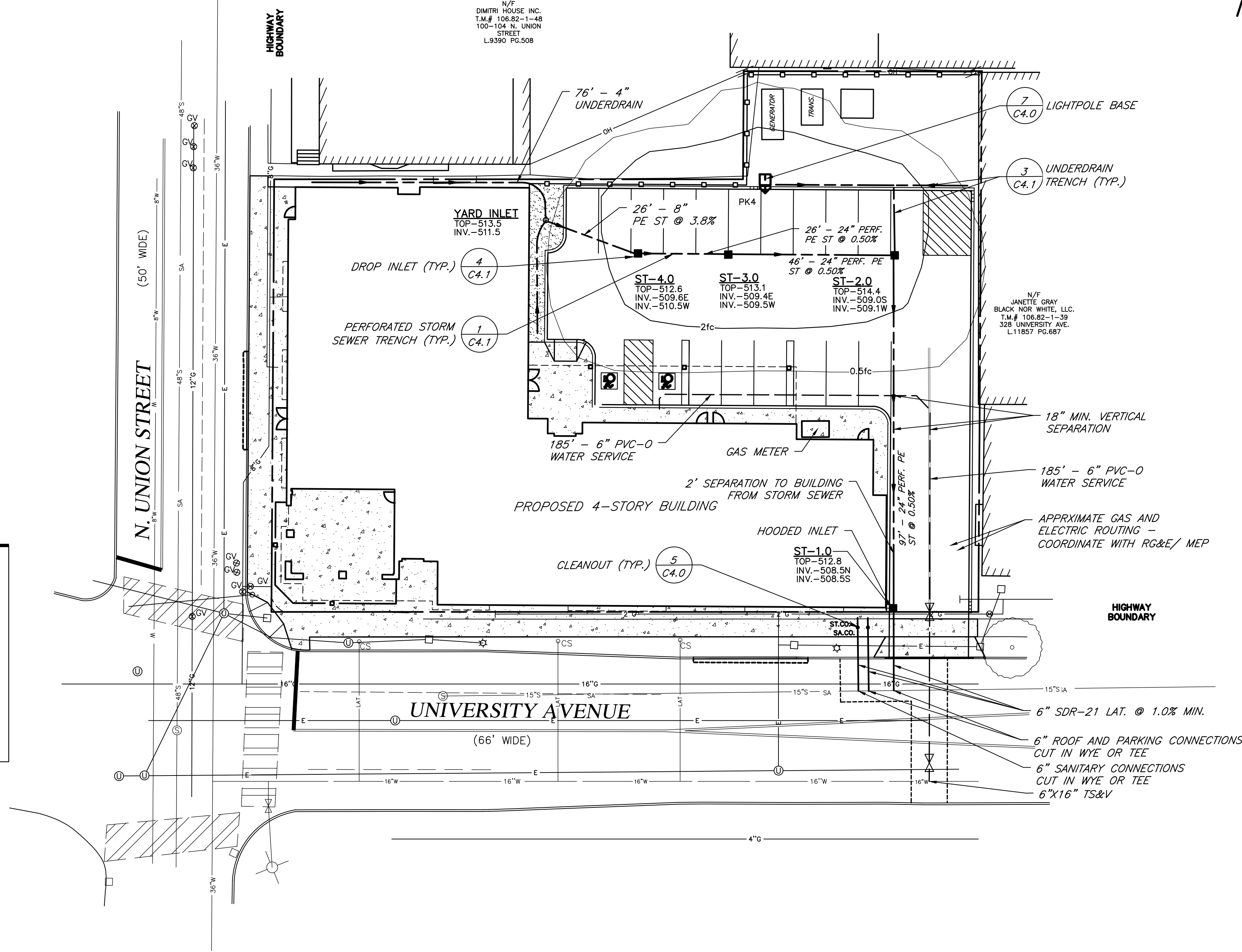
U + U (0961) LUMINAIRE SCHEDULE			MOUNTING/BALLAST	LUF	QTY
TYP	SYMBOL	DESCRIPTION			
PK4	⬆	EATON - McGRAW - Type4 LED (1) 7'X-4" CLEON-AF-04-LED-EI-T4W	15' Square 2" Conc. Reed 18" Total Height	0.9	1

Monroe County Department of Public Health

These plans for Public Water System Extension / Improvement are hereby approved pursuant to 10NYCRR5 of the State Sanitary Code subject to conditions of Approval

Director of Public Health

By _____ Public Health Engineer Date _____



EARTHWORK

THESE NOTES DO NOT SUPPLANT THE GEOTECHNICAL REPORT OF RECORD BUT ARE INTENDED AS A GENERAL GUIDE TO THE CONTRACTOR.

1. PREPARATION - PRIOR TO START OF EARTHWORK OPERATIONS THE CONTRACTOR SHALL COMPLETE THE FOLLOWING APPLICABLE ITEMS AS DEFINED BY CONTRACT DOCUMENTS:
- **SITE DEMOLITION** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER; STRUCTURES, UTILITIES, PAVEMENTS, ETC.
 - **CLEARING AND GRUBBING** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER; TREES, BRUSH, STUMPS, ETC.
 - **TOPSOIL STRIPPING** - STRIP AND STOCKPILE TOPSOIL FOR REUSE. EXCESS TOPSOIL MAY BE REMOVED FROM SITE WITH APPROVAL BY OWNER AND MUNICIPALITY.
2. RESPONSIBILITY - THE CONTRACTOR IS RESPONSIBLE FOR:
- **ESTIMATE** - COMPLETION OF A QUANTITY TAKEOFF TO DETERMINE THE VOLUME OF CUT, FILL, AND TOPSOIL. COMPARE AND COORDINATE WITH INFORMATION PROVIDED BY THE DESIGN ENGINEER.
 - **GRADE TOLERANCES** - ESTABLISHING DESIGN SUBGRADE ELEVATIONS TO WITHIN ONE TENTH OF ONE FOOT (0.10') IN PAVEMENT AREAS (INCLUDING WALKS) AND TO WITHIN THIRTY-THREE HUNDREDTHS OF ONE FOOT (0.33') FOR ALL REMAINING AREAS.
 - **COMPACTION** - ACHIEVING THE SPECIFIED MINIMUM COMPACTION VALUES FOR EMBANKMENT/FILL AREAS. THE TERMS "FILL" AND EMBANKMENT" ARE INTERCHANGEABLE.
 - **CUTS** - ONCE EXCAVATIONS ARE SHAPED TO THE DESIGN GRADES THE AREAS SHALL BE PROTECTED TO ASSURE THAT THE INTEGRITY OF MATERIAL IS NOT COMPROMISED BY CONSTRUCTION VEHICLES AND/OR IMPROPER DRAINAGE. AREAS DETERMINED BY CONTRACTOR TO BE **NOT** SUITABLE FOR SUBGRADE PLACEMENT SHALL BE IMMEDIATELY REPORTED WHEN THE SUBGRADE IS ESTABLISHED TO OWNER'S REPRESENTATIVE. STABILIZATION MEASURES FOR CUT AREAS MAY BE CONSIDERED BY OWNER'S REPRESENTATIVE AS A CHANGE TO THE BASE CONTRACT.
3. TESTING - THE FOLLOWING MAXIMUM DRY DENSITIES SHALL BE ACHIEVED AS MEASURED BY THE MODIFIED PROCTOR METHOD ASTM D-1557:
- **95%** UNDER PAVEMENTS, WALKS, AND IN STRUCTURAL FILL AREAS
 - **85%** IN REMAINING AREAS

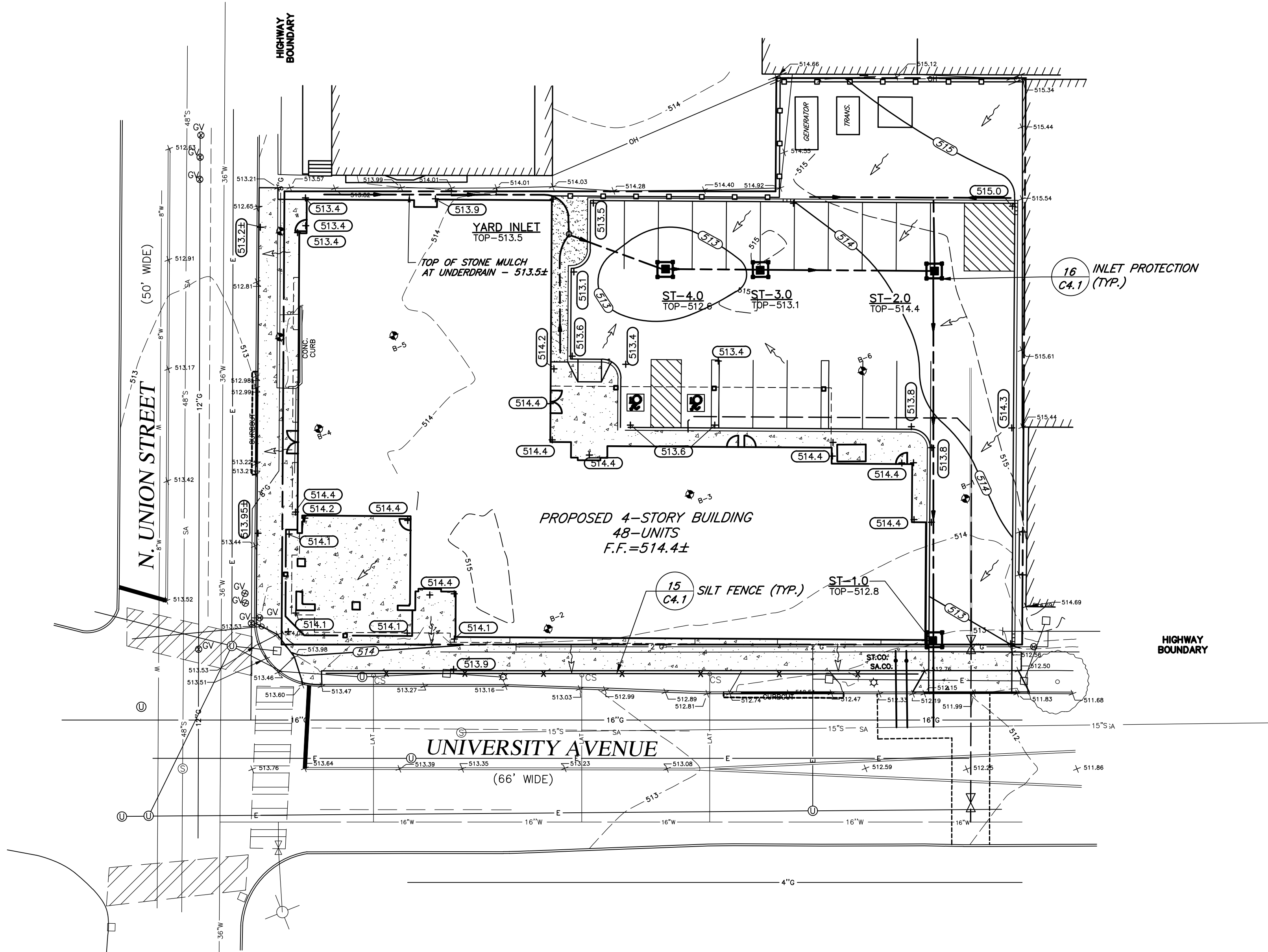
THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL DEFINE THE NUMBER OF TESTS AND RESPONSIBILITY. WE RECOMMEND IN EMBANKMENT AREAS ONE PER LIFT AND/OR ONE PER 1,000 CUBIC YARDS.

4. LIFT THICKNESS - THE MAXIMUM LIFT THICKNESS UNDER PAVEMENTS, WALKS, AND STRUCTURAL FILLS SHALL BE 12 INCHES. HAND OPERATED COMPACTION FILLS SHALL NOT EXCEED 6 INCHES.
5. PROOF ROLLING - THE OWNER'S REPRESENTATIVE SHALL REQUEST A PROOF ROLL (I.E. LOADED TEN WHEELER) OF SUBGRADE AREAS PRIOR TO PLACEMENT OF SUBBASE MATERIALS. AREAS THAT "FAIL" SHALL BE REMOVED AND REPLACED TO ACHIEVE A PASSING SUBGRADE.

EROSION CONTROL

1. INSPECTION - EROSION CONTROL (EC) MEASURES INSTALLED AND MAINTAINED BY THE SITE WORK CONTRACTOR ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE: MUNICIPALITY, DESIGN ENGINEER, AND OWNER'S REPRESENTATIVE. IMMEDIATE ACTION BY THE CONTRACTOR SHALL BE TAKEN IF ADDITIONAL OR CORRECTIVE MEASURES ARE REQUIRED BY ANY ONE OF THESE CITED REVIEWERS.
2. PRE-CONSTRUCTION - THE APPROPRIATE EROSION CONTROL MEASURES AS DEFINED BY THE CONSTRUCTION DOCUMENTS SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
3. SLOPES - UPON COMPLETION OF GRADING, SLOPES WITH A GRADIENT OF ONE FOOT VERTICAL TO THREE FEET HORIZONTAL (1 ON 3) OR GREATER SHALL BE: TOPSOILED, SEEDED, FERTILIZED AND MULCHED OR TREATED AS SPECIFIED ON CONTRACT DRAWINGS.
4. DUST - THE CONTRACTOR SHALL APPLY WATER AND/OR CALCIUM CHLORIDE, AS CONDITIONS WARRANT, TO CONTROL WIND BORN EROSION. THIS MEASURE APPLIES TO: HAUL ROADS, CUT AND FILL OPERATIONS, SUB-BASE AND ANY OTHER EXPOSED SURFACES.
5. OPERATION & MAINTENANCE - THROUGHOUT THE PERIOD OF CONSTRUCTION AND PRIOR TO ESTABLISHING FINAL GROUND COVER THE SITE CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE TEMPORARY EROSION CONTROL MEASURES.
6. WORK STOPPAGE - ALL DISTURBED AREAS NOT TO BE WORKED WITHIN 21 DAYS MUST BE SEEDED WITHIN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA.
7. SEQUENCE - THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES IN THE FOLLOWING SEQUENCE UNLESS AUTHORIZED OTHERWISE AT PRE-CONSTRUCTION MEETING:
- INSTALL PERIMETER SEDIMENT CONTROLS, I.E. EROSION FENCING.
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 - PROTECT VEGETATION TO REMAIN.
 - CLEAR/GRUB AND CONSTRUCT DIVERSIONARY SWALES, AND SEDIMENT BASINS.
 - COMPLETE CLEARING AND GRUBBING OPERATION.
 - PLACE EROSION CONTROL MEASURES AT TOPSOIL STOCKPILES AND STRIP TOPSOIL.
 - CONSTRUCT SWALES AND SILTATION DEVICES AS EARTHWORK OPERATIONS PROGRESS.
 - MAINTAIN EROSION CONTROL MEASURES AND PLACE ADDITIONAL MEASURES AS EARTHWORK AND UNDERGROUND UTILITIES ARE CONSTRUCTED.
 - RESTORE AREAS AS DEFINED BY CONTRACT DOCUMENTS.
 - REMOVE EROSION CONTROL MEASURES AS AREAS ARE REESTABLISHED WITH GROUND COVER.

ADA NOTE:
- ALL SIDEWALKS SHALL BE 5% MAX. IN THE DIRECTION OF TRAVEL AND 2% MAX. CROSS SLOPE.
- ADA PARKING SPACES SHALL BE 2% MAXIMUM SLOPE IN ANY DIRECTION.



MARATHON ENGINEERING
ROCHESTER LOCATION
39 CASCADE DRIVE
ROCHESTER, NY 14614
585-458-7770
ITHACA LOCATION
840 HANSHAW RD, STE 12
ITHACA, NY 14850
607-241-2917
www.marathoneng.com

PRELIMINARY/ FINAL SITE PLANS
for
302 INDEPENDENCE PLACE
CONIFER REALTY, LLC
302 UNIVERSITY AVENUE
MONROE COUNTY
CITY OF ROCHESTER
STATE OF NEW YORK

JOB NO: 0961-20
SCALE: 1"=20'
DRAWN: MPT
DESIGNED: MPT
DATE: 07/28/2020

REVISIONS

DATE	BY	REVISION

I, A NOTARY PUBLIC FOR THE STATE OF NEW YORK, DO HEREBY CERTIFY THAT I HAVE PERSONALLY KNOWN AND BELIEVE THE SIGNATURE OF THE DESIGNER TO BE THAT OF THE DESIGNER AND THAT HE OR SHE IS A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ACT IN ANY WAY, AND BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR, IN ANY STATE BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS A TRUE AND CORRECT COPY OF THE ORIGINAL AS SUBMITTED TO THE CITY ENGINEER AND THE DATE OF SUCH ALTERATION, AND A TRUE AND CORRECT COPY OF THE ORIGINAL.

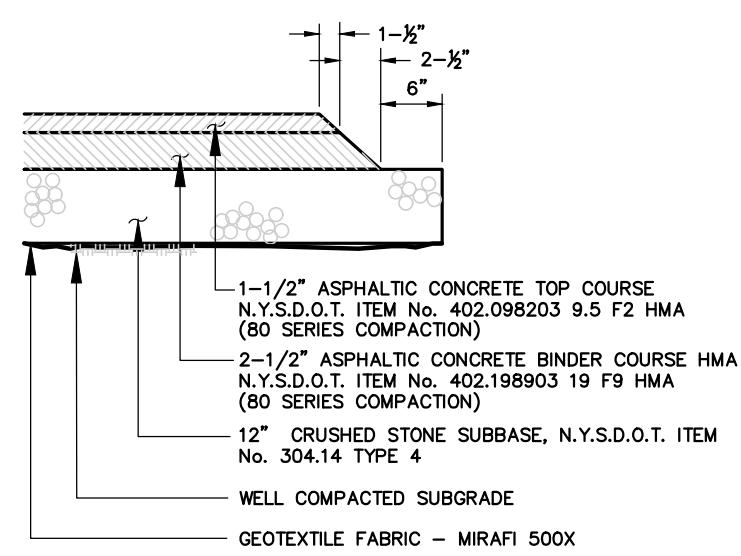
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STATE OF NEW YORK
ROBERT P. BRINGLEY
NO. 066924
LICENSED PROFESSIONAL ENGINEER
ROBERT P. BRINGLEY

DRAWING TITLE:
**GRADING AND
E.C. PLAN**

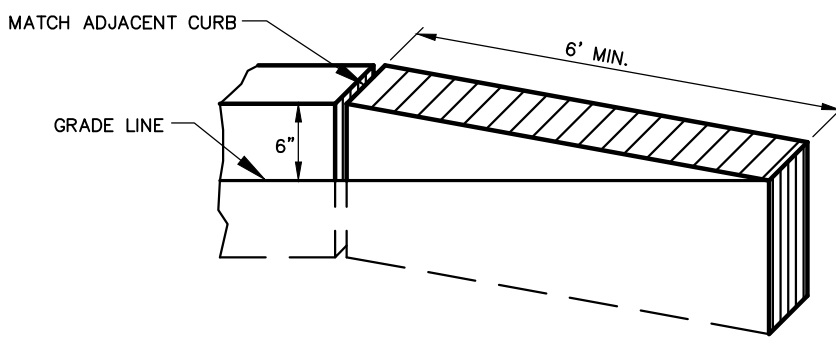
4 of 6
SHEET No: **C3.0**
0961-20
JOB No: DRAWING No:

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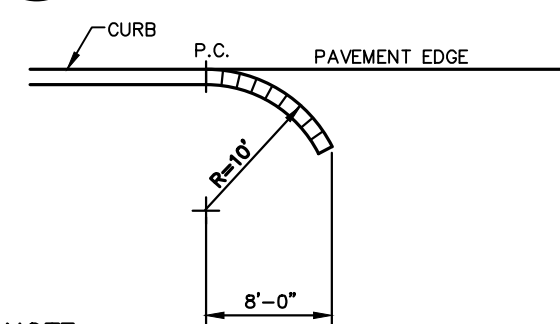


1 PAVEMENT SECTION

NOTE: CONTRACTOR TO CLEAN AND TACK COAT BEFORE PLACING TOP COAT IF BINDER IS CONTAMINATED OR GREATER THAN 30 DAYS PASSES BETWEEN PLACEMENT OF BINDER AND TOP



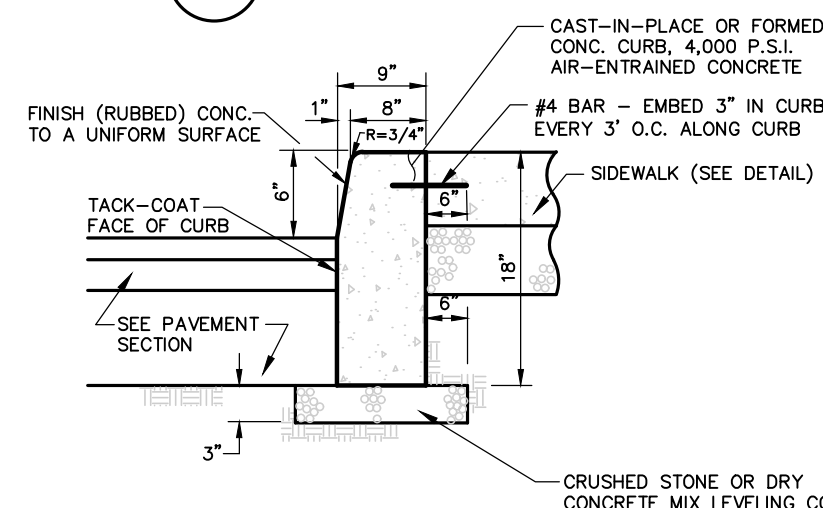
2 CURB TRANSITION



NOTE:

TRANSITION SPECIFIED CURB REVEAL ALONG CURVE OR STRAIGHT AS SHOWN ON PLAN, STARTING @ P.C. WITH NO REVEAL AT END OF RADII.

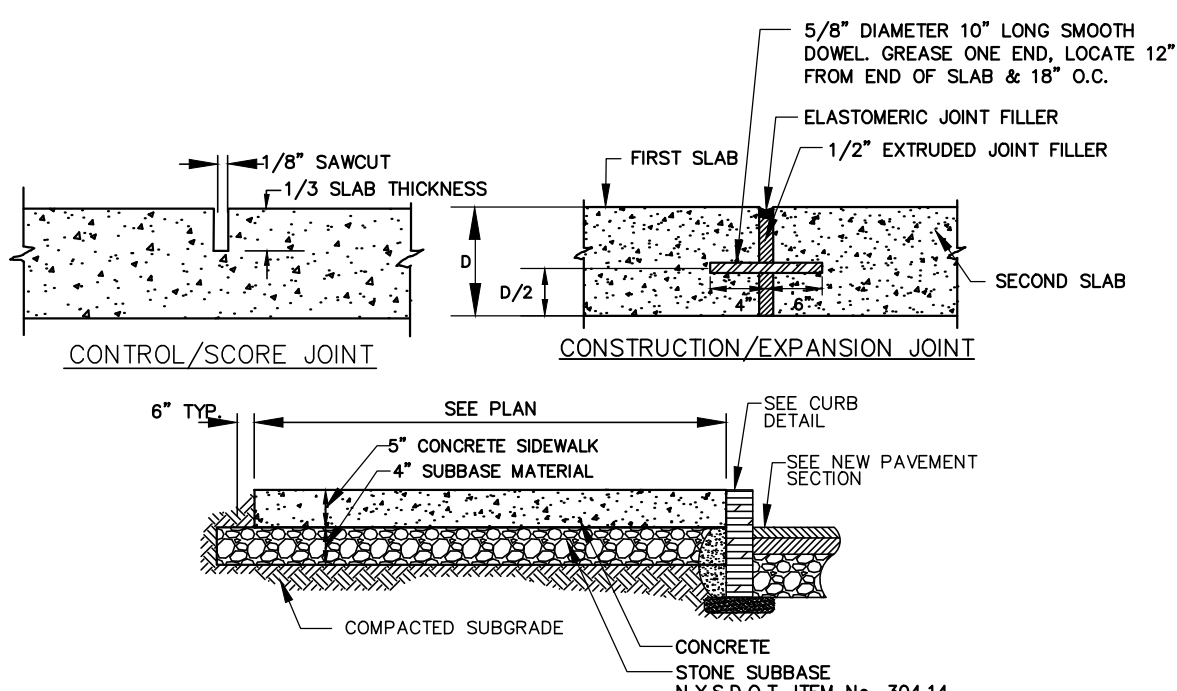
3 CURB TAPER



NOTES:

1. PROVIDE 7" REVEAL AT DROP INLETS
2. PROVIDE CONSTRUCTION JOINTS AT 20' INTERVALS AND EXPANSION JOINTS AT 80' MAXIMUM SPACING. EXPANSION JOINTS SHALL BE FORMED WITH PRE-MOLDED BITUMINOUS JOINT FILLER AND REBAR TO PREVENT SEPARATION.

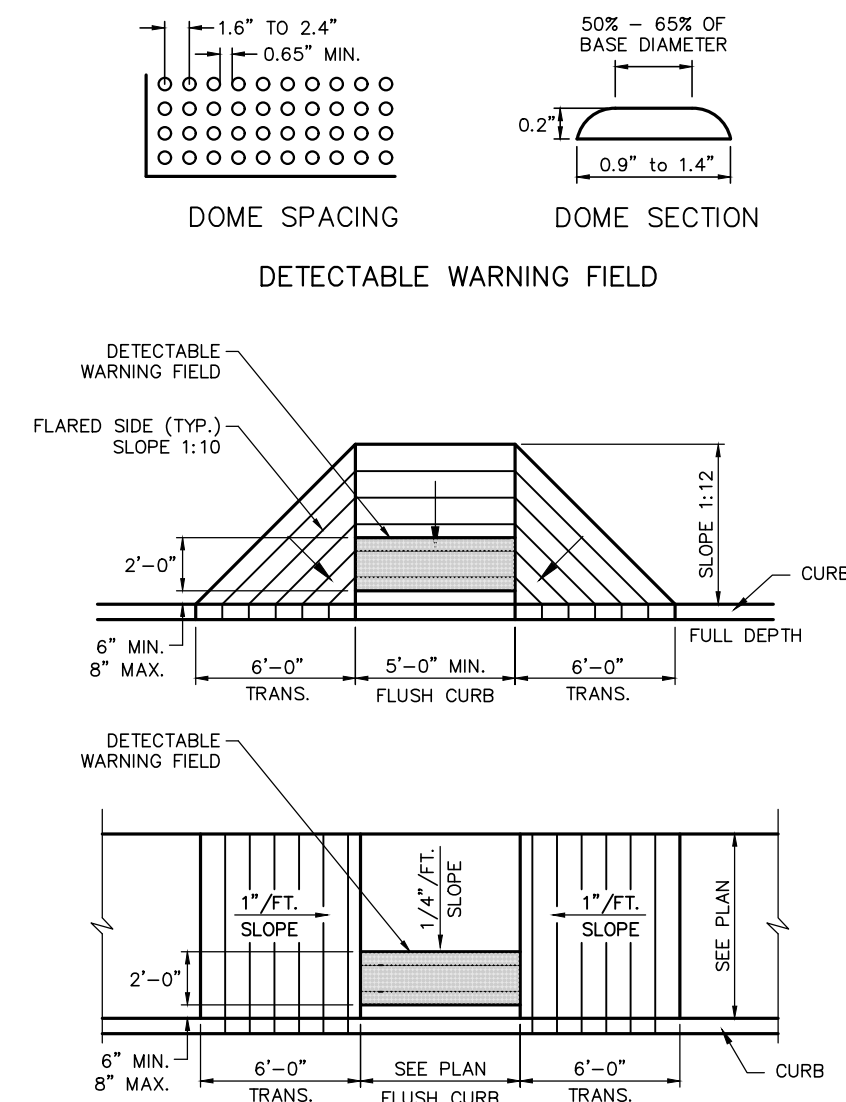
4 CONCRETE CURB WITH SIDEWALK BEHIND



NOTES:

1. CONCRETE SHALL BE 4000 PSI AIR-ENTRAINED MIX.
2. CONCRETE SURFACE SHALL RECEIVE A BROOM FINISH (IF NOT SPECIFIED AS EXPOSED AGGREGATE CONCRETE) AND TWO COATS OF A MEMBRANE FORMING SEALER AT RATES SPECIFIED BY PRODUCT MANUFACTURER.
3. EXPANSION JOINTS SHALL BE PROVIDED AT FIXED STRUCTURES AND AT LEAST EVERY 30' ALONG THE SIDEWALK.
4. CONSTRUCTION JOINTS WITH DOWELS SHALL BE PROVIDED AT SUBSEQUENT POLES.
5. CONTROL JOINTS SHALL BE LOCATED AS SHOWN ON PLAN AND IN ACCORDANCE WITH A.D. 330-192. THESE JOINTS SHALL BE COMPLETED WITHIN 24 HOURS OF CONCRETE PLACEMENT.
6. SCORE PATTERN - SCORING PATTERN SHALL BE 3" x 5" SQUARE, MAY VARY IN CERTAIN AREAS-COORDINATE WITH OWNERS ON-SITE REP PRIOR TO SCORING SIDEWALKS.
7. SIDEWALKS SHALL HAVE A MINIMUM 0.5% AND MAXIMUM 2.0% CROSS SLOPE TO PROVIDE POSITIVE DRAINAGE. CROSS SLOPE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND ENTRANCES.
8. "SNAP-CAP" OR EQUAL SHALL BE USED FOR SHAPING EXPANSION JOINTS.
9. SEE CURBING DETAIL FOR DOWELING WHEN ADJACENT TO CONCRETE CURBING.

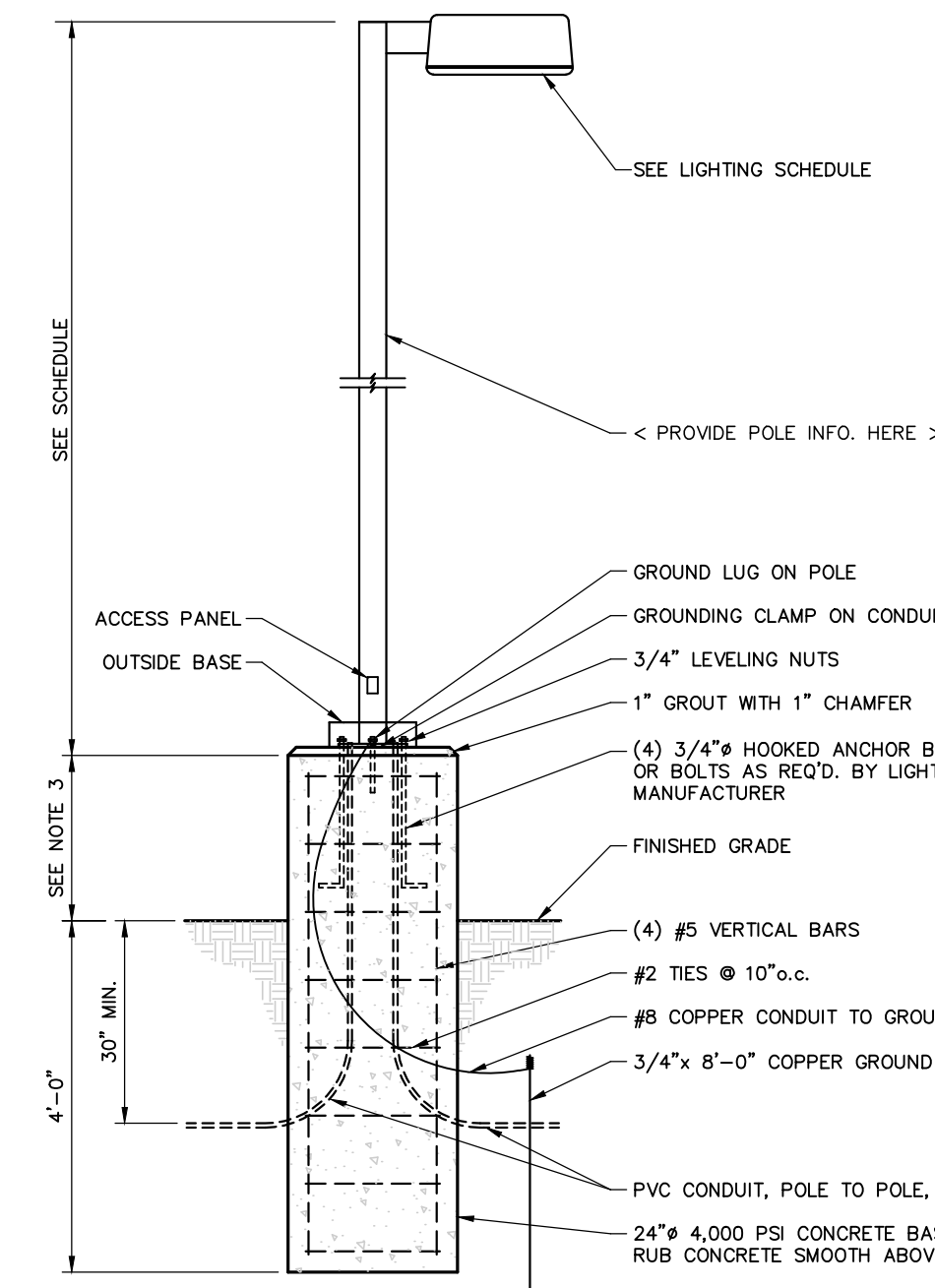
5 CONCRETE SIDEWALK PRIVATE



NOTES:

1. SURFACE TEXTURE OF RAMP SHALL BE COARSE BROOM FINISHED TRANSVERSE TO RAMP.
2. REFER TO TYPICAL SIDEWALK DETAIL FOR MATERIAL SPECIFICATIONS.
3. DETECTABLE WARNING FIELD SHALL EXTEND THE FULL WIDTH OF CURB RAMP OR FLUSH SURFACE.
4. DETECTABLE WARNING FIELD SHALL BE "DARK GREY" IN COLOR, UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS, OR AGES.
5. DETECTABLE WARNING FIELD SHALL BE ADA SOLUTIONS WARNING SURFACE - "CAST-IN-PLACE TACTILE REPLACEABLE" OR EQUAL.

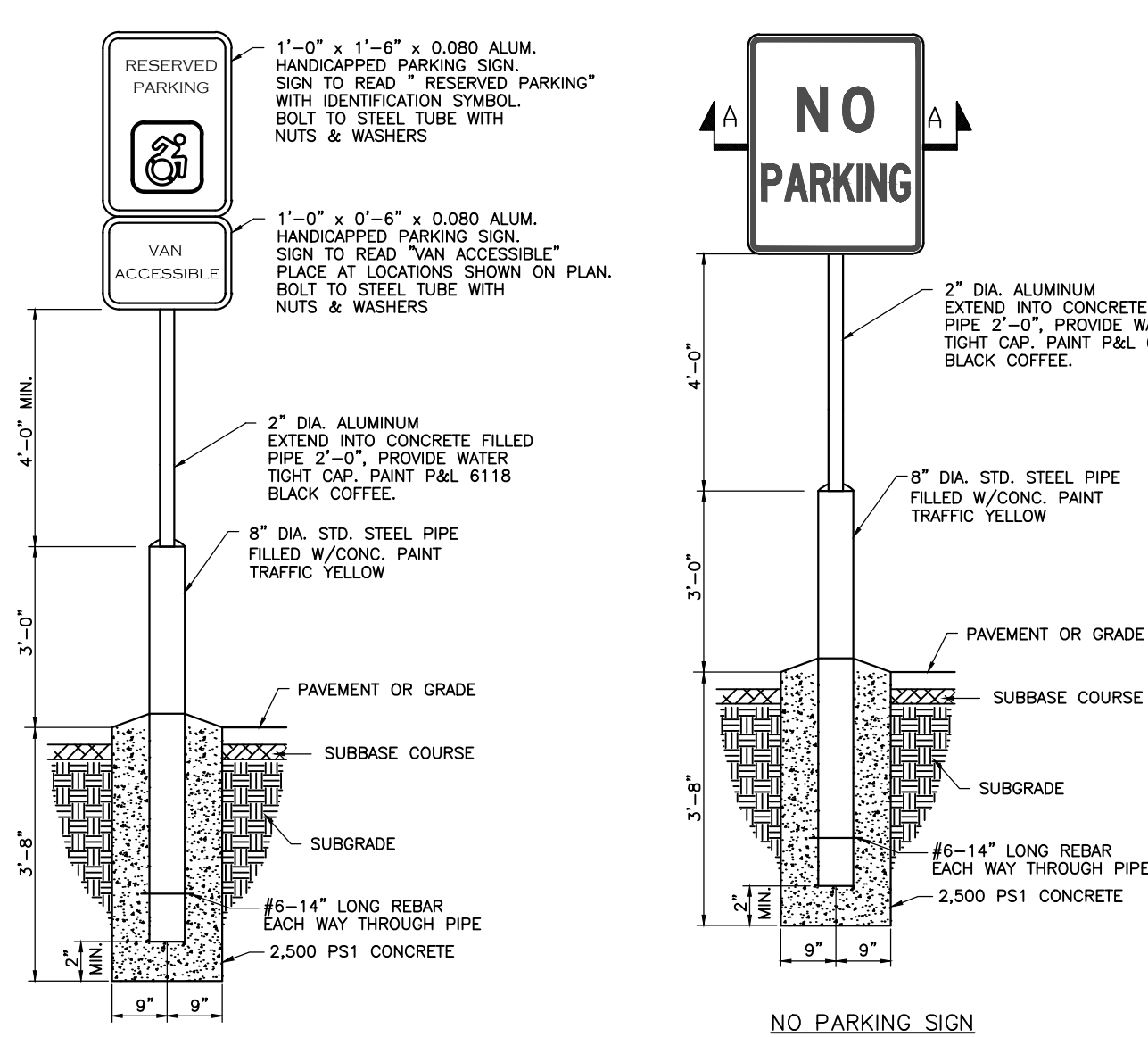
6 ACCESS RAMP



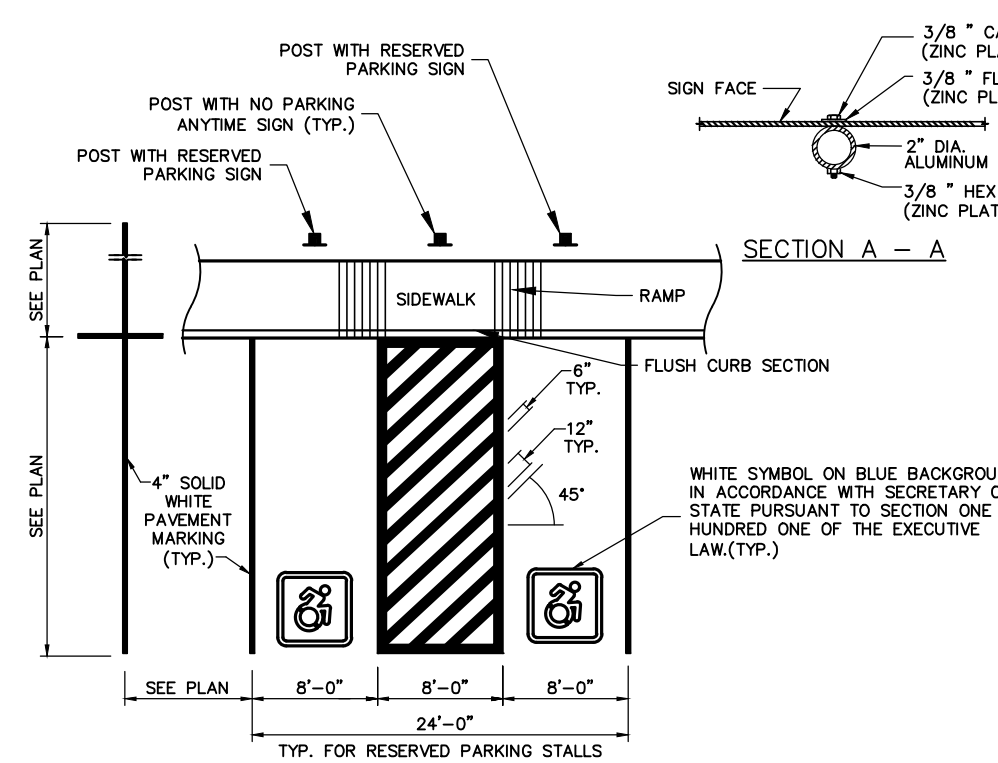
NOTES:

1. POLE BASE MAY BE PRECAST BY LAKELANDS (LB240).
2. LIGHT POLE MANUFACTURER TO SUPPLY ANCHOR BOLTS, OUTSIDE BASE, AND BOLT PATTERN TEMPLATES.
3. IN PAVEMENT AREAS CONCRETE BASE SHALL EXTEND 24" MINIMUM ABOVE ASPHALT, IN PROTECTED LANDSCAPE AREAS (BEHIND CURB) BASES SHALL HAVE A MINIMUM OF 6" REVEAL ABOVE FINISHED GRADE.
4. BASES SHALL HAVE 2" MIN. HORIZONTAL SEPARATION FROM BACK OF CURB OR SIDEWALK UNLESS SPECIFICALLY CALLED OUT OTHERWISE ON THE PLANS.

7 LIGHT BASE



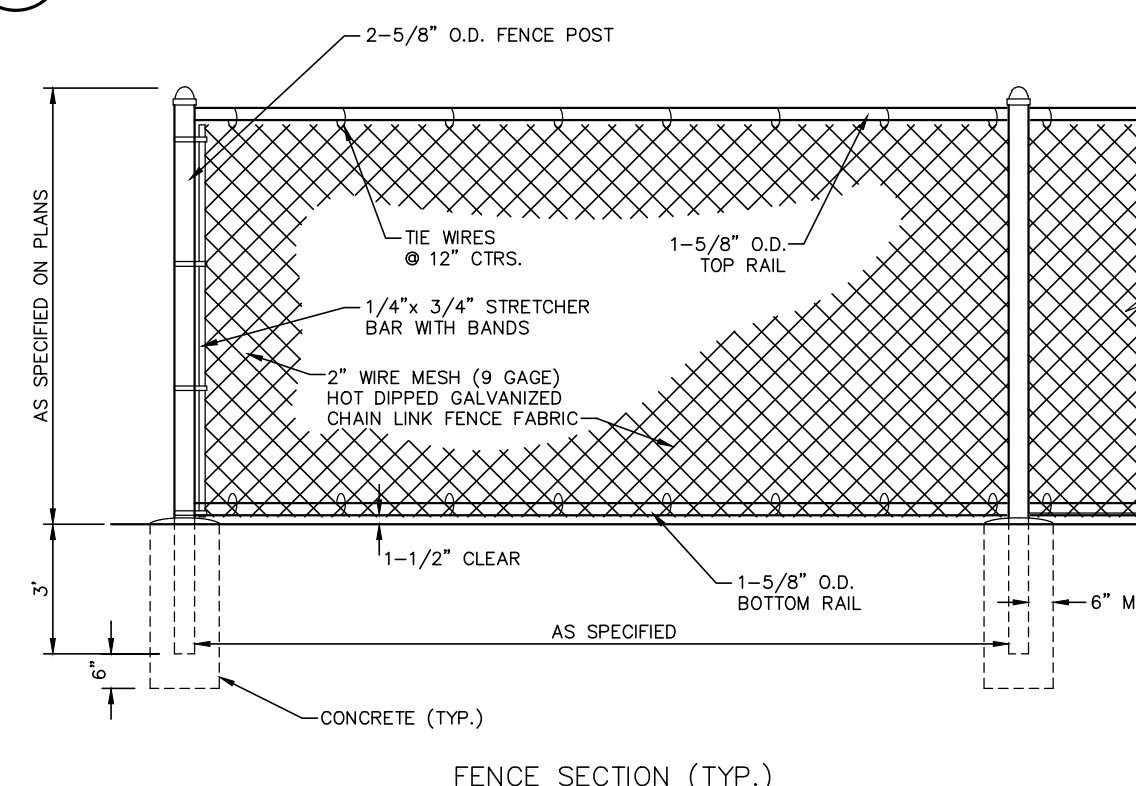
RESERVED PARKING SIGN



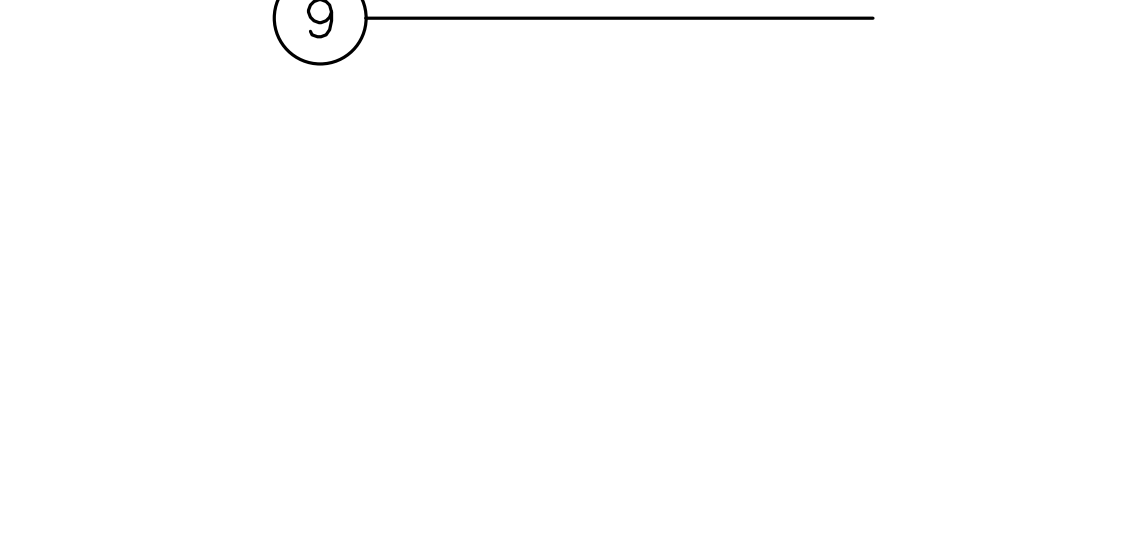
PARKING

NOTE: ALL ACCESSIBLE PARKING AND ROUTES SHALL BE CONSTRUCTED CONSISTENT WITH THE MOST CURRENT ADA GUIDELINES. IN GENERAL ALL PARKING AND LOADING ZONES SHALL HAVE NO MORE THAN 2.0% SLOPE IN ANY DIRECTION. PRIOR TO PAVING CONTRACTOR SHALL VERIFY SLOPES AND REPORT ANY SLOPES GREATER THAN 2% TO THE ENGINEER.

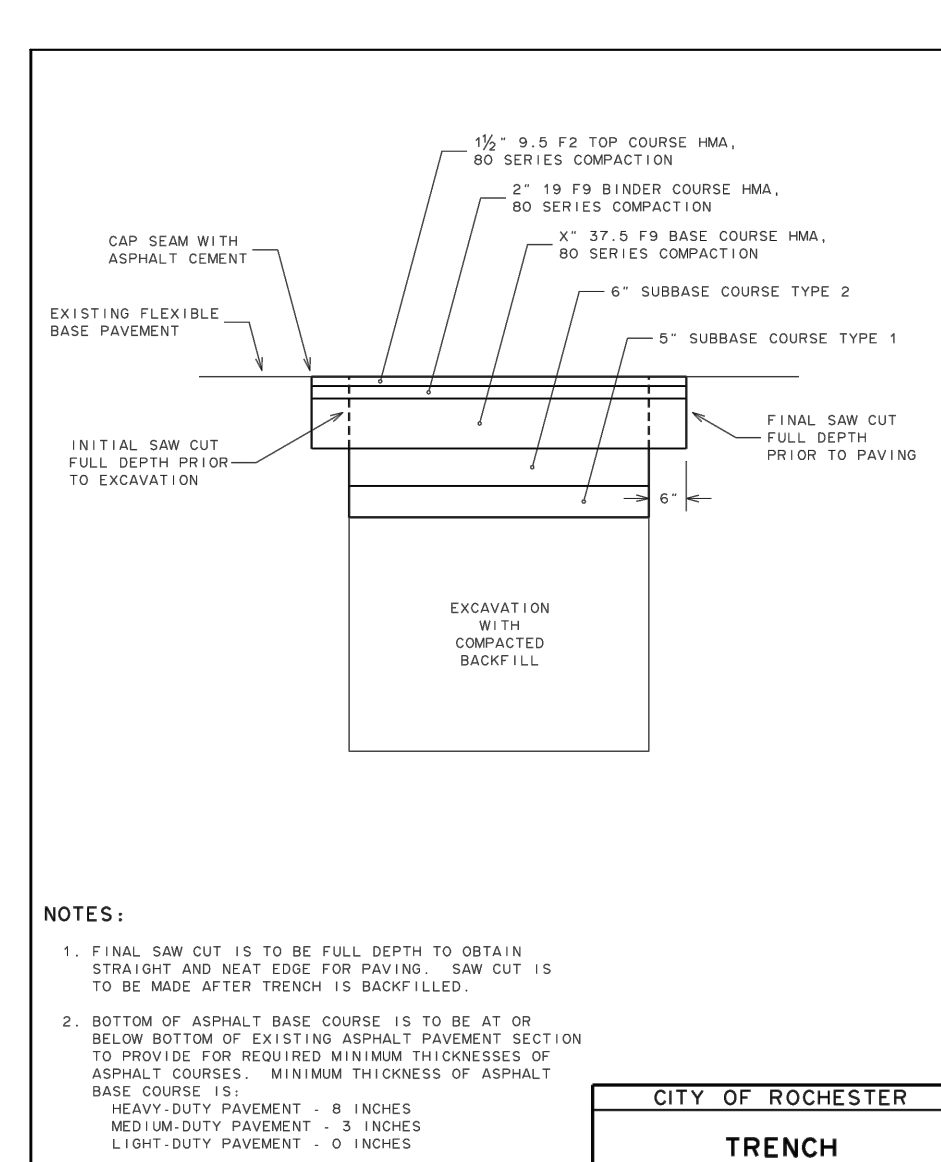
8 RESERVED PARKING AND SIGNAGE



9 CHAIN LINK FENCE



9

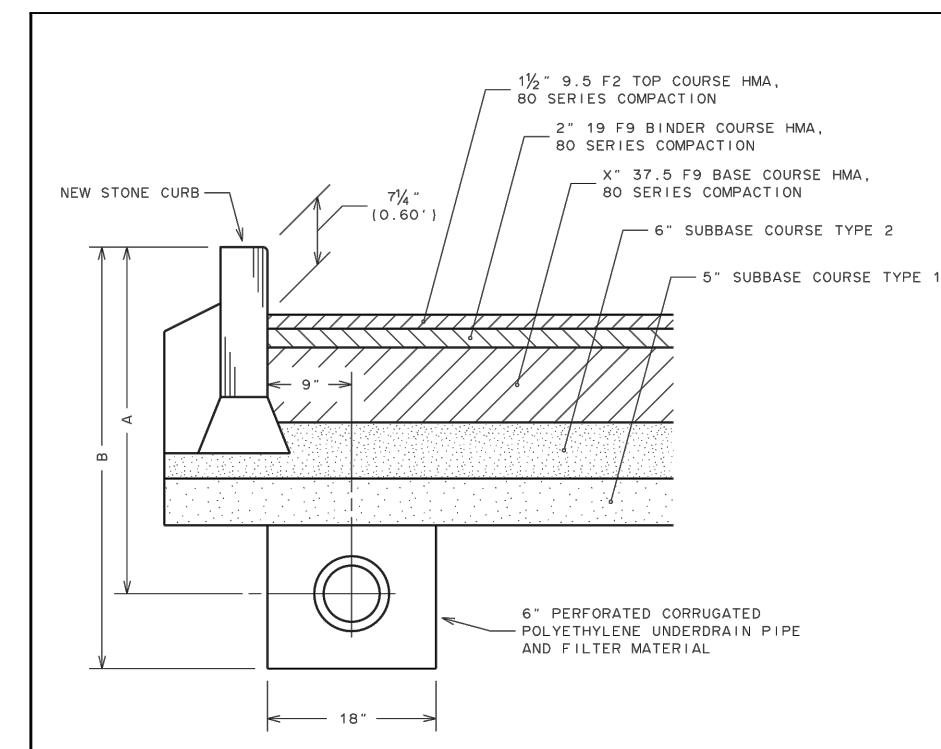


NOTES:

1. FINAL SAW CUT IS TO BE FULL DEPTH TO OBTAIN STRAIGHT AND NEAT EDGE FOR PAVING. SAW CUT IS TO BE MADE AFTER TRENCH IS BACK-FILLED.
2. BOTTOM OF ASPHALT BASE COURSE IS TO BE AT OR BELOW BOTTOM OF EXISTING ASPHALT PAVEMENT SECTION TO PROVIDE FOR REQUIRED MINIMUM THICKNESSES OF ASPHALT COURSES. MINIMUM THICKNESS OF ASPHALT BASE COURSE IS:
HEAVY-DUTY PAVEMENT - 8 INCHES
MEDIUM-DUTY PAVEMENT - 3 INCHES
LIGHT-DUTY PAVEMENT - 0 INCHES
3. TACK COAT IS TO BE APPLIED BETWEEN ALL LIFTS OF HMA PAVEMENT COURSES.
4. SEAMS BETWEEN EXISTING AND NEW PAVEMENT ARE TO BE SEALED WITH ASPHALT CEMENT 702-0700 IN ACCORDANCE WITH NYDOT SECTION 702 BITUMINOUS MATERIALS.

CITY OF ROCHESTER	
TRENCH RESTORATION ASPHALT BASE	
ISSUED	9-2-91
REVISED	7-31-12
DWG.NO.R206-1	

10 TRENCH RESTORATION (IN R.O.W.)



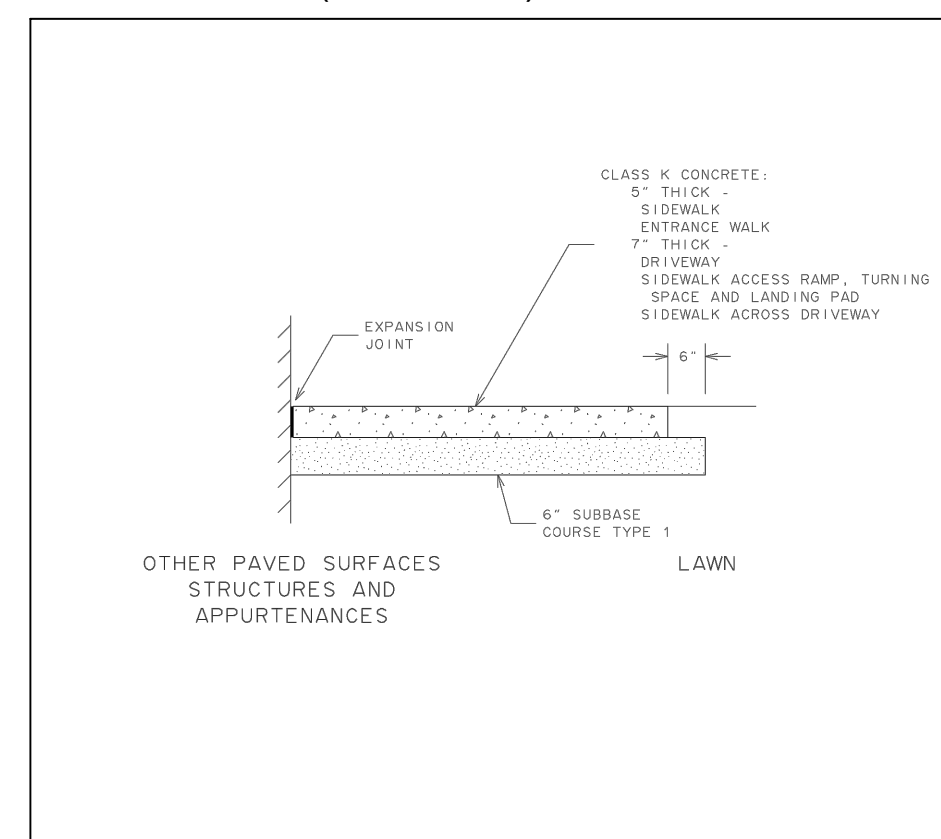
PAVEMENT SECTION	THICKNESS BASE COURSE	A (E UNDERDRAIN PIPE)	B (BOTTOM UNDERDRAIN TRENCH)
LIGHT-DUTY	0"	2'-6"	3'-2"
MEDIUM-DUTY	3"	2'-9"	3'-5"
MODIFIED	6"	2'-11"	3'-7"
HEAVY-DUTY	8"	3'-1"	3'-9"

NOTE:

TACK COAT IS TO BE APPLIED BETWEEN ALL LIFTS OF HMA PAVEMENT COURSES AND ON FACE OF CURB BETWEEN CURB AND ASPHALT PAVEMENT.

CITY OF ROCHESTER	
ASPHALT PAVEMENT SECTION WITH CURB	
ISSUED	9-2-91
REVISED	7-31-12
DWG.NO.R400-1	

11 ASPHALT WITH CURB (IN R.O.W.)

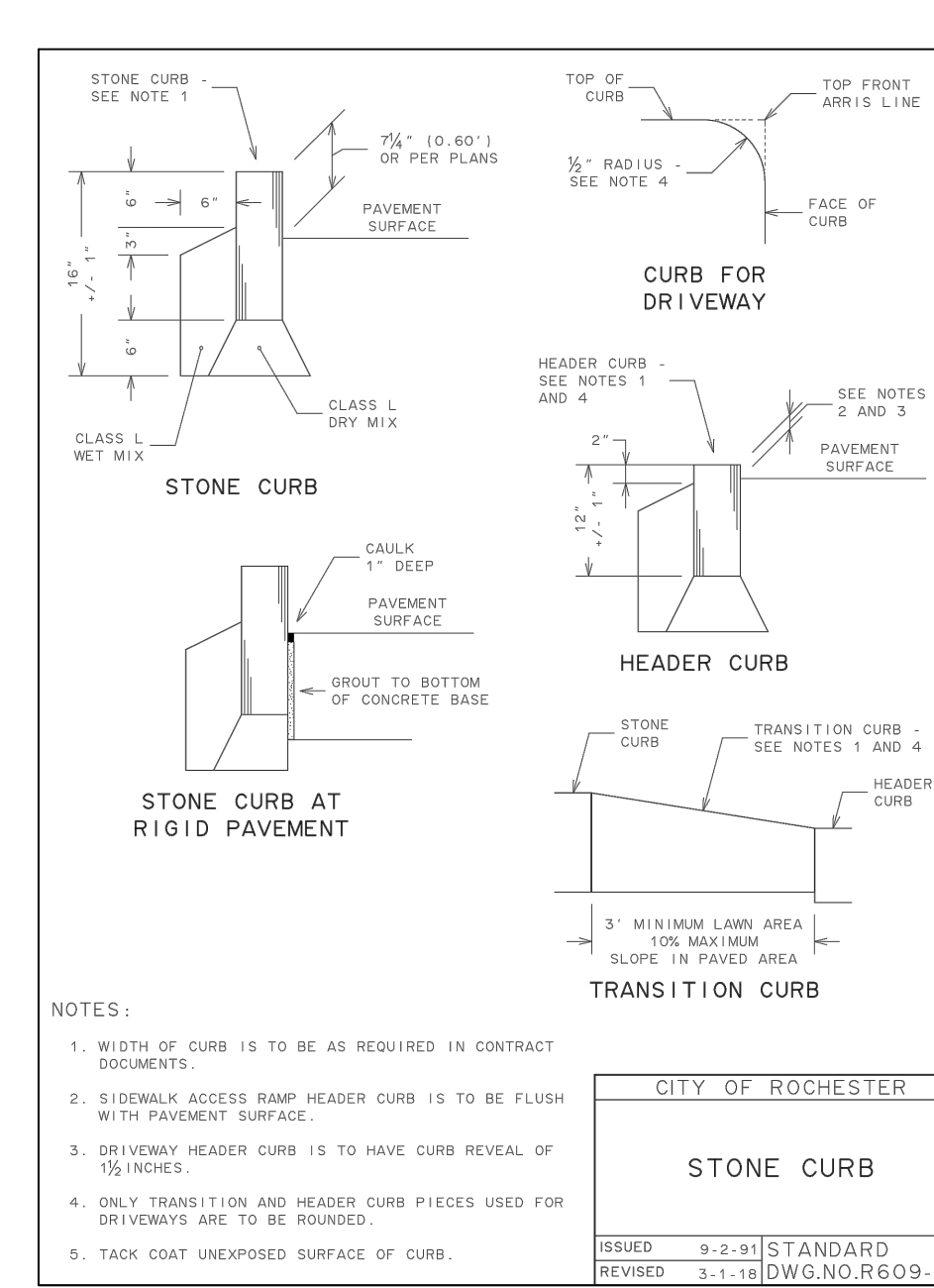


NOTES:

1. MINIMUM CLEAR WIDTH FOR SIDEWALK IS 5 FEET AS MEASURED FROM BACK EDGE OF CURB OR CONCRETE GUTTER.
2. CROSS SLOPE OF SIDEWALK TO BE 1.50%.
3. SURFACE TO BE FIRM, STABLE AND SLIP-RESISTANT.
4. SIDEWALK ACCESS RAMP AND LANDING PAD TO BE 7" THICK CLASS II CONCRETE.
5. PROVIDE 1/2" WIDE EXPANSION JOINT BETWEEN NEW CONCRETE CONSTRUCTION AND OTHER PAVED SURFACES, STRUCTURES AND APPURTENANCES.
6. EXPANSION JOINT: 1/2" WIDE PREMOULDED EXPANSION JOINT MATERIAL, SEAL WITH CAULKING SEALANT 1/2" WIDE 1/2" DEEP.
7. SIDEWALK SURFACE, GRADE AND CROSS SLOPE ARE TO BE MAINTAINED ACROSS DRIVEWAYS.

CITY OF ROCHESTER	
CONCRETE SIDEWALK AND DRIVEWAY	
ISSUED	9-2-91
REVISED	7-1-17
DWG.NO.R608-6	

12 CONCRETE SIDEWALK AND DRIVEWAY (IN R.O.W.)

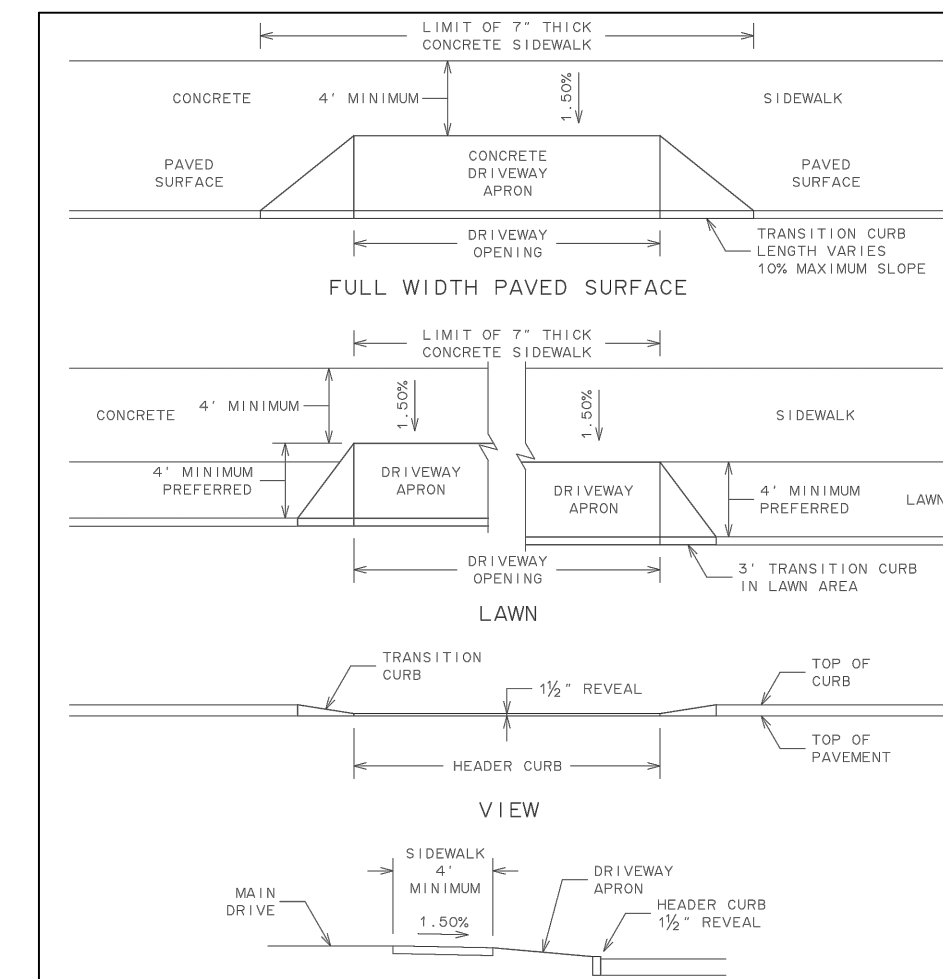


NOTES:

1. WIDTH OF CURB IS TO BE AS REQUIRED IN CONTRACT DOCUMENTS.
2. SIDEWALK ACCESS RAMP HEADER CURB IS TO BE FLUSH WITH PAVEMENT SURFACE.
3. DRIVEWAY HEADER CURB IS TO HAVE CURB REVEAL OF 1/2 INCHES.
4. ONLY TRANSITION AND HEADER CURB PIECES USED FOR DRIVEWAYS ARE TO BE ROUNDED.
5. TACK COAT UNEXPOSED SURFACE OF CURB.

CITY OF ROCHESTER	
STONE CURB	
ISSUED	9-2-91
REVISED	3-1-16
DWG.NO.R609-1	

13 GRANITE CURB (IN R.O.W.)

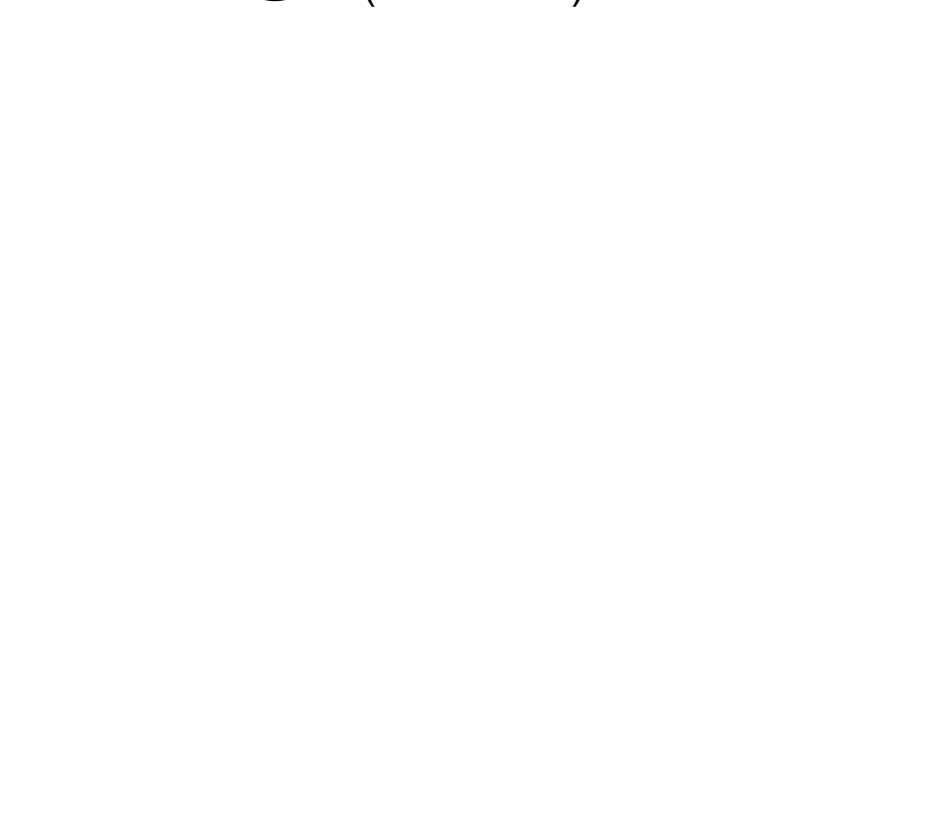


NOTES:

1. MINIMUM DRIVEWAY OPENING WIDTH IS 9 FEET BETWEEN 12 AND 15 FEET FOR RESIDENTIAL DRIVEWAY, 24 FEET MAXIMUM FOR TWO-WAY COMMERCIAL DRIVEWAY, 18 FEET MAXIMUM FOR ONE-WAY COMMERCIAL DRIVEWAY. ACTUAL WIDTH WILL BE AS APPROVED BY CITY.
2. FULL DEPTH 1/2" WIDE EXPANSION JOINT ACROSS SIDEWALK AT BOTH ENDS AND AROUND OUTER LIMITS OF DRIVEWAY APRON WHERE ADJUT OTHER PAVED SURFACES.
3. MAXIMUM DESIRABLE DRIVEWAY APRON SLOPE, 6% FOR RESIDENTIAL DRIVEWAY, 6% FOR COMMERCIAL DRIVEWAY.

CITY OF ROCHESTER	
DRIVEWAY APRON AT CURB	
ISSUED	9-2-91
REVISED	6-1-16
DWG.NO.R608-5	

14 DRIVEWAY APRON (IN R.O.W.)



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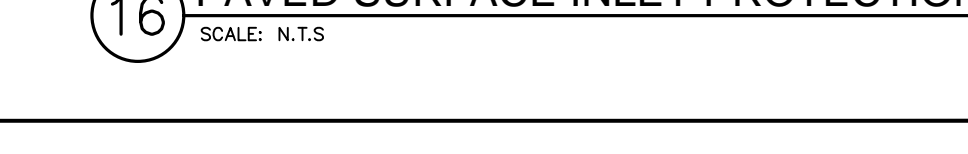
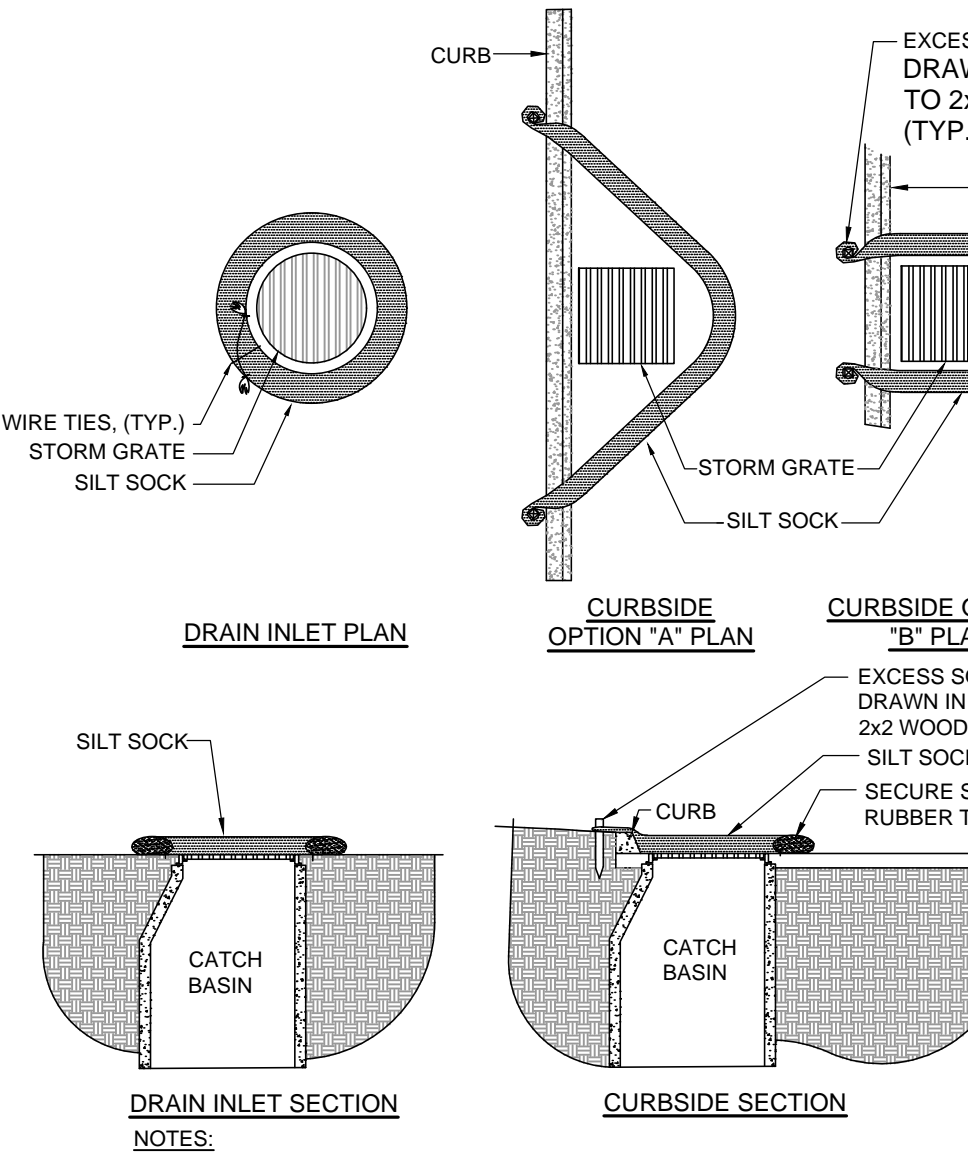
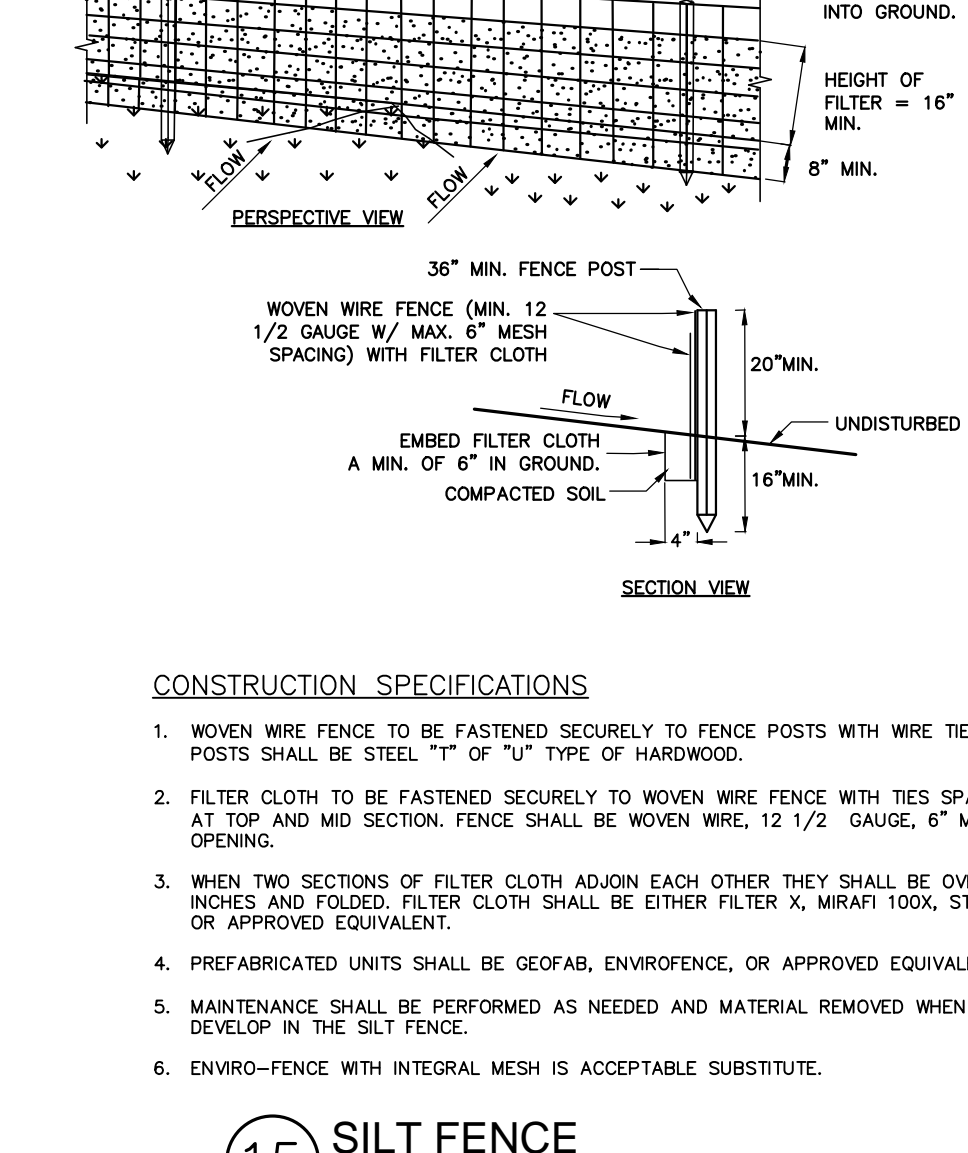
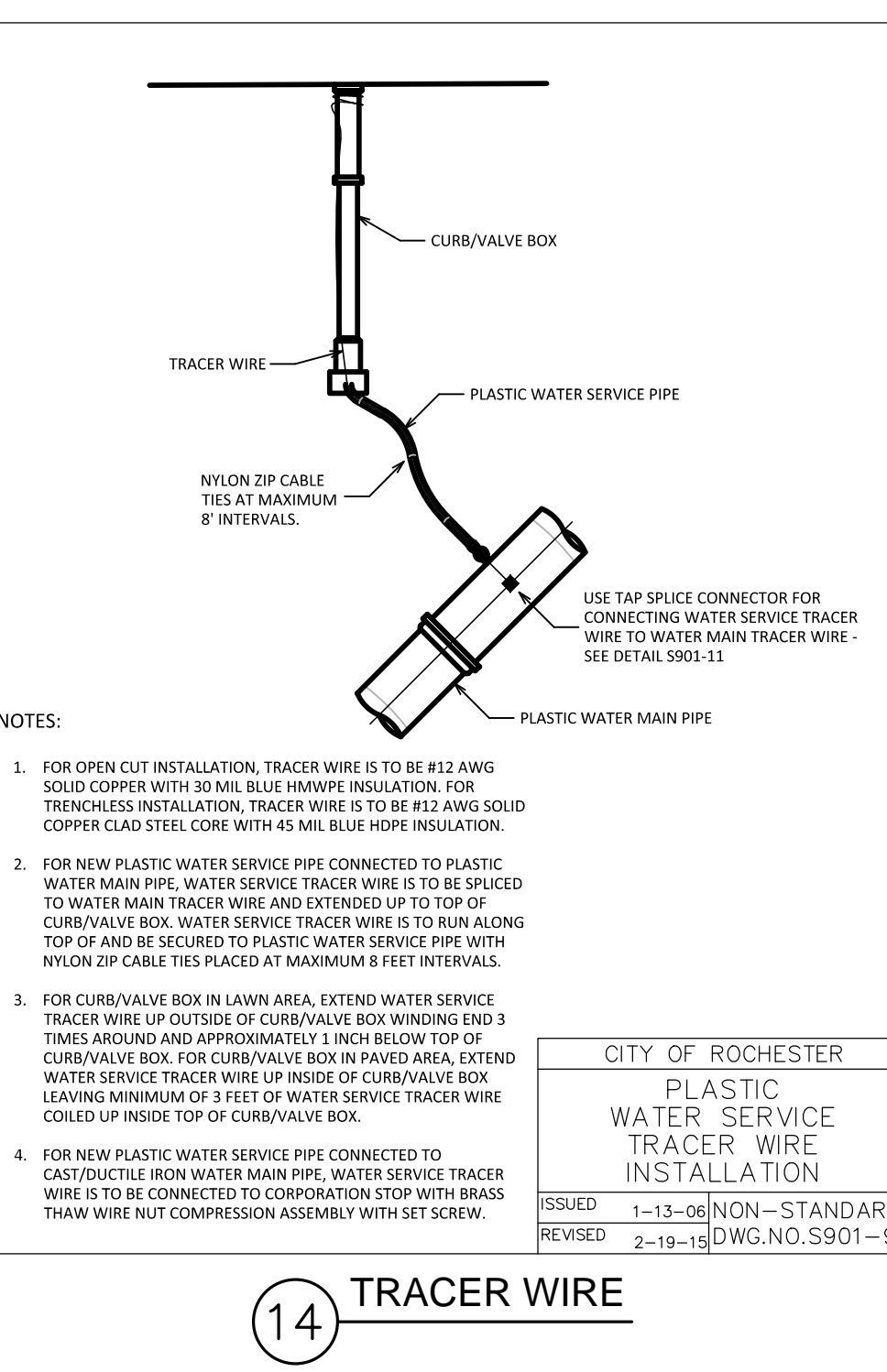
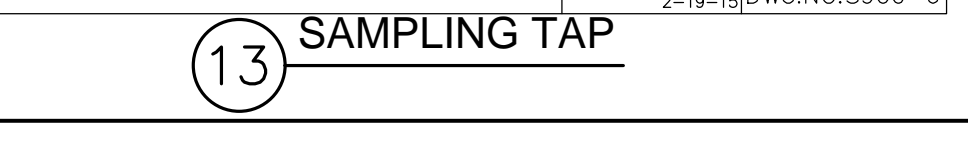
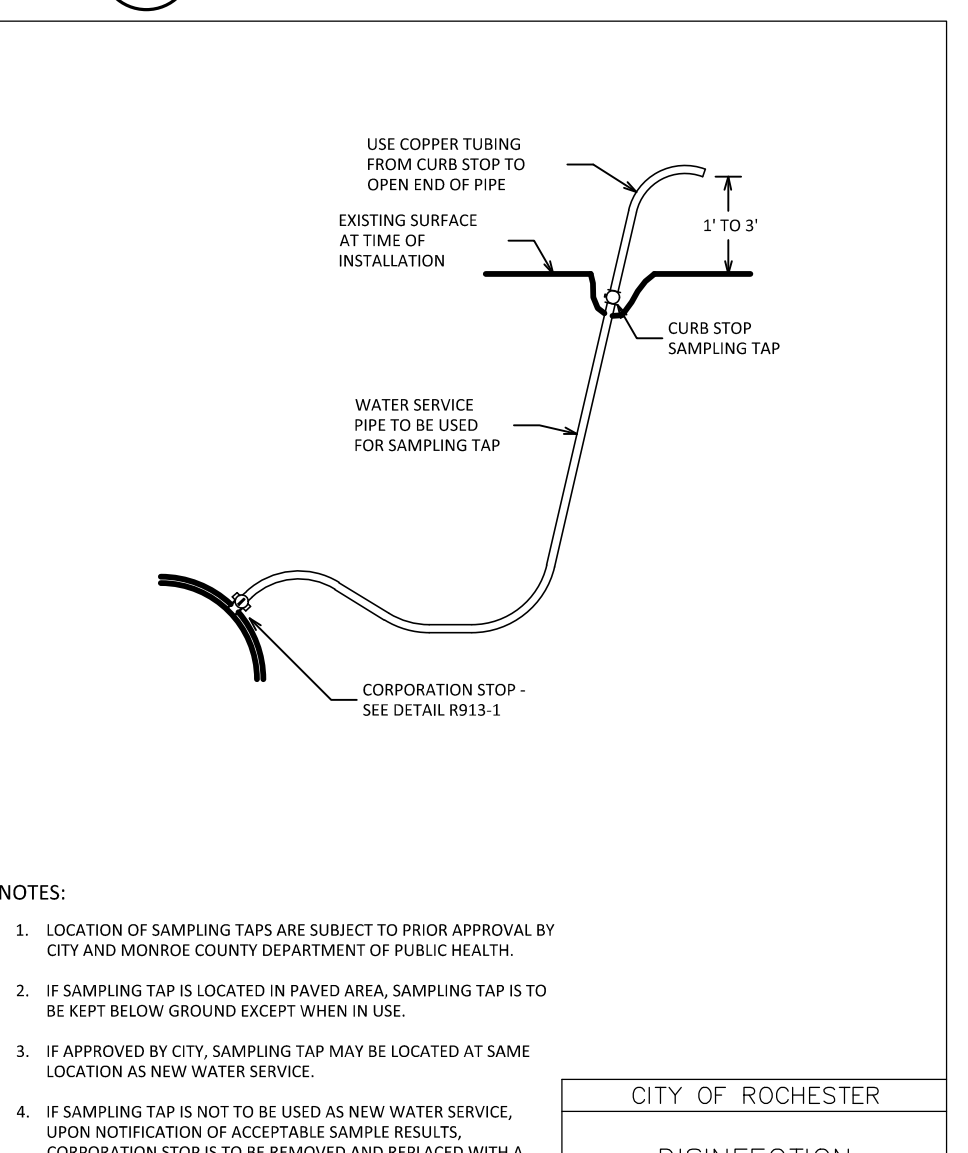
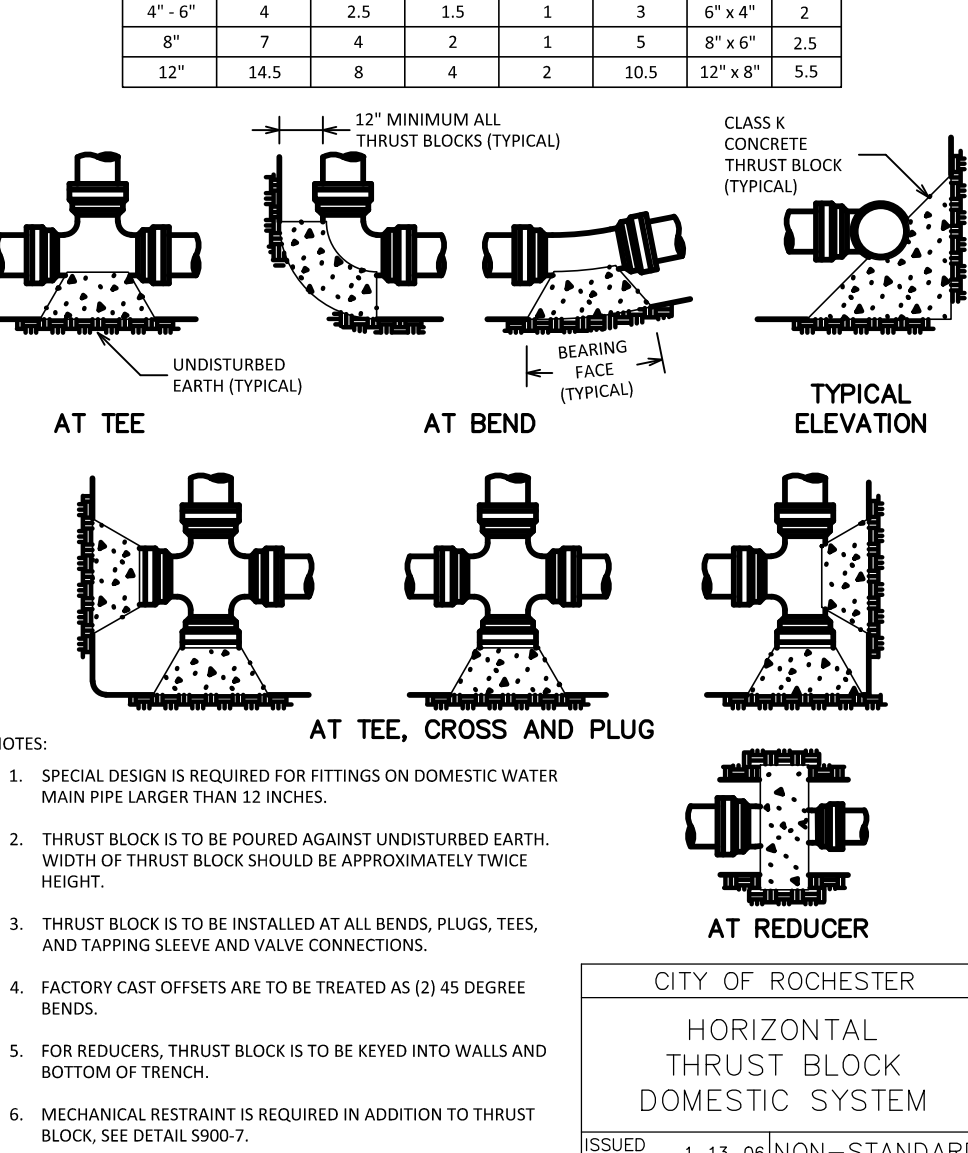
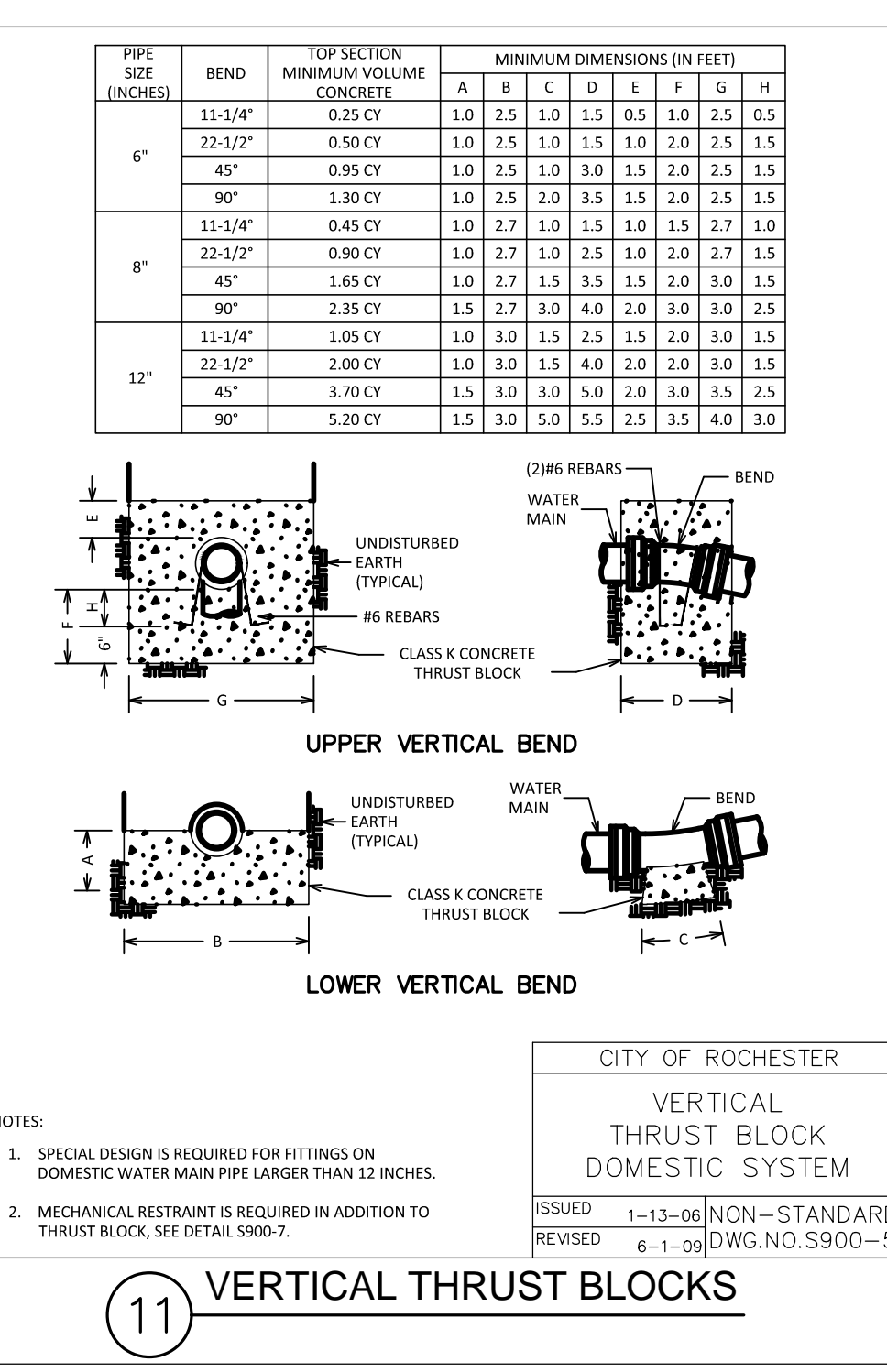
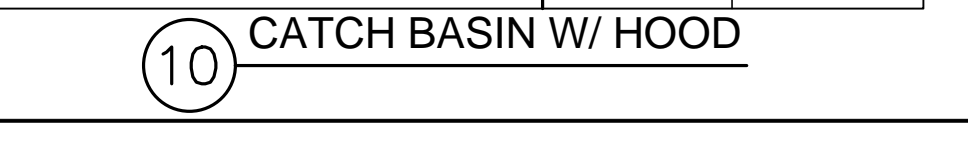
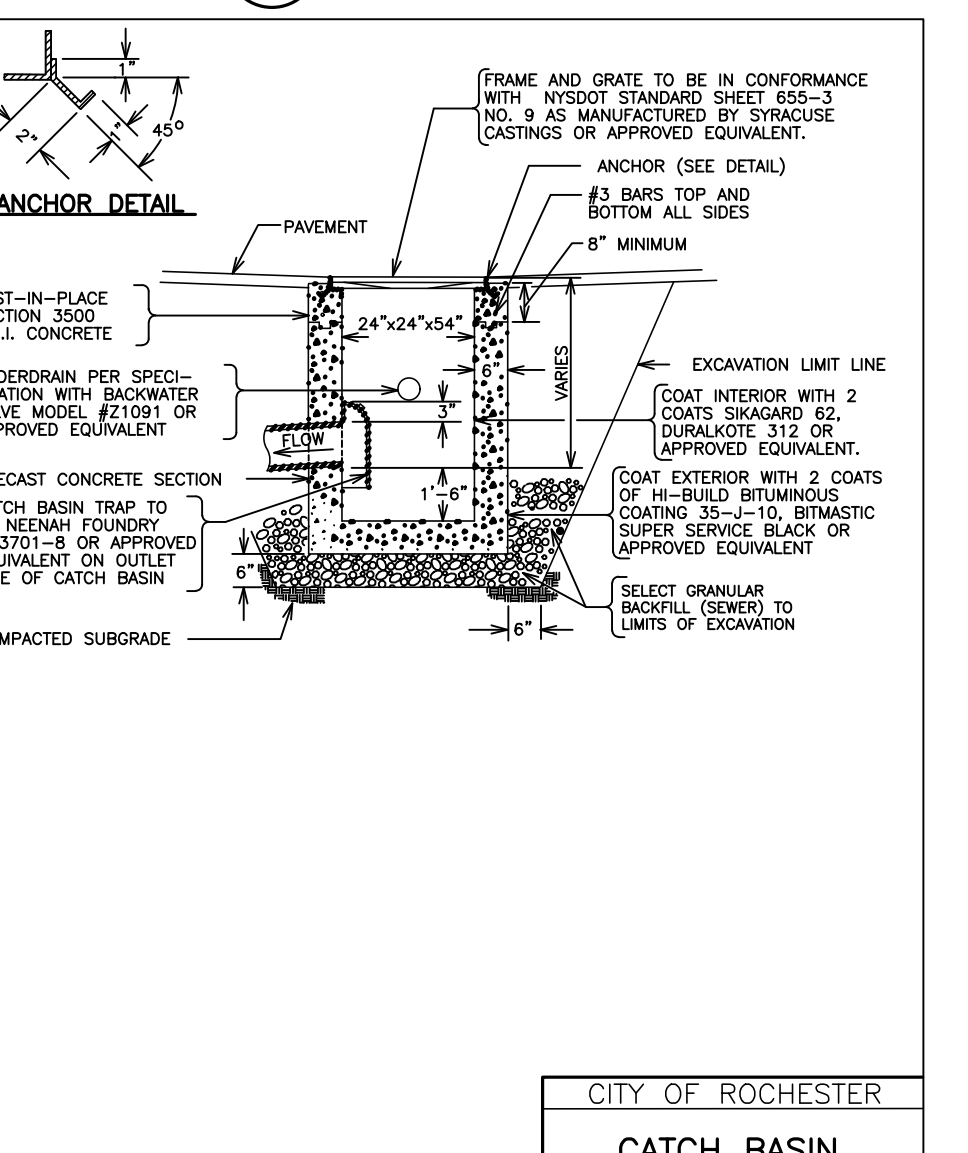
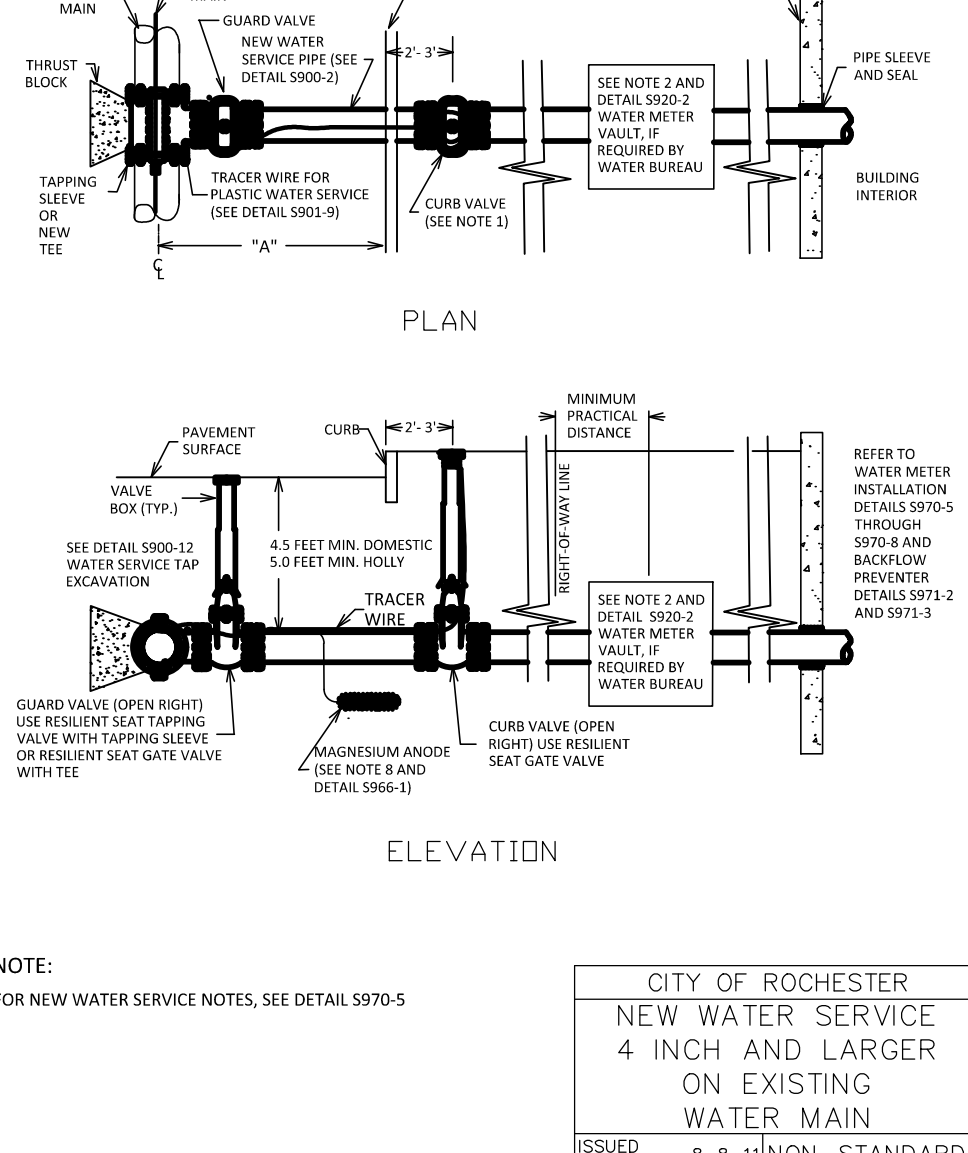
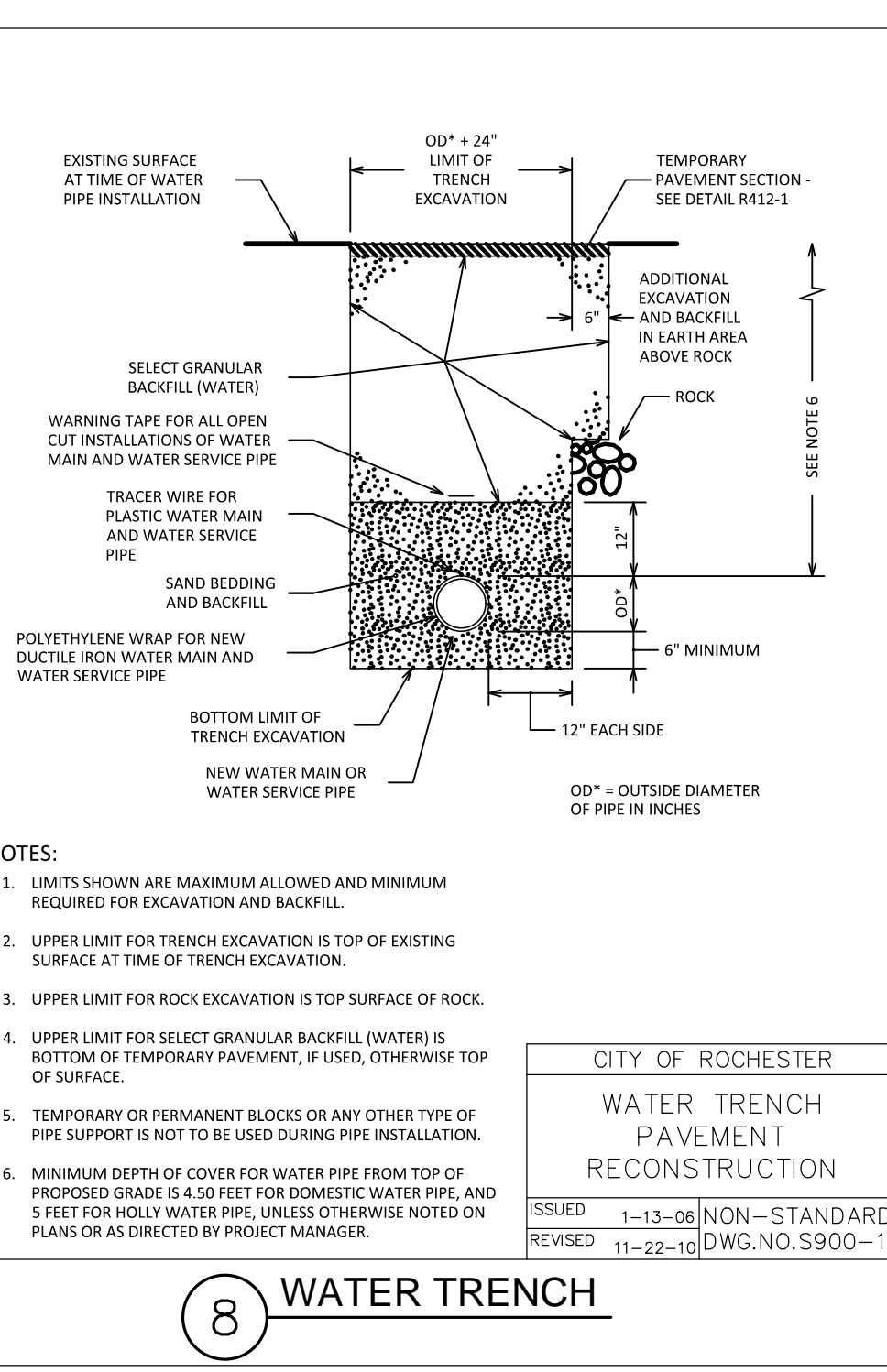
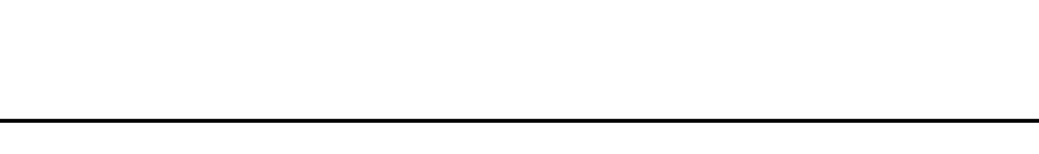
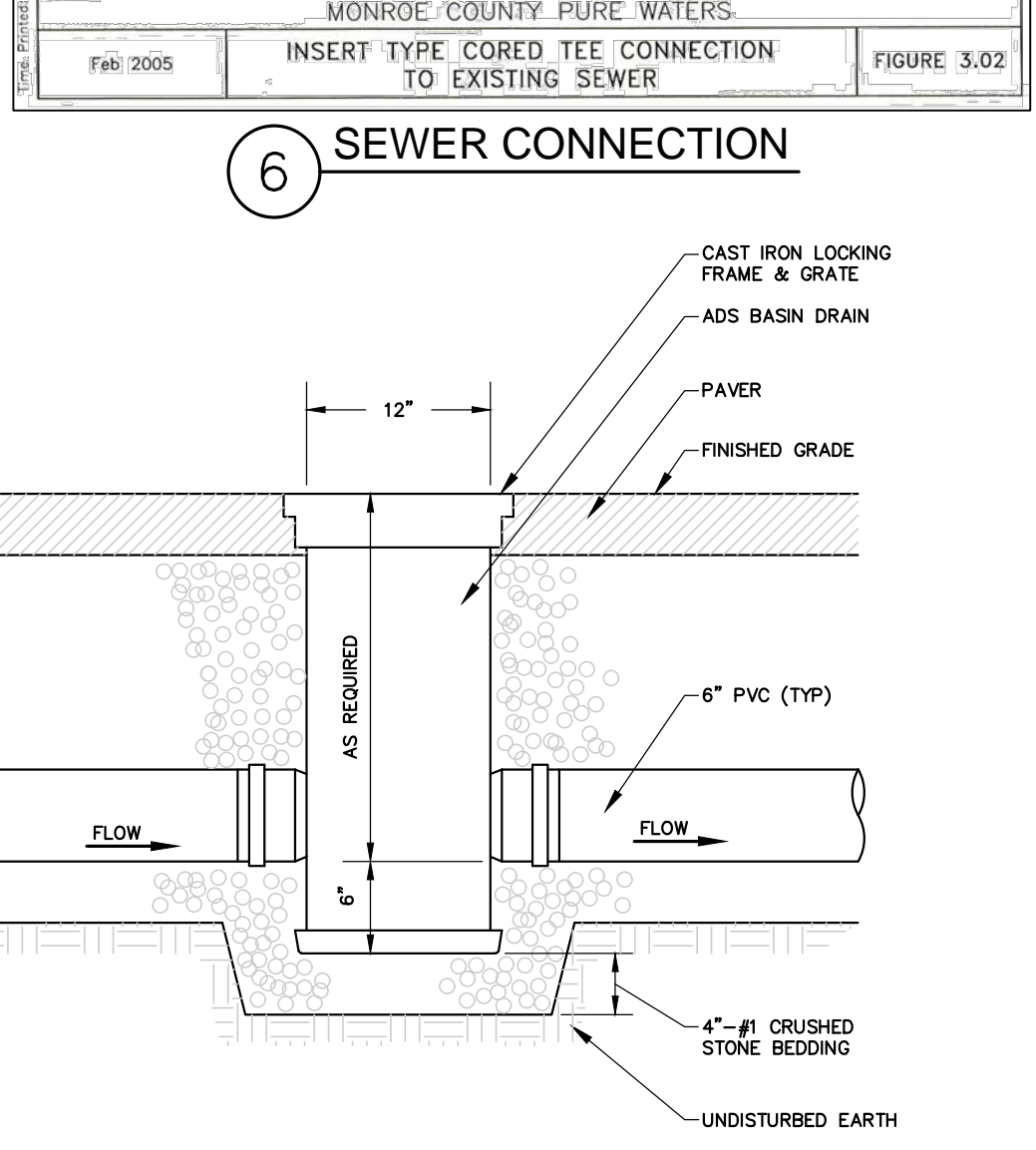
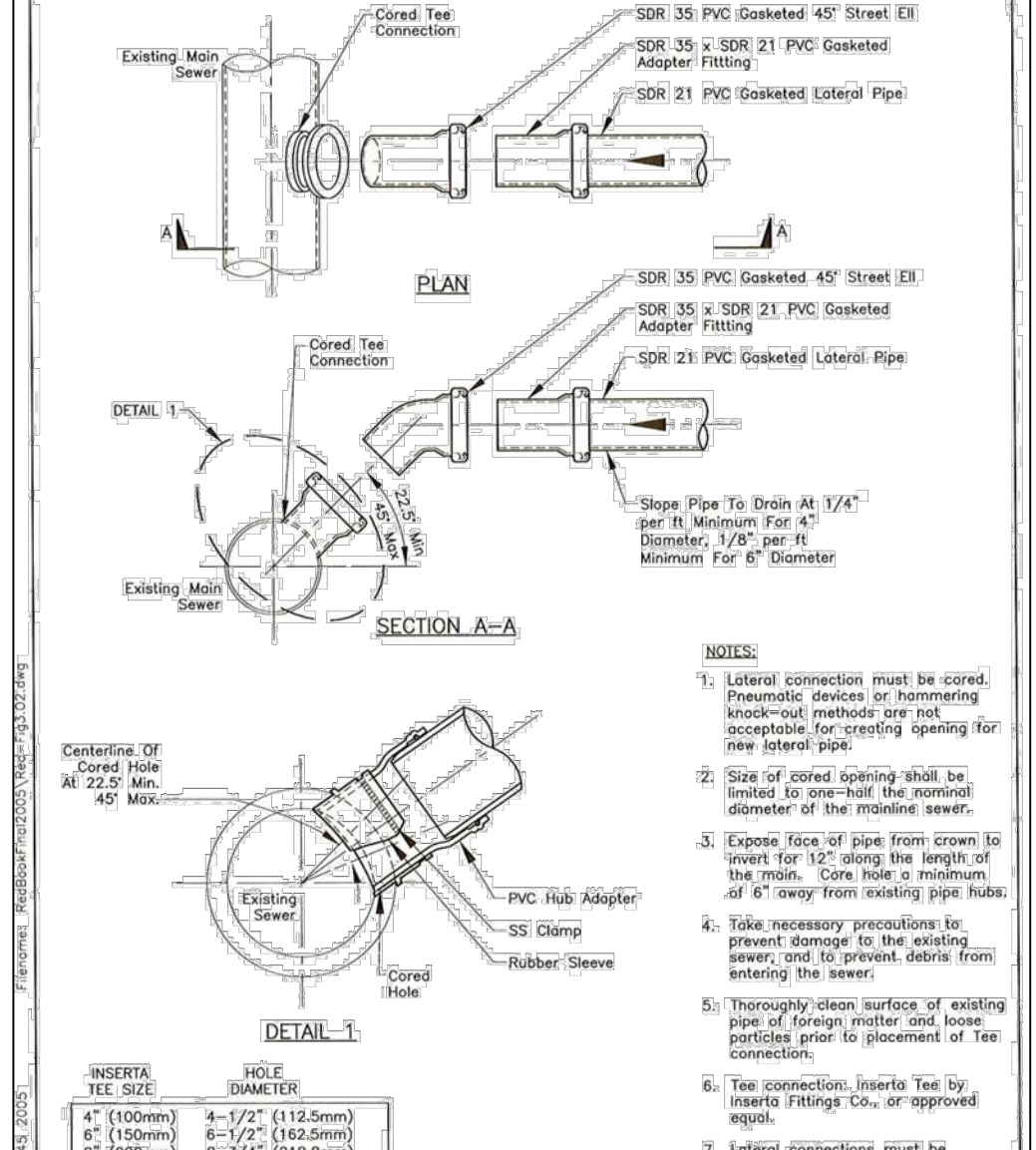
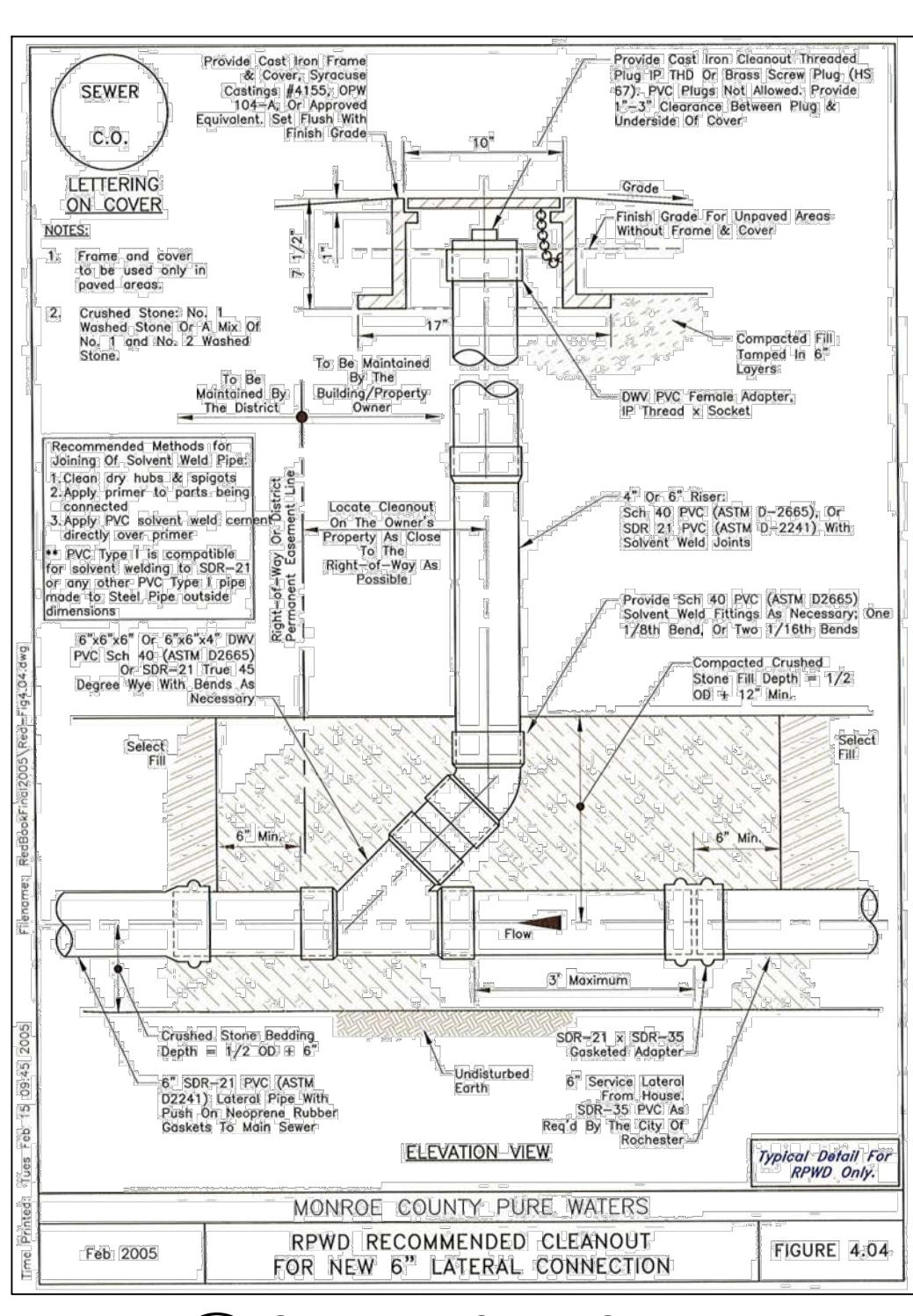
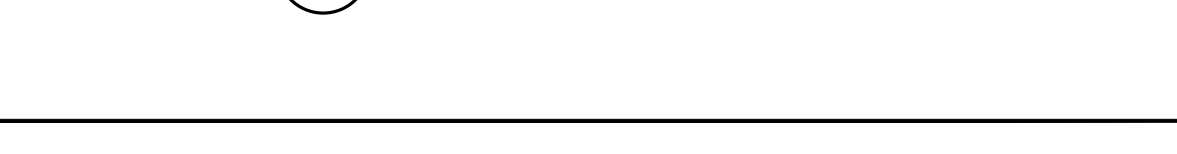
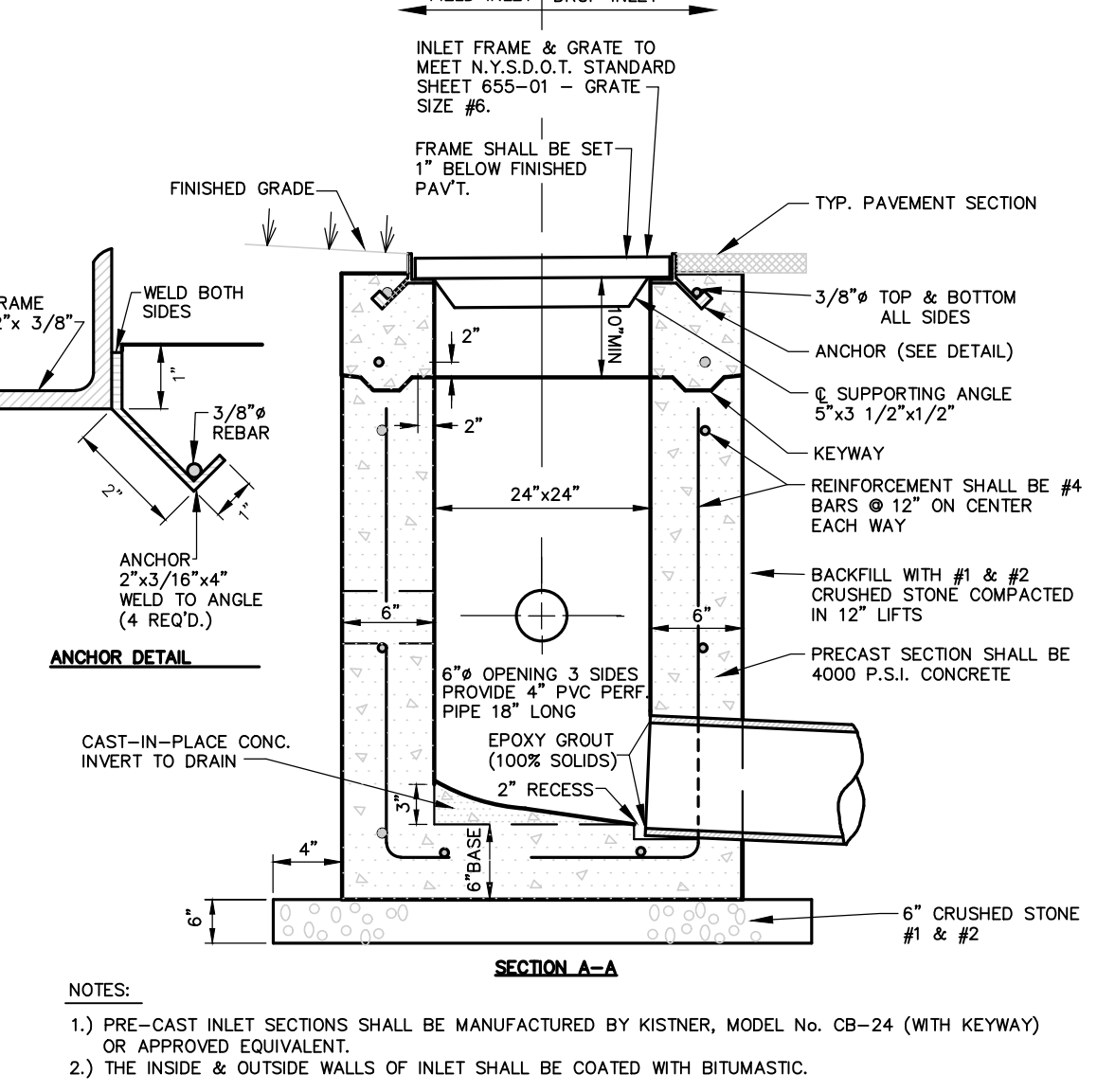
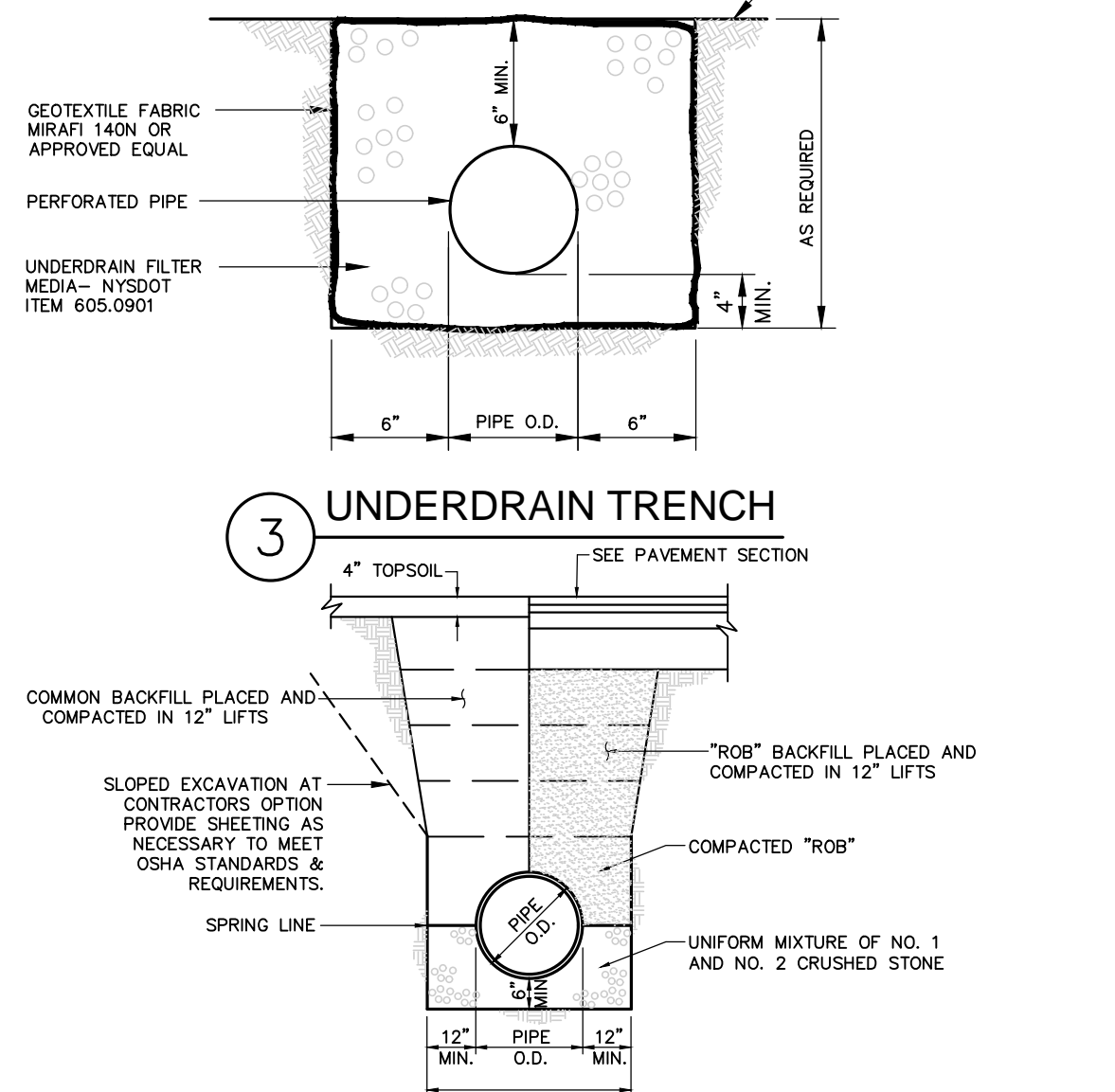
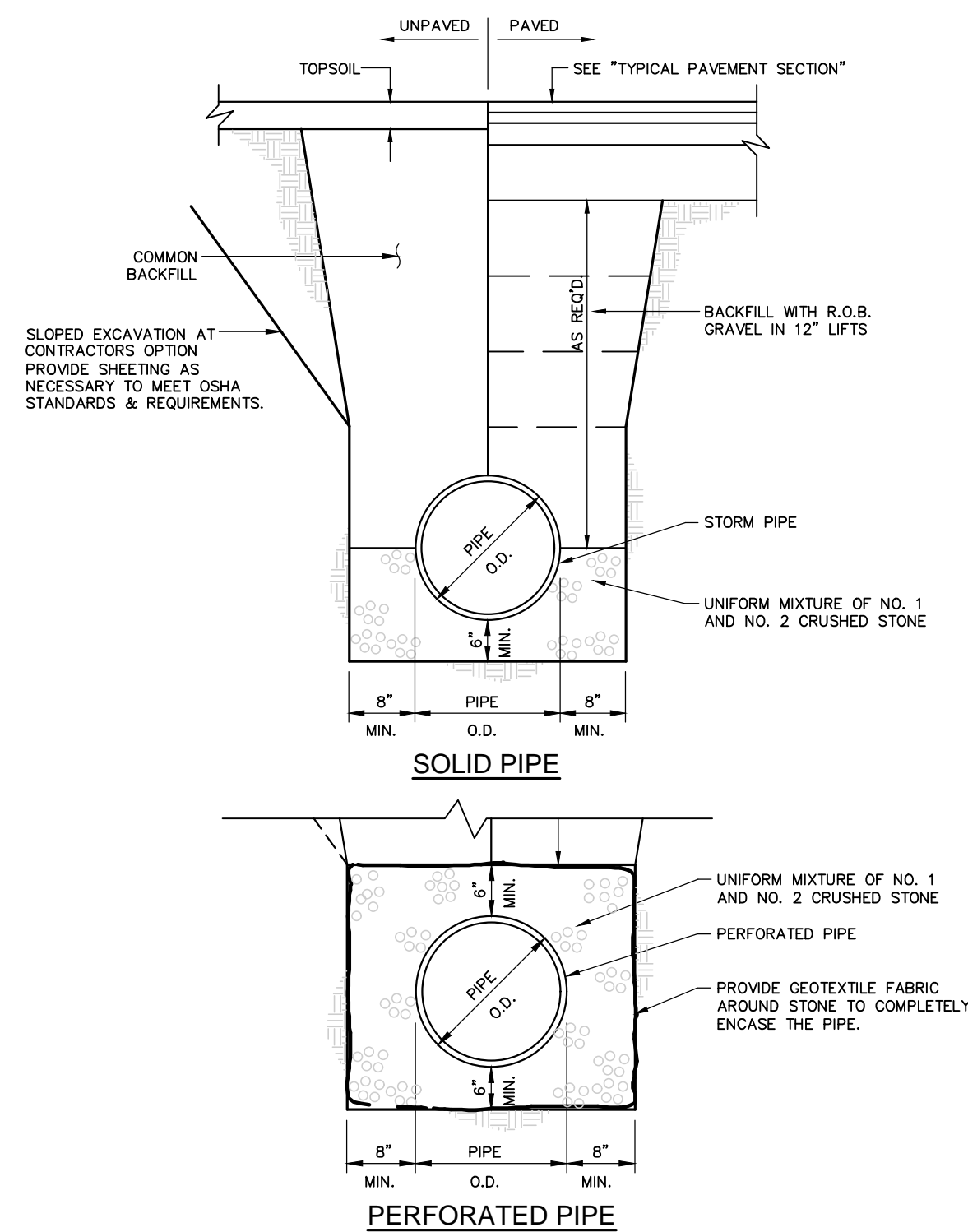
JOB NO:	0961-20
SCALE:	1"=20'
DRAWN:	MPT
DESIGNED:	MPT
DATE:	07/15/2020

REVISIONS		
DATE	BY	REVISION

DRAWING TITLE:
CONSTRUCTION DETAILS

5 of 6	C4.0
SHEET No:	
JOB No:	
0961-20	DRAWING No:

File: Z:\Engineering\Job Files\0961-18 Drawings\0961-20 Details.dwg, Last saved: 7/30/2020, By: MTOM\INSON, Plot Style: ---



MARATHON ENGINEERING
ROCHESTER LOCATION
39 CASCADE DRIVE
ROCHESTER, NY 14614
585-458-7770
ITHACA LOCATION
840 HANSHAW RD, STE 12
ITHACA, NY 14850
607-241-2917
www.marathoneng.com

PRELIMINARY/ FINAL SITE PLANS
for
302 INDEPENDENCE PLACE
CONIFER REALTY, LLC
302 UNIVERSITY AVENUE
MONROE COUNTY
CITY OF ROCHESTER
STATE OF NEW YORK

JOB NO: 0961-20
SCALE: 1"=20'
DRAWN: MPT
DESIGNED: MPT
DATE: 07/15/2020

REVISIONS		
DATE	BY	REVISION

CITY OF ROCHESTER
NEW WATER SERVICE
4 INCH AND LARGER
ON EXISTING
WATER MAIN
ISSUED 1-13-06 NON-STANDARD
REVISED 8-8-11 DWG.NO.S970-4

CITY OF ROCHESTER
VERTICAL
THRUST BLOCK
DOMESTIC SYSTEM
ISSUED 1-13-06 NON-STANDARD
REVISED 6-1-08 DWG.NO.S900-5

CITY OF ROCHESTER
PLASTIC
WATER SERVICE
TRACER WIRE
INSTALLATION
ISSUED 1-13-06 NON-STANDARD
REVISED 2-19-15 DWG.NO.S901-9

CITY OF ROCHESTER
WATER TRENCH
PAVEMENT
RECONSTRUCTION
ISSUED 1-13-06 NON-STANDARD
REVISED 11-22-10 DWG.NO.S900-1

CITY OF ROCHESTER
CATCH BASIN
WITH TRAP
ISSUED 2-17-95
REVISED 9-1-03 SPECIAL DETAIL

CITY OF ROCHESTER
DISINFECTION
SAMPLING TAP
ISSUED 1-13-06 NON-STANDARD
REVISED 2-19-15 DWG.NO.S900-6

DRAWING TITLE:
CONSTRUCTION
DETAILS

6 of 6
SHEET No: 0961-20
JOB No: C4.1
DRAWING No:

1. LOCATION OF SAMPLING TAPS ARE SUBJECT TO PRIOR APPROVAL BY CITY AND MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.

2. IF SAMPLING TAP IS LOCATED IN PAVED AREA, SAMPLING TAP IS TO BE KEPT BELOW GROUND EXCEPT WHEN IN USE.


3. IF APPROVED BY CITY, SAMPLING TAP MAY BE LOCATED AT SAME LOCATION AS NEW WATER SERVICE.

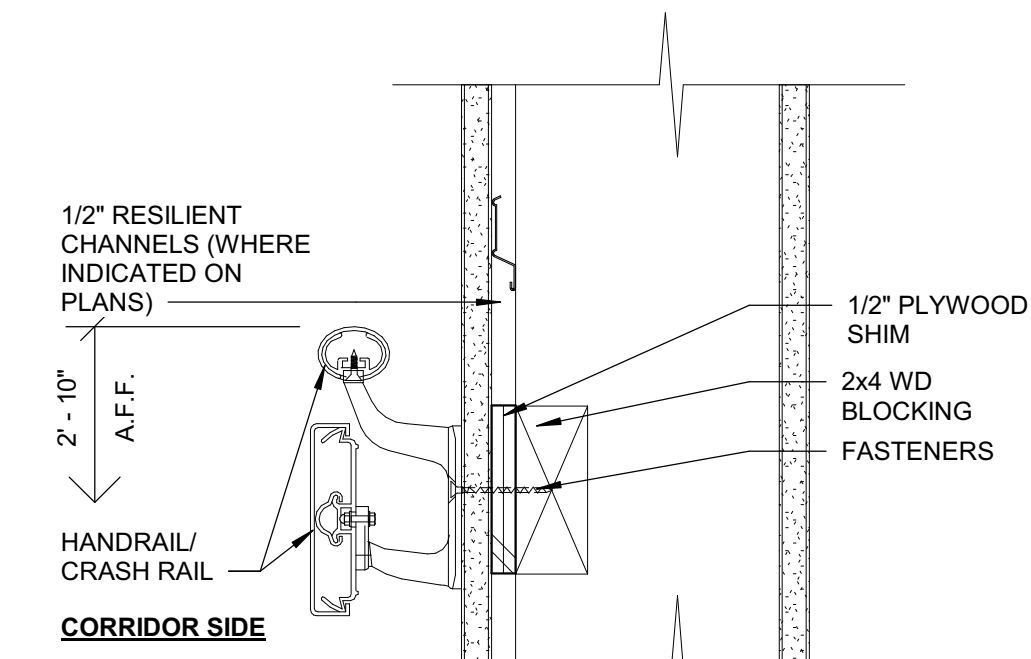
4. IF SAMPLING TAP IS NOT TO BE USED AS NEW WATER SERVICE, UPON NOTIFICATION OF ACCEPTABLE SAMPLE RESULTS, CORPORATION STOP IS TO BE REMOVED AND REPLACED WITH A BRASS PLUG OR CORPORATION STOP IS TO BE CLOSED, WATER SERVICE PIPE DISCONNECTED FROM CORPORATION STOP AND BRASS CAP INSTALLED ON OUTLET OF CORPORATION STOP.

5. MAXIMUM DISTANCE BETWEEN SAMPLING TAPS ON NEW WATER MAIN INSTALLATION IS 1,000 FEET.

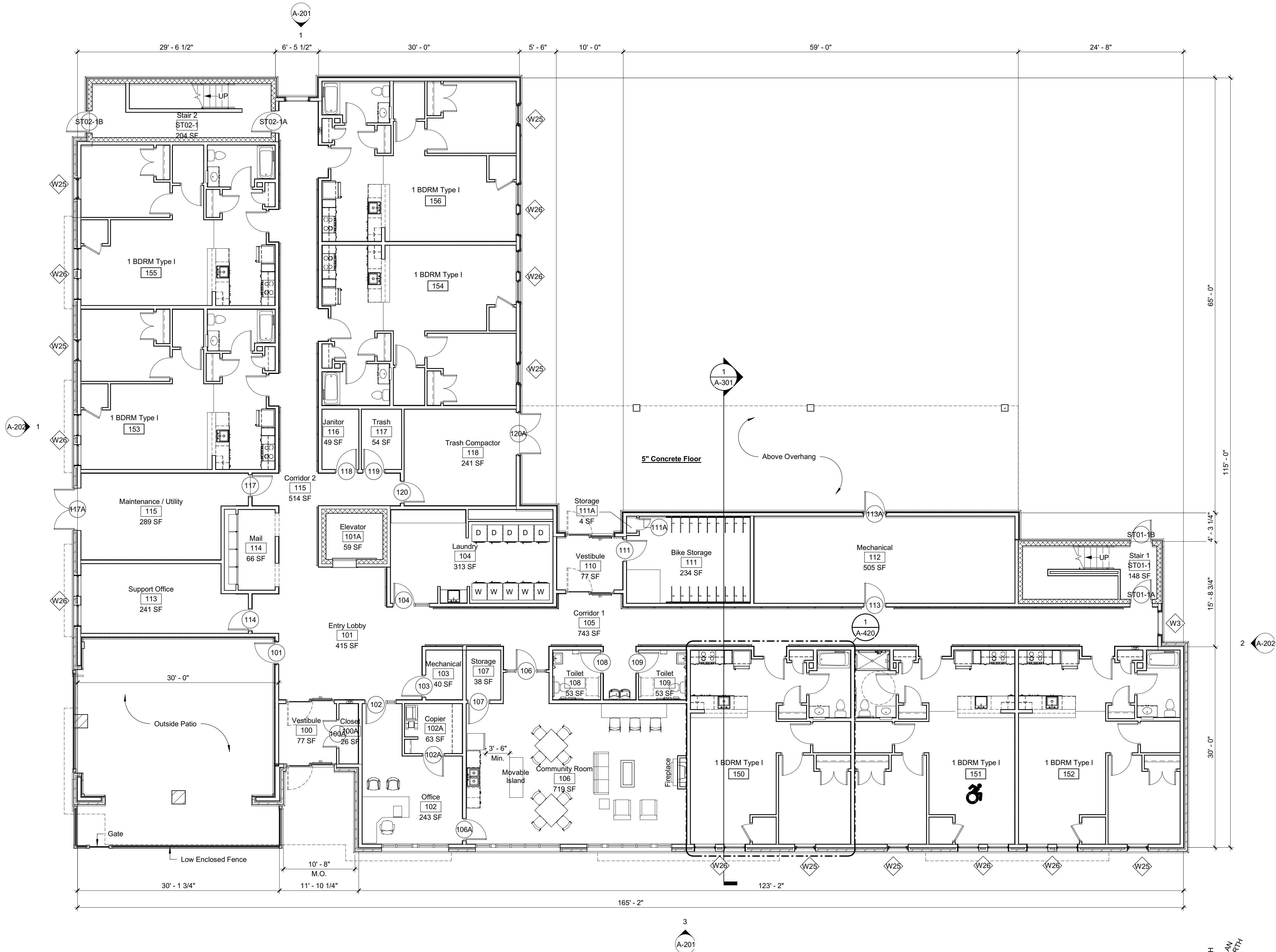
PLAN KEY NOTES	
NO.	DESCRIPTION

- GENERAL NOTES**
- Dimensions are to face of framing, UON.
 - See drawings A-420 & A-423 for typical information in Residential Units
 - Doors are to be installed with their hinge side 4" from adjacent perpendicular wall, unless otherwise shown. See jamb details on A-601.
 - Resilient channels are to be on corridor side of unit walls, TYP. Where braced wall panels occur, resilient channels are to be interrupted by braced wall panel. Ensure finished surface of drywall is flush at transitions between resilient channel and braced wall panel substrates and at locations where resilient channels ends but wall continues.
 - CG = corner guards
 - V/HAU = Visual/Hearing Accommodating Units
 - Refer to G-006 for Unit Accessibility

 INDICATES (TYPE A) ACCESSIBLE UNIT



2 Typical Section Detail - Handrail / Crash Rail
3" = 1'-0"



1 First Floor Plan
1/8" = 1'-0"

SWBR

387 East Main Street Rochester NY 14604
585 232 8300 | rochester@swbr.com

Drawn By: Author
Checked By: Checker
Project Manager: DG

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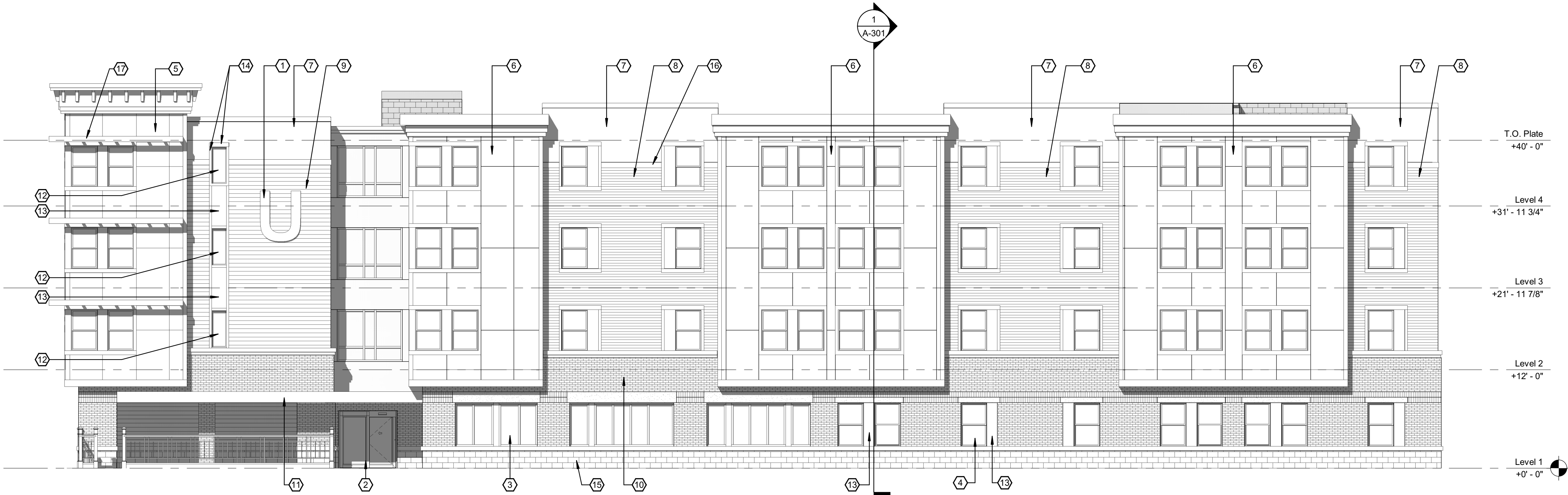
Revisions

University & Union Apartments
302 University Avenue
Rochester NY, 14607
SWBR Project Number 20565.00

Conifer Realty LLC
1000 University Avenue, Suite 500
Rochester, NY 14607

A-101
First Floor Plan

08/01/2020
HCR Submission Set



3 EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"



1 EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"

Exterior Elevation Keynotes	
No.	Keynote Description
1	Building Signage
2	Aluminum Storefront Sliding Door System
3	Aluminum Storefront Window System
4	Single-Hung Vinyl Window
5	Smooth Finished Water Manage EIFS with score pattern as indicated - Color 1
6	Smooth Finished Water Manage EIFS with score pattern as indicated - Color 2
7	Smooth Finished Water Manage EIFS with score pattern as indicated - Color 3
8	Prefinished Vinyl Horizontal Lap Siding - Color 1
9	Prefinished Vinyl Horizontal Lap Siding - Color 2
10	Brick
11	EPDM Overhang at Main Entrance
12	Fixed Vinyl Window
13	Panel Infill
14	Continuous Trim, Typical
15	Large Format Masonry base with Metal Wrapped column above.
16	Vinyl Trim Board
17	Window Shade

SWBR

387 East Main Street Rochester NY 14604
585 232 8300 | rochester@swbr.com

Drawn By: Author
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Project Manager: DG

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Revisions

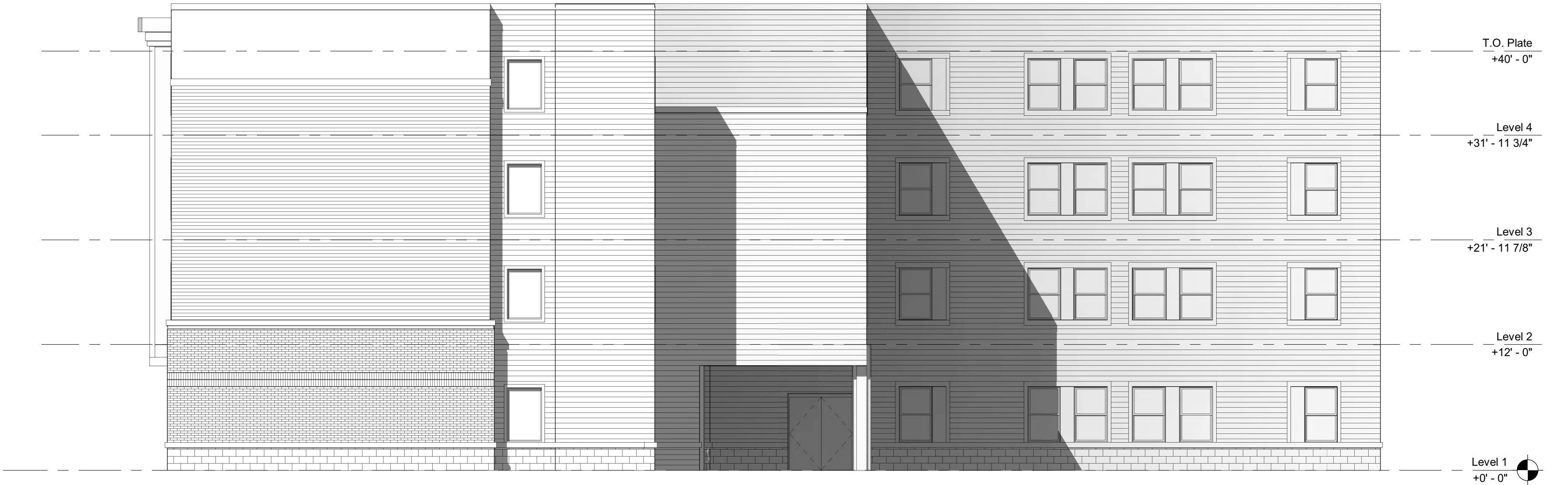
University & Union Apartments
302 University Avenue
Rochester NY, 14607
SWBR Project Number 20565.00

Conifer Realty LLC
1000 University Avenue, Suite
500 Rochester,
NY 14607

A-201
Exterior Elevation
and Details

08/01/2020
HCR Submission Set

Exterior Elevation Keynotes	
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13	Panel Infill
14	Continuous Trim, Typical
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16	Vinyl Trim Board
17	Window Shade



2 EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



1 EXTERIOR ELEVATION - WEST
1/8" = 1'-0"

Revisions